

LOCAL ASSISTANCE PROGRAM APPLICATION FORM

APPLICATION MATERIALS SHOULD BE SUBMITTED ON PAPER (ONE COPY) AND ELECTRONICALLY.
(INDIVIDUAL EMAIL CANNOT EXCEED 25 MB.)

Complete and submit with **all required attachments** to:

GreenAcresApplications@dep.nj.gov and

NJDEP Green Acres Program

Mail Code 501-01

P.O. Box 420

Trenton, NJ 08625-0420

Contact: (609)984-0500

For G.A. Use Only

Date Rec'd: _____

Application No. _____

PROJECT INFORMATION

Project Title OBT: COTTRELL FARM PARK

Location of site Middlesex County Preservation Area (Cottrell Farm)

Municipality(ies) Old Bridge Township

County Middlesex

Street(s) Cottrell Road and County Route 516/Old Bridge-Matawan Road

Block(s) and Lot(s) (attach additional pages, if necessary) Tax Block 10252.24, Lots 18 & 34 (Cottrell Farm)

Size of site to be acquired or developed: 21.14 acres

Type of Application (select one): _____

Acquisition: Standard _____ or Site-Specific _____ or Urban Aid _____

Will land be acquired *in fee simple* _____ or *easement* _____?

Development: Standard _____ or Highly/Densely Populated _____ or Urban Aid X

Is land owned by _____ or leased to* X Local Government

(*Minimum 25-year lease must be provided upon project approval. Letter from landowner agreeing to do so must be submitted with application. Lease is subject to Green Acres' approval.)

State Legislative District (of project site) 12 Congressional District (of project site) 12

Total Estimated Cost of Project (acquisition OR development):

Land Acquisition:

Land \$ _____
Survey \$ _____
Appraisal \$ _____
Preliminary assessment \$ _____
Title \$ _____
Demolition* \$ _____
Other related costs (itemized) \$ _____
Total project cost \$ _____

Total request this round \$ _____

Park Development:

Construction \$ 5,315,609.06
Professional services
(up to 13% of construction) \$ 177,300.00
Preliminary assessment \$ _____
Other related costs (itemized) \$ _____

Total project cost \$ 5,492,909.06

Total request this round \$ 5,492,909.06

* Demolition and incidental costs will be limited to established caps.

Estimated yearly operating/maintenance expenses after acquisition or development \$ 223,456.23

Have there been previous loans/grants related to this property?

☒ Yes ☐ No

If yes, explain: Green Acres: Cottrell Farm Acquisition (1215-07-014)

Is the property listed on the New Jersey Register of Historic Places? ☐ Yes ☒ No

(If yes, additional coordination with the NJDEP's Office of Historic Preservation will be required, depending on the potential impact to the listed property. Please see www.nj.gov/dep/hpo/2protection/njrreview.htm for more details.)

Are there any structures located on the project site? Yes ☒ No ☐.

If yes, please describe the intended use of the structure(s) or if they will be demolished The project site contains five (5) buildings: the Cottrell Farm House, stone garage, concrete masonry unit (CMU building, barn and pool cottage. None will be demolished but all will be refurbished for public access all in support of outdoor recreation. Please see Attachment #6 for details.

(Please be aware that all structures must be used in support of outdoor recreation.)

Is the project site a current or former landfill site, known or suspected hazardous waste site, or adjacent to (or affected by) such sites?

☐ Yes ☒ No If yes, explain: _____

For acquisition projects, has the project site been identified by a municipality or otherwise designated for use in meeting municipal fair share low- and moderate-income housing obligations under the Fair Housing Act of 1985 (N.J.S.A. 52:27D-301)?

☐ Yes ☐ No If yes, please describe the alternative to meeting such obligations: _____

For municipal projects, has the municipality achieved an approved petition for plan endorsement or, for a municipality in the Pinelands, received certification from the Pinelands Commission that its master plan and land use ordinances or regulations are consistent with the minimum standards of the Pinelands Comprehensive Management Plan, pursuant to N.J.A.C. 7:50-3 Part II or IV, as applicable?

☐ Yes ☒ No If yes, please submit verification.

Current Community Profile: Area 40.783 (square miles) – Land 38.06/Water 2.723

Population 65,375 Year 2010

Population per square mile 1,717.7

Project description (Please describe, *in detail*, the scope of project, existing land use, physical characteristics, short- and long-term plans for site, etc. *This description will enable us to determine if your proposed project is eligible for funding.* Attach additional sheets, if necessary.)

The Township of Old Bridge is now prepared to begin utilizing the Cottrell Farm property lots and blocks described above and throughout (via the Cottrell Farm Acquisition Project with Middlesex County) as a passive and active park. The proposed improvements across the approximate 21.14 acres will enhance both township and county Recreational Opportunities at the southeastern section of Middlesex County. The basic elements included are: walking/fitness trails (Parcours); a "Splash Pad"; a Community Garden; a gazebo/picnic Grove; a playground; refurbished Buildings for public access; natural identifiers/butterfly garden; and amphitheater and associated parking areas, stormwater management and landscaping. [PLEASE SEE THE FULL PROJECT DESCRIPTION PAGES IN ATTACHMENT 6]

APPLICANT INFORMATION

Project Sponsor:

Name of Local Government OLD BRIDGE TOWNSHIP

Address Municipal Complex – One Old Bridge Plaza

City Old Bridge State NJ Zip 08857

Chief Executive Officer Himanshu R. Shah

Telephone (732) 721-5600 ext.7302

Applicant's federal identification number as assigned by IRS: 22-6002-057

Person having day-to-day responsibility for this application:

Name Nicole S. Shapiro, PE,PP,CME Title Director of Community Development/Township Engineer

Address Municipal Complex – One Old Bridge Plaza

City: Old Bridge State NJ Zip Code 08857

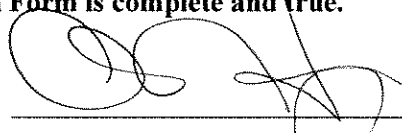
Telephone (732) 721-5600 extension 2330 Fax Number (732) 607-4824

E-mail address nshapiro@oldbridge.com

Signature:  Date: 3/28/19

I, MAYOR OWEN HENRY (name of authorized official), hereby certify that the information provided within this Green Acres Program Application Form is complete and true.

3.28.19
Date


Signature of official authorized to submit application
as per attached Governing Body Enabling Resolution

Be it Resolved, by the Township Council of the Township of Old Bridge, County of Middlesex, New Jersey, that:

RESOLUTION NO 129-2019 1/3

AUTHORIZING THE MAYOR TO EXECUTE THE NJDEP GREEN ACRES APPLICATION TO OBTAIN GRANT/LOAN FUNDING FOR THE COTTRELL FARM PARK PROJECT

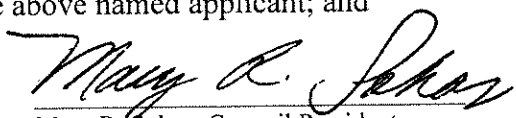
WHEREAS, the New Jersey Department of Environmental Protection, Green Acres Program ("State"), provides loans and/or grants to municipal and county governments and grants to nonprofit organizations for assistance in the acquisition, development, and stewardship of lands for outdoor recreation and conservation purposes; and

WHEREAS, the TOWNSHIP OF OLD BRIDGE desires to further the public interest by obtaining funding in the amount of \$5,315,609.06 in the form of a \$3,986,706.79 matching grant (75%) and, if available, a \$1,328,902.27 loan (25%), from the State to fund the following project(s): OBT: COTTRELL FARM PARK PROJECT – Developing approximately 21.5 acres as a passive and active park with proposed improvements to enhance the recreational opportunities at the southeastern section of Middlesex County, at a cost of \$5,315,609.06

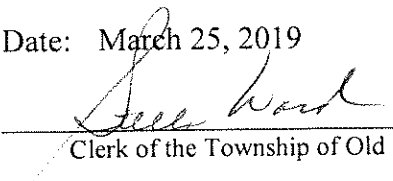
NOW, THEREFORE, the governing body/board resolves that OWEN HENRY or the successor to the office of MAYOR is hereby authorized to:

- (a) make application for such a loan and/or such a grant,
- (b) provide additional application information and furnish such documents as may be required, and
- (c) act as the authorized correspondent of the above named applicant; and

I certify the following to be a true and correct abstract of a resolution regularly passed at a meeting of the Township Council of the Township of Old Bridge


Mary R. Sohor, Council President

Date: March 25, 2019


Clerk of the Township of Old Bridge

Be it Resolved, by the Township Council of the Township of Old Bridge, County of Middlesex, New Jersey, that:

RESOLUTION NO 129-2019 2/3

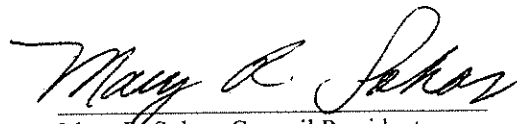
WHEREAS, the State shall determine if the application is complete and in conformance with the scope and intent of the Green Acres Program, and notify the applicant of the amount of the funding award; and

WHEREAS, the applicant is willing to use the State's funds in accordance with such rules, regulations and applicable statutes, and is willing to enter into an agreement with the State for the above named project;

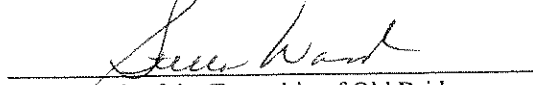
NOW, THEREFORE, BE IT FURTHER RESOLVED BY the **TOWNSHIP OF OLD BRIDGE TOWN COUNCIL** That the **MAYOR** of the above named body or board is hereby authorized to execute an agreement and any amendment thereto with the State known as **OBT: COTTRELL FARM PARK PROJECT**;

1. That the applicant has its matching share of the project, if a match is required, in the amount of **\$1,328,902.27**;
2. That, in the event the State's funds are less than the total project cost specified above, the applicant has the balance of funding necessary to complete the project;
3. That the applicant agrees to comply with all applicable federal, state, and local laws, rules, and regulations in its performance of the project; and
4. That this resolution shall take effect immediately.

I certify the following to be a true and correct abstract of a resolution regularly passed at a meeting of the Township Council of the Township of Old Bridge


Mary K. Sohor, Council President

Date: March 25, 2019


Clerk of the Township of Old Bridge

Be it Resolved, by the Township Council of the Township of Old Bridge, County of Middlesex, New Jersey, that:

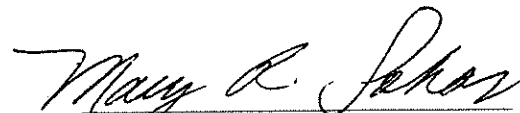
RESOLUTION NO 129-2019 3/3

Moved by Councilman Razzoli, seconded by Councilman Merwin and so ordered on the following roll call vote:

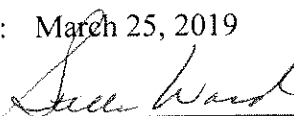
AYES: Councilmembers Brown, Cahill, Greenberg-Belli, Merwin, Murphy, Paskitti,
Razzoli, Walker, President Sohor

NAYS: None

I certify the following to be a true and correct abstract of a resolution regularly passed at a meeting of the Township Council of the Township of Old Bridge


Mary R. Sohor, Council President

Date: March 25, 2019


Clerk of the Township of Old Bridge



OLD BRIDGE TOWNSHIP
ENGINEERING DEPARTMENT

PROJECT NAME : COTTRELL FARM PARK

PROJECT NUMBER :

CALCULATED BY: NSS

DATE: 7/26/18

CHECKED BY:

DATE:

REVISED BY: NSS

DATE: 3/25/19

PRELIMINARY ENGINEER'S ESTIMATE

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
1	Subbase, Dense Graded Aggregate, 6" Thick	10,000	S.Y.	\$15.00	\$150,000.00
2	Hot Mix Asphalt 19M64 Base Course Repair, 5" Thick	4,000	Ton	\$95.00	\$380,000.00
3	Hot Mix Asphalt 12.5M64 Surface Course Repair, 2" Thick	1,350	Ton	\$90.00	\$121,500.00
4	Concrete Sidewalk, 4" Thick	560	SY	\$80.00	\$44,800.00
5	Tack Coat, RS-1	68	Gallon	\$2.50	\$168.75
6	Inlet Type B	15	Unit	\$3,000.00	\$45,000.00
7	Outlet Structure	2	Unit	\$5,000.00	\$10,000.00
8	FES	2	Unit	\$4,000.00	\$8,000.00
9	15" RCCP	300	L.F.	\$75.00	\$22,500.00
10	18" RCCP	400	L.F.	\$90.00	\$36,000.00
11	24" RCCP	100	L.F.	\$125.00	\$12,500.00
12	Public Sidewalk Curb Ramp	40	S.Y.	\$100.00	\$4,000.00
13	Detectable Warning Surface	7	Unit	\$250.00	\$1,750.00
14	Poured in Place Rubberized Surface	25,500	S.F.	\$18.00	\$459,000.00
15	Timber Ties	9,000	LF	\$20.00	\$180,000.00
16	Medium Fitness Kit, Inground Mount, Rubber Base	8	Unit	\$5,000.00	\$40,000.00
17	Decorative Lighting	35	Unit	\$2,000.00	\$70,000.00
18	Decorative Poles	35	Unit	\$1,500.00	\$52,500.00
19	Decorative Foundation	35	Unit	\$1,200.00	\$42,000.00
20	Parking Lot Lighting	12	Unit	\$3,000.00	\$36,000.00
21	Parking Lot Poles	12	Unit	\$5,000.00	\$60,000.00
22	Parking Lot Foundations	12	Unit	\$3,000.00	\$36,000.00
23	Concrete Sidewalk, 4" Thick	350	S.Y.	\$65.00	\$22,750.00
24	Belgian Block Curb	2,500	L.F.	\$30.00	\$75,000.00
25	Pavers	6,000	S.F.	\$20.00	\$120,000.00
26	Traffic Markings, Lines, Long Life Thermoplastic, 4" wide	3,000	L.F.	\$1.00	\$3,000.00
27	Traffic Markings, Lines, Long Life Thermoplastic, 24" wide	100	L.F.	\$2.50	\$250.00
28	Traffic Markings, Word, Long Life Thermoplastic	15	UNIT	\$150.00	\$2,250.00
29	"STOP" Sign Using Break Away Post With Soil Plate	6	Unit	\$250.00	\$1,500.00
30	Park Signage	1	L.S.	\$50,000.00	\$50,000.00
31	Picnic Pavillion	1	L.S.	\$100,000.00	\$100,000.00
32	Existing Building Restoration/Demolition	1	L.S.	\$1,542,600.00	\$1,542,600.00
33	Stormwater Management	2	L.S.	\$100,000.00	\$200,000.00
34	Landscaping	1	L.S.	\$100,000.00	\$100,000.00
35	Utilities	1	L.S.	\$50,000.00	\$50,000.00
36	Fitness Parcours	8	STATION	\$5,000.00	\$40,000.00
37	Splash Pad	1	L.S.	\$50,000.00	\$50,000.00
38	Park Bench, Recycled Plastic with Arms	12	Unit	\$600.00	\$7,200.00
39	Trash Receptacle	12	Unit	\$750.00	\$9,000.00
40	Hex Recycled Plastic Picnic Table - 46", Cedar	12	Unit	\$1,000.00	\$12,000.00
41	Gazebo/Pavillion	1	L.S.	\$75,000.00	\$75,000.00
42	Ampitheatre	1	L.S.	\$200,000.00	\$200,000.00
43	Play Ground	1	L.S.	\$100,000.00	\$100,000.00
44	Community Gardens	1	L.S.	\$30,000.00	\$30,000.00
45	Butterfly Garden	1	L.S.	\$20,000.00	\$20,000.00
SUBTOTAL					\$4,622,268.75
15% Contingency					\$693,340.31
TOTAL					\$5,315,609.06

Nicole S. Shapiro

Nicole S. Shapiro, PE, PP, CME
Director of Community Development
& Township Engineer

3/25/19

Date

Things to Be Done

Please assume a hypothetical July 1, 2019 project commencement date (subject to change).

Acquisition Projects

Approximate Date

- | | |
|--|-------|
| 1. Meet w/ Green Acres re: beginning appraisals | _____ |
| 2. Submit appraisals to Green Acres | _____ |
| 3. Obtain and submit Preliminary Assessment Report | _____ |
| 4. Sign purchase contract with owner | _____ |
| 5. Obtain and submit survey | _____ |
| 6. Obtain and submit title insurance commitment | _____ |
| 7. Close on property | _____ |
| 8. Submit for final payment | _____ |

Comments: _____

Development Projects:

Approximate Date

- | | |
|---|------------------------------------|
| 1. Obtain and submit Preliminary Assessment Report | <u>July 30, 2015</u> |
| 2. Design project | <u>November 1, 2018</u> |
| 3. Apply for/obtain permits (if necessary) | <u>March 11, 2019</u> |
| 4. Submit plans to Green Acres for pre-bid approval | <u>April 1, 2019 (Phase I)</u> |
| 5. Go out to bid or get quotes | <u>April, 12, 2019 (Phase I)</u> |
| 6. Award project contract | <u>April 29, 2019</u> |
| 7. Begin construction | <u>June 3, 2019 (Phase I)</u> |
| 8. Complete construction | <u>December 31, 2019 (Phase I)</u> |
| 9. Submit for final payment | _____ |
| | _____ |

Comments: _____

**Township of Old Bridge
Recreation Open Space Inventory**

Name	Block_Lot	Tax Map Sheet
Pauls Beach	1_45.14	0111
Riparian Rights	1_45.13	0111
Morgan Beach	1_47	0111
Morgan Beach	1_48	0111
L H Park	1_50	0113
Seidlers Beach	1_53	0100
Seidlers Beach	1_54.11	0100
Seidlers Beach	1_54.12	0100
Seidlers Beach	1_60	0123
Seidlers Beach	1_62	0123
Cliffwood Beach Waterfront Park	1_64	0100
Stump Creek	1000_14	0100
Stump Creek	1000_15	0100
Municipal Sports Complex	10000_1	NOT IN OB TWP
Cedar Ridge II Tract	101_5	NOT IN OB TWP
Lamberston Tract	10252_4	1015
Annie Drive Playground	10262_1	1023
Cliffwood Beach	1050_2	0100
Cliffwood Beach	1060_225	0125
Lake Lucerne	1073_1	0127
Lake Lucerne	1077_127	0126
Lake Lucerne	1078_160	0127
Lake Lucerne	1078_162	0127
Lake Lucerne	1078_172	0127
Lake Lucerne	1078_173	0127
Lake Lucerne	1078_192	0127
Lake Lucerne	1078_193	0127
Lake Lucerne	1078_195	0127
Rose Tract	11251_20	1100
The Woods	11252.15_4	1131
Geick Park	12261_13	1200
Cedar Ridge II Tract	12261_19	1200
Cedar Ridge II Tract	12261_20	1200
Cedar Ridge II Tract	12261_28	1214
Cedar Ridge II Tract	12261_35	1200
Higgins Rd. Park Preserve	12261_73.11	1200
Cedar Ridge II Tract	12261_82	1200
Cedar Ridge II Tract	12261_84	1200
Highpointe open space	12281_12	1224
Highpointe open space	12281_15	1224
Highpointe open space	12281_24	1225
Highpointe open space	12283_19	1224
Highpointe open space	12283_20	1225

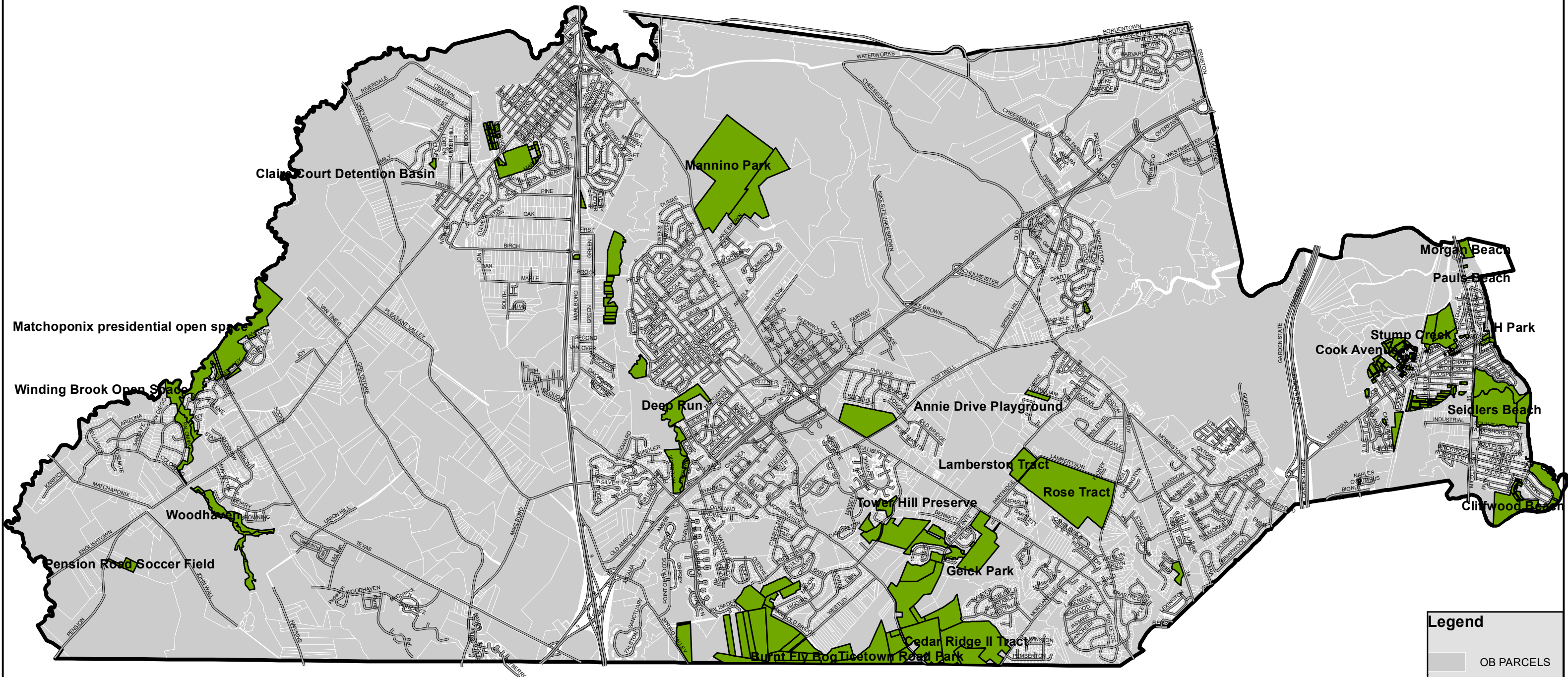
Name	Block_Lot	Tax Map Sheet
Highpointe open space	12283_80	1225
Highpointe open space	12283_81	1225
Cedar Ridge II Tract	125_3	NOT IN OB TWP
Old Bridge Estates Mountbatten Drive	13003.15_7.11	1322
Old Bridge Estates Mountbatten Drive	13003.15_9.11	1322
Burnt Fly Bog	13003_13	1319
Ticetown Road Park	13003_14	1319
Burnt Fly Bog	13003_15	1319
Burnt Fly Bog	13003_20	1300
Burnt Fly Bog	13003_22	1300
Burnt Fly Bog	13003_25	1300
Burnt Fly Bog	13003_27	1300
Burnt Fly Bog	13003_28	1300
Burnt Fly Bog	13003_29	1300
Burnt Fly Bog	13003_30	1300
Burnt Fly Bog	13003_32	1300
Burnt Fly Bog	13003_34	1300
Burnt Fly Bog	13003_35	1300
Burnt Fly Bog	13003_7.12	1300
Burnt Fly Bog	13003_8.1	1300
Burnt Fly Bog	13004_22	1318
Old Bridge Manor Country Place Open Space	13005_61.12	1318
Higgins Road Sports Complex	14266_10	1400
Tower Hill Preserve	14266_11.18	1417
Tower Hill Preserve	14266_11.26	1417
Deep Run	15000_10	1500
Deep Run	15000_3.12	1500
Deep Run	15000_4.11	1500
Deep Run	15000_5.12	1500
Fox St field Complex	15000_9	1500
Deep Run	17000_215.12	1712
Deep Run	17000_216.12	1712
Deep Run	17000_217.15	1712
Deep Run	17000_218.12	1712
Deep Run	17000_219.12	1712
Deep Run	17000_220.12	1712
Deep Run	17000_222.12	1712
Deep Run	17000_224.12	1712
Deep Run	17000_225.12	1712
Deep Run	17000_226.13	1712
Deep Run	17000_227.15	1712
Deep Run	17000_9.12	1700
SOB Community Center FRYE	17005_93.11	1711
Marlboro Road Open Space	17007_1.11	1700
Deep Run	17007_3.11	1700

Name	Block_Lot	Tax Map Sheet
Veterans Park	18022_1	1813
Veterans Park	18022_15	1813
Veterans Park	18022_24	1813
Veterans Park	18022_5	1813
Veterans Park	18023_27	1813
Veterans Park	18023_31	1813
Veterans Park	18023_47	1813
Veterans Park	18023_60	1813
Veterans Park	18023_80	1813
Pinkiewicz Property	18094_79.11	1812
Veterans Park	18098_69	1812
L H Park	2.11_1	0113
Genoa Park Playground	2000.23_1	0216
Genoa Park Playground	2000.23_6	0216
Cook Avenue	2062_634	0211
Cook Avenue	2062_645	0211
Cook Avenue	2062_647	0211
Cook Avenue	2062_648	0211
Cook Avenue	2062_650	0211
Cook Avenue	2062_652	0211
Cook Avenue	2062_654	0211
Cook Avenue	2062_655	0211
Cook Avenue	2062_658	0211
Cook Avenue	2062_662	0211
Cook Avenue	2062_664	0211
Cook Avenue	2062_667	0211
Cook Avenue	2063_668	0211
Cook Avenue	2063_671	0211
Cook Avenue	2063_949	0211
Cook Avenue	2063_956	0211
Cook Avenue	2063_958	0211
Cook Avenue	2063_960	0211
Cook Avenue	2064.11_858	0211
Cook Avenue	2064.11_881	0211
Cook Avenue	2064.12_882	0211
Cook Avenue	2064.13_896	0211
Cook Avenue	2064_909	0211
Cook Avenue	2064_948	0211
Cook Avenue	2065.11_838	0211
Cook Avenue	2065_676	0211
Cook Avenue	2065_677	0211
Cook Avenue	2065_678	0211
Cook Avenue	2065_685	0211
Cook Avenue	2065_717	0211
Cook Avenue	2065_720	0211

Name	Block_Lot	Tax Map Sheet
Cook Avenue	2065_722	0211
Cook Avenue	2065_725	0211
Cook Avenue	2065_738	0211
Cook Avenue	2065_741	0211
Cook Avenue	2065_742	0211
Cook Avenue	2065_743	0211
Cook Avenue	2065_745	0211
Cook Avenue	2066.11_785	0211
Cook Avenue	2066.11_789	0211
Cook Avenue	2066.11_792	0211
Cook Avenue	2066.11_793	0211
Cook Avenue	2066.12_805	0211
Cook Avenue	2066.12_807	0211
Cook Avenue	2066_810	0211
Cook Avenue	2066_811	0211
Cook Avenue	2066_821	0211
Cook Avenue	2066_836	0211
Cook Avenue	2067_696	0211
Cook Avenue	2067_701	0211
Cook Avenue	2067_705	0211
Cook Avenue	2067_706	0211
Cook Avenue	2068_529	0212
Cook Avenue	2068_534	0212
Cook Avenue	2068_536	0212
Cook Avenue	2068_538	0212
Cook Avenue	2068_539	0212
Cook Avenue	2068_542	0212
Cook Avenue	2068_606	0212
Cook Avenue	2068_611	0212
Cook Avenue	2068_613	0212
Cook Avenue	2069_577	0212
Cook Avenue	2071_300	0212
Cook Avenue	2072.11_470	0212
Cook Avenue	2072_435	0212
Cook Avenue	2072_437	0212
Cook Avenue	2072_449.12	0212
Cook Avenue	2072_462	0212
Cook Avenue	2073_513	0212
Cook Avenue	2073_515	0212
Cook Avenue	2073_516	0212
Cook Avenue	2073_517	0212
Cook Avenue	2073_518	0212
Cook Avenue	2076_288	0212
Cook Avenue	2076_291	0212
Cook Avenue	2076_316	0212

Name	Block_Lot	Tax Map Sheet
Cook Avenue	2077_192	0213
Cook Avenue	2078_172	0213
Cook Avenue	2078_225	0213
Cook Avenue	2079_135	0213
Cook Avenue	2079_139	0213
Cook Avenue	2079_181	0213
Cook Avenue	2082_16	0213
Margarets Creek	21_342	0117
Margarets Creek	21_344	0117
Bridgepointe Field Complex	2150_3	0200
Bridgepointe Field Complex	2150_4.12	0200
Woodhaven	22000_27.11	2223
Woodhaven	22140_30.17	2222
Woodhaven	23001_15.1	2313
Pension Road Soccer Field	23001_9.12	2300
Margarets Creek	24_1123	0117
Matchoponix presidential open space	24100_78	2413
Winding Brook Open Space	24304_74	2415
Margarets Creek	25_590	0118
Matchoponix presidential open space	25100_1	2515
Matchoponix presidential open space	25100_44	2515
Claire Court Detention Basin	26052_54	2623
Brunswick Avenue	26053_1	2619
Brunswick Avenue	26053_11	2619
Brunswick Avenue	26053_20	2619
Brunswick Avenue	26053_28	2619
Brunswick Avenue	26053_33	2619
Brunswick Avenue	26054_110	2619
Brunswick Avenue	26054_111	2619
Brunswick Avenue	26054_123	2619
Brunswick Avenue	26054_128	2619
Brunswick Avenue	26054_133	2619
Brunswick Avenue	26054_143	2619
Brunswick Avenue	26054_57	2619
Brunswick Avenue	26054_62	2619
Brunswick Avenue	26054_65	2619
Brunswick Avenue	26054_67	2619
Brunswick Avenue	26054_68	2619
Brunswick Avenue	26054_69	2619
Brunswick Avenue	26054_74	2619
Brunswick Avenue	26054_75	2619
Brunswick Avenue	26054_80	2619
Brunswick Avenue	26054_90	2619
Brunswick Avenue	26055_166	2619
Brunswick Avenue	26055_180	2619

Name	Block_Lot	Tax Map Sheet
Margarets Creek	27_1043	0117
Margarets Creek	27_1059	0117
Margarets Creek	27_1061	0117
Margarets Creek	28_654	0118
Margarets Creek	28_699	0118
L H Parkway	3.12_1	0116
Margarets Creek	30_871	0118
Margarets Creek	30_896	0118
Margarets Creek	30_898	0118
Margarets Creek	30_900	0118
Margarets Creek	30_901	0118
Margarets Creek	30_904	0118
Margarets Creek	31_950	0121
Margarets Creek	31_975	0121
Margarets Creek	32_914	0118
Margarets Creek	32_925	0118
Margarets Creek	32_927	0118
Margarets Creek	33_1017	0121
Margarets Creek	33_979	0121
Margarets Creek	33_991	0121
Margarets Creek	34_1029	0121
Margarets Creek	35_1.18	0121
Margarets Creek	37_184.11	0116
Margarets Creek	37_187	0129
Margarets Creek	37_2	0116
Margarets Creek	37_3	0116
Margarets Creek	37_350	0119
Margarets Creek	37_60	0116
Stump Creek	38.11_179.11	0129
Stump Creek	40_333	0119
Central Park Playground	4000.24_13	0417
Stump Creek	44_909	0116
L H Park	50_30.11	0113
Mannino Park	8005_4.12	0800
Mannino Park	8005_6	0800

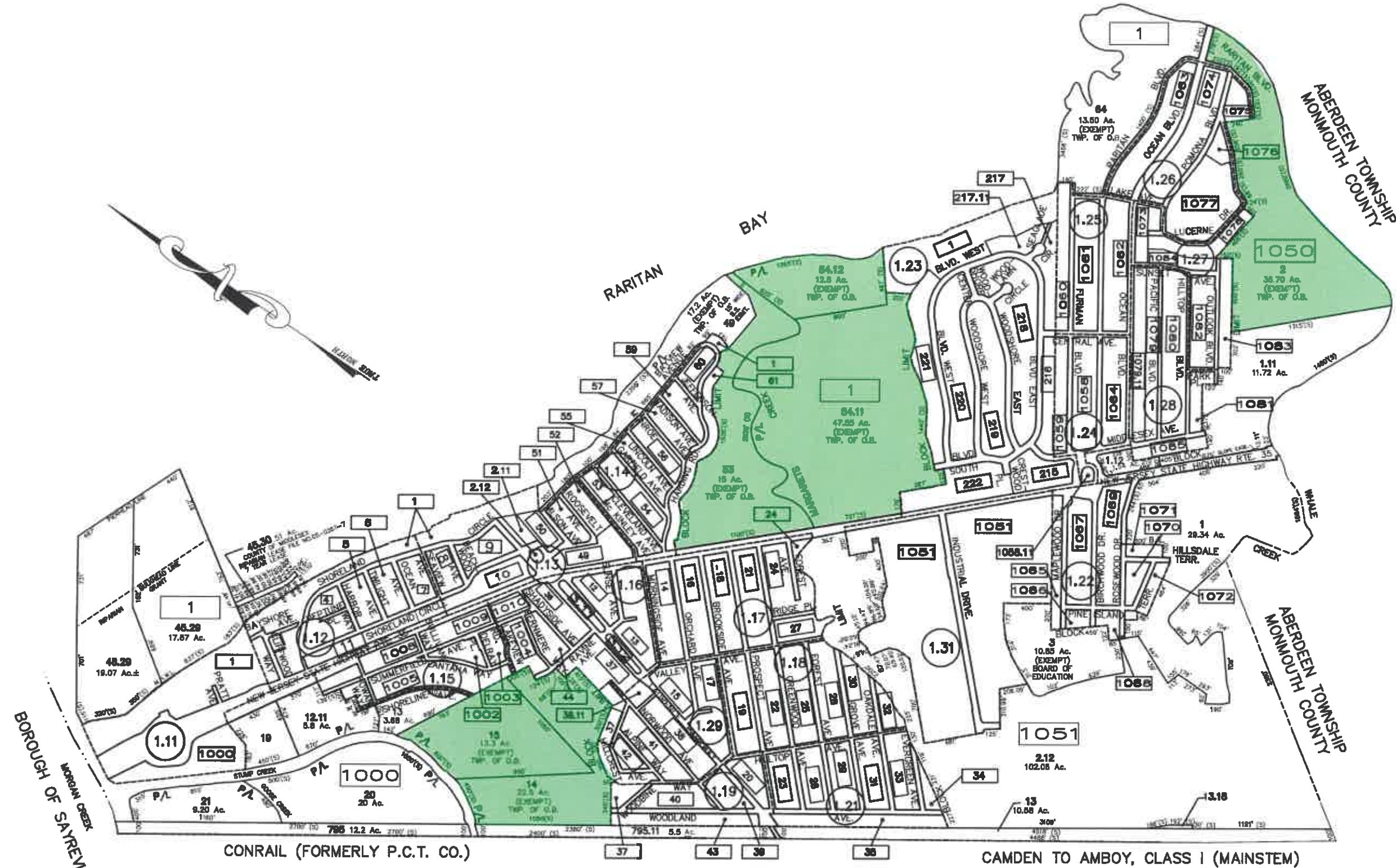


RECREATION OPEN SPACE INVENTORY (ROSI) MAP

TOWNSHIP OF OLD BRIDGE, MIDDLESEX COUNTY, NEW JERSEY

0 0.25 0.5 1 Miles

REV.	DATE	DESCRIPTION
1	12/11/2011	REVISION
2	12/12/2012	REVISION
3	12/12/2012	REVISION
4	12/12/2012	REVISION
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97	12/12/2012	REVISION
98	12/12/2012	REVISION
99	12/12/2012	REVISION
100	12/12/2012	REVISION



THIS MAP HAS BEEN DRAWN USING COMPUTER AIDED DRAFTING (CAD) AND THE DATA HAS BEEN CHECKED FOR ACCURACY. A PORTION OF THE DATA WERE A REPRODUCED COPY OF THE TAX MAP ORIGINALLY PREPARED BY JOHN A. ALLEN, MAY 1978. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE MUNICIPAL CLERK.

SHEET 2

TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1"= 400' DATE : JULY 2008
MICHAEL J. McGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

SHEET 1

RARITAN BAY

CHESQUING CREEK

46
3.10 Ac.
(EXEMPTED)
OLD BRIDGE TOWNSHIP

P/L 185'

M.H.W.L.

P/L 2371'(8)(TOTAL)

25' WIDE SANITARY SEWER EASEMENT

25' WIDE SANITARY SEWER EASEMENT

104' TO RAILROAD LINE

1

45.11
32.63 Ac. (TOTAL)
(EXEMPT)
TWP. OF O.B.

45.13
1.15 Ac.
(EXEMPT)
HOFFMAN-PRINCE
VFW POST

45.14
(EXEMPT)
TWP. OF O.B.

47
(EXEMPT)
TWP. OF O.B.

PRATT AVENUE

48
(EXEMPT)
COUNTY OF
MIDDLESEX

NEW JERSEY STATE HIGHWAY ROUTE 35 (R.O.W. VARIES)

SHEET 1.12

27
(EXEMPT)
N.J.D.O.T.

24

CHANNEL

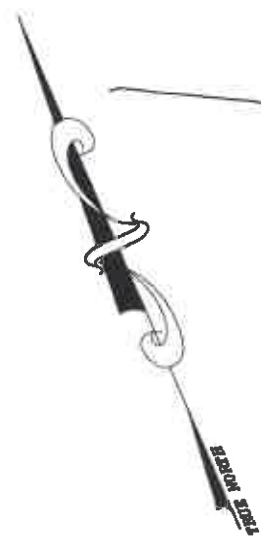
(120' WIDE)

STUMP

CREEK

1000

22
4.02 Ac.



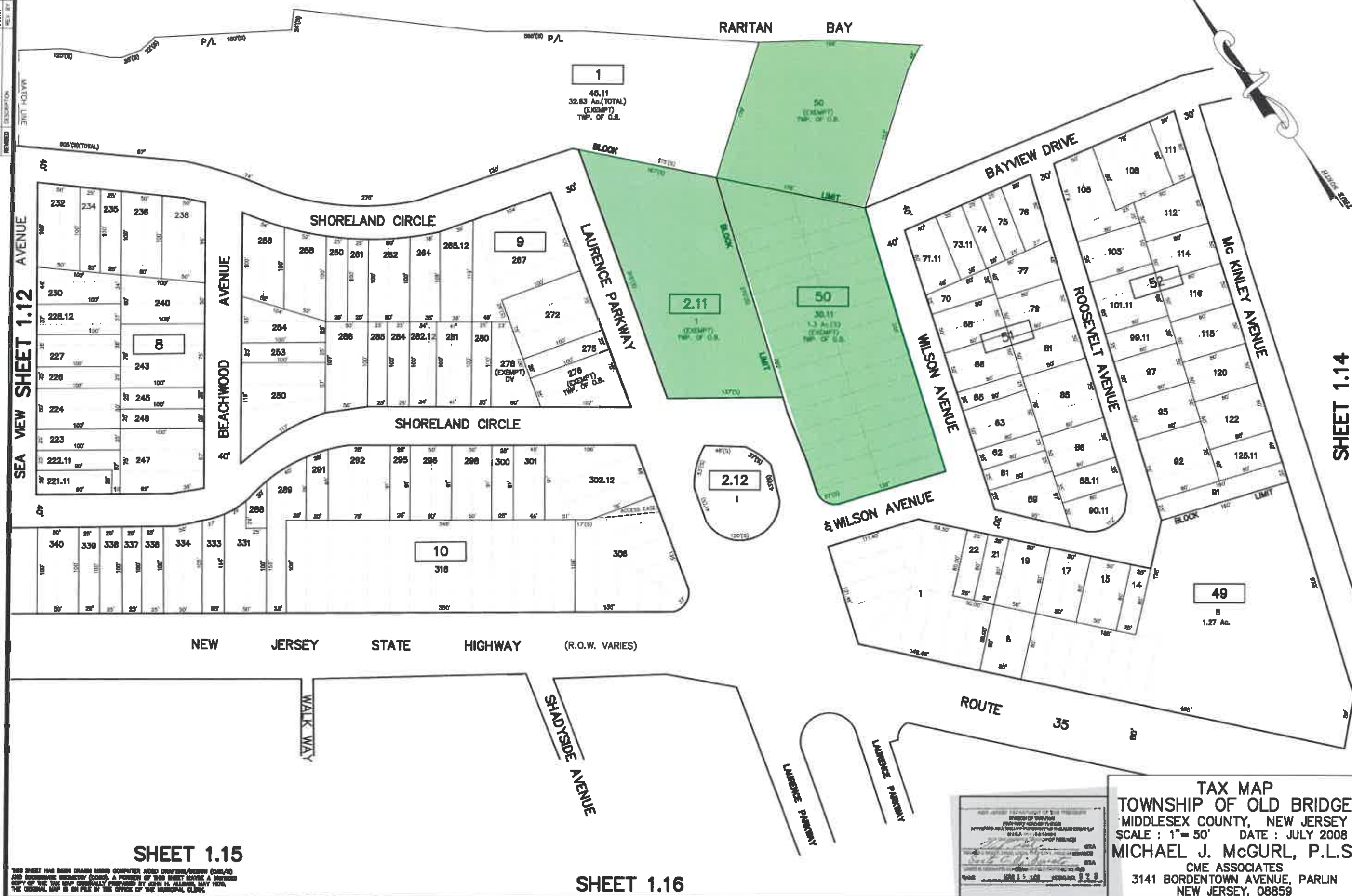
THIS SHEET HAS BEEN DRAWN USING COMPUTER AIDED DRAFTING/DESIGN (CAD/D) AND COORDINATE GEOMETRY (CGS). A PORTION OF THIS SHEET SHOWS A DISTURBED COPY OF THE TAX MAP ORIGINALLY PREPARED BY JOHN H. ALLEN, MAY 1979. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE MUNICIPAL CLERK.

SHEET 1



TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1" = 50' DATE : JULY 2008
MICHAEL J. McGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

SHEET 1



SHEET 1.13

SHEET 1.15

SHEET 1.17

SHEET 1.29

SHEET 1.29

NEW JERSEY STATE HIGHWAY ROUTE 35

SUMMERFIELD AVENUE

SHADYSIDE AVENUE

LAURENCE PARKWAY MIDDLESEX COUNTY ROUTE 626

SUNSET AVENUE

MORNINGSIDE AVENUE

VALLEY & AVE.

NORWOOD AVENUE

SHEET 1



THIS SHEET HAS BEEN DRAWN USING COMPUTER AIDED DRAFTING/DESIGN (CADD) AND COORDINATE GEOMETRY (COGO). A PORTION OF THIS SHEET MAY BE A DERIVED COPY OF THE TAX MAP ORIGINALLY PREPARED BY JOHN R. ALLMAN, MAY 1978. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE MUNICIPAL CLERK.



TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1" = 50' DATE : JULY 2008
MICHAEL J. MCGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

SHEET 1.14

SHEET 1

NEW JERSEY STATE HIGHWAY ROUTE 35

HARDING RD.

SHEET 1.16

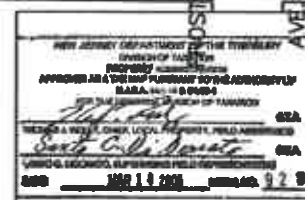
SHEET 1

VALLEY AVENUE

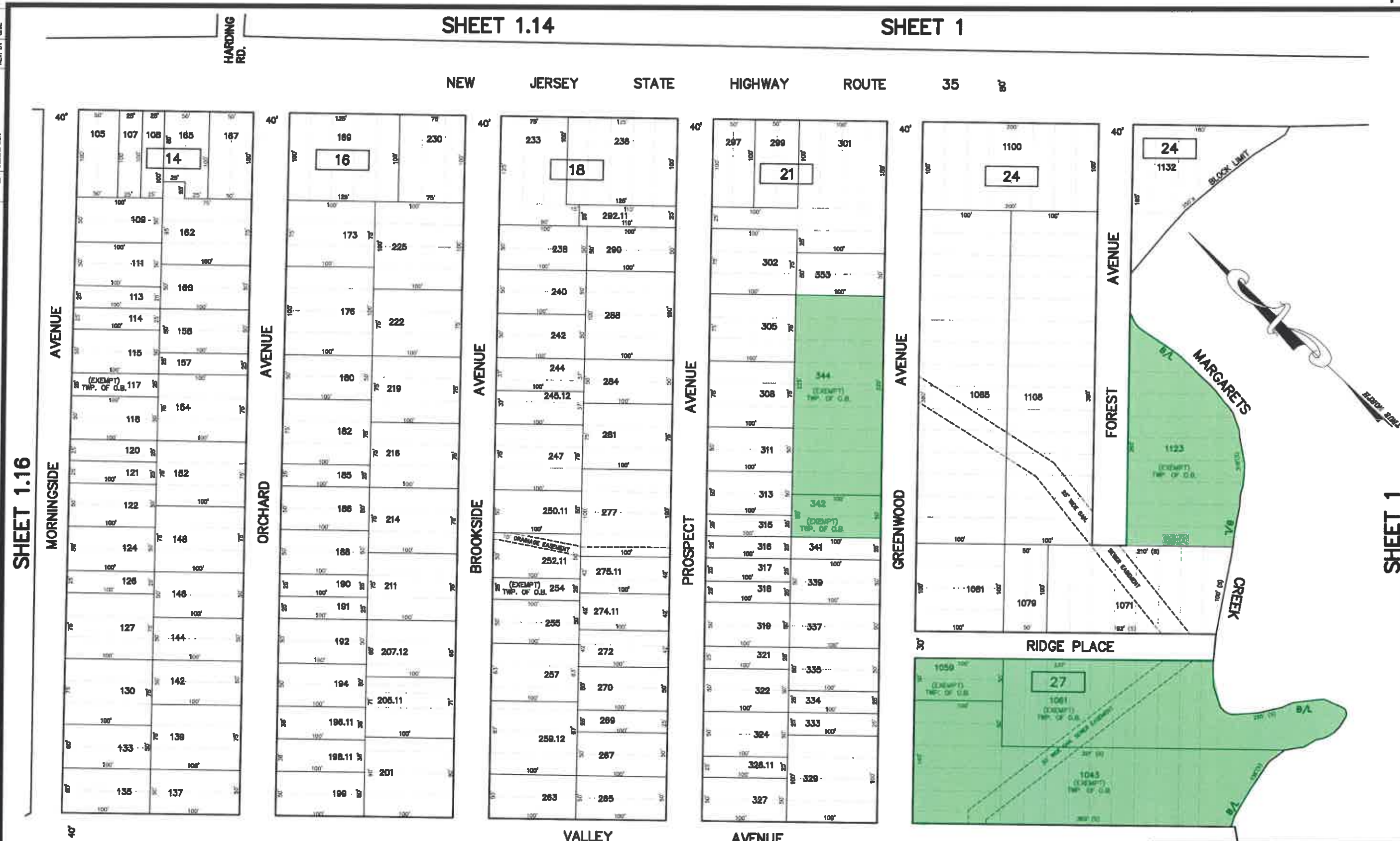
SHEET 1.29

SHEET 1.18

TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1"= 50' DATE : JULY 2008
MICHAEL J. McGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859



THIS SHEET HAS BEEN DRAWN USING COMPUTER AIDED DRAFTING/DESIGN (CAD/2D) AND COORDINATE GEOMETRY (COGO). A PORTION OF THIS SHEET MAY BE A DISTORTED COPY OF THE TAX MAP ORIGINALLY PREPARED BY JOHN H. ALLGAR, MAY 1970. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE MUNICIPAL CLERK.



SHEET 1.17

SHEET 1.29

SHEET 1

SHEET 1.19

SHEET 1.21

THIS SHEET HAS BEEN DRAWN USING COMPUTER AIDED DRAFTING/DESIGN (CAD/C) AND COORDINATE GEOMETRY (GCOG). A PORTION OF THIS SHEET MAY BE A DERIVED COPY OF THE TAX MAP ORIGINALLY PREPARED BY JOHN H. ALLARD, MAY 1970. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE MUNICIPAL CLERK.



TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1"= 50' DATE : JULY 2008
MICHAEL J. MCGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859



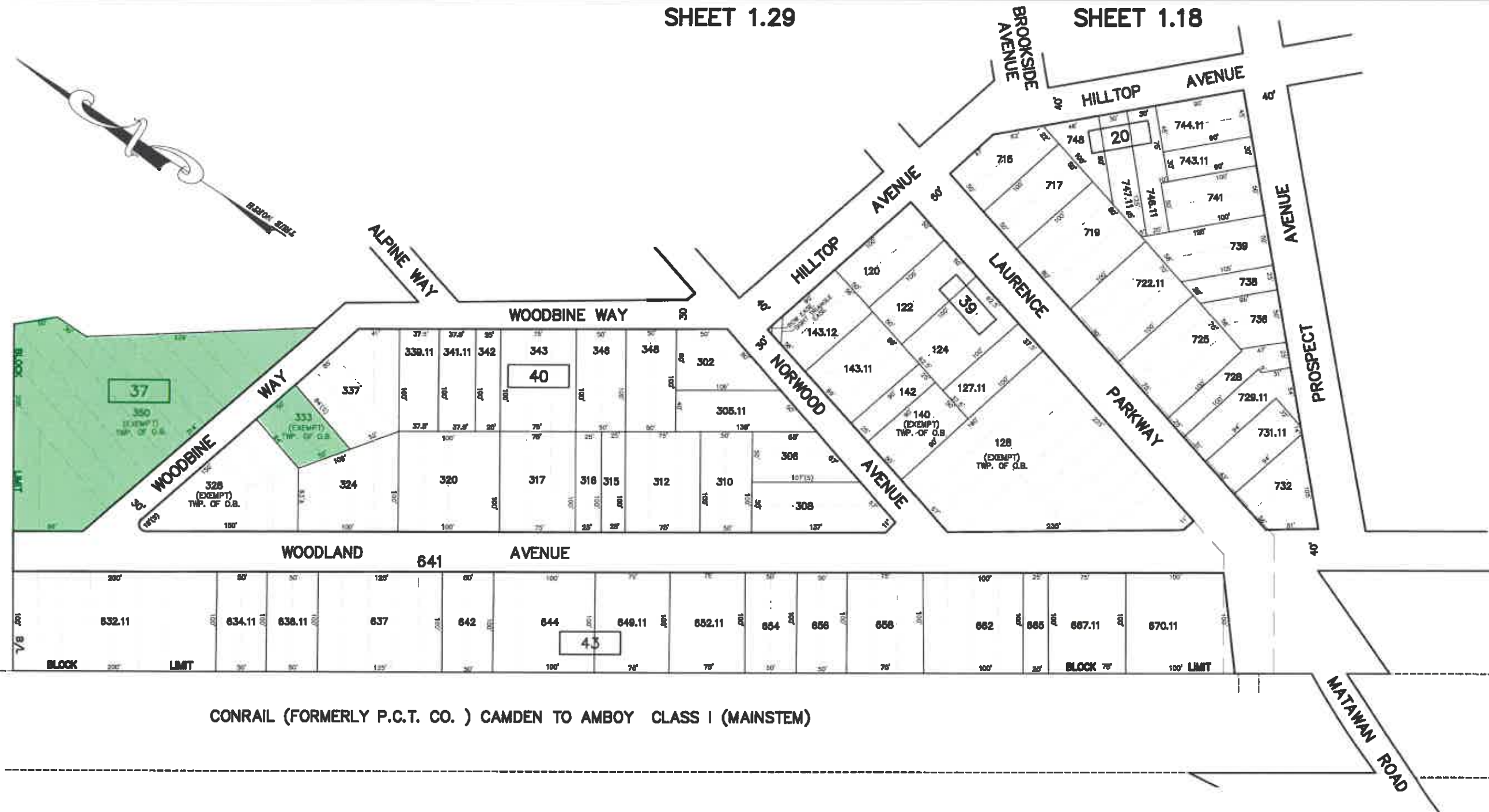
8/2/2008 9 24.1 0.014, MARGARET'S CREEK, D.L. REV. BY C.M.

SHEET 1.29

SHEET 1.18

SHEET 1

SHEET 1.21



SHEET 1

TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1" = 50' DATE : JULY 2008
MICHAEL J. MCGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859



SHEET 1.18

SHEET 1.19

SHEET 1

SHEET 1, 2.14

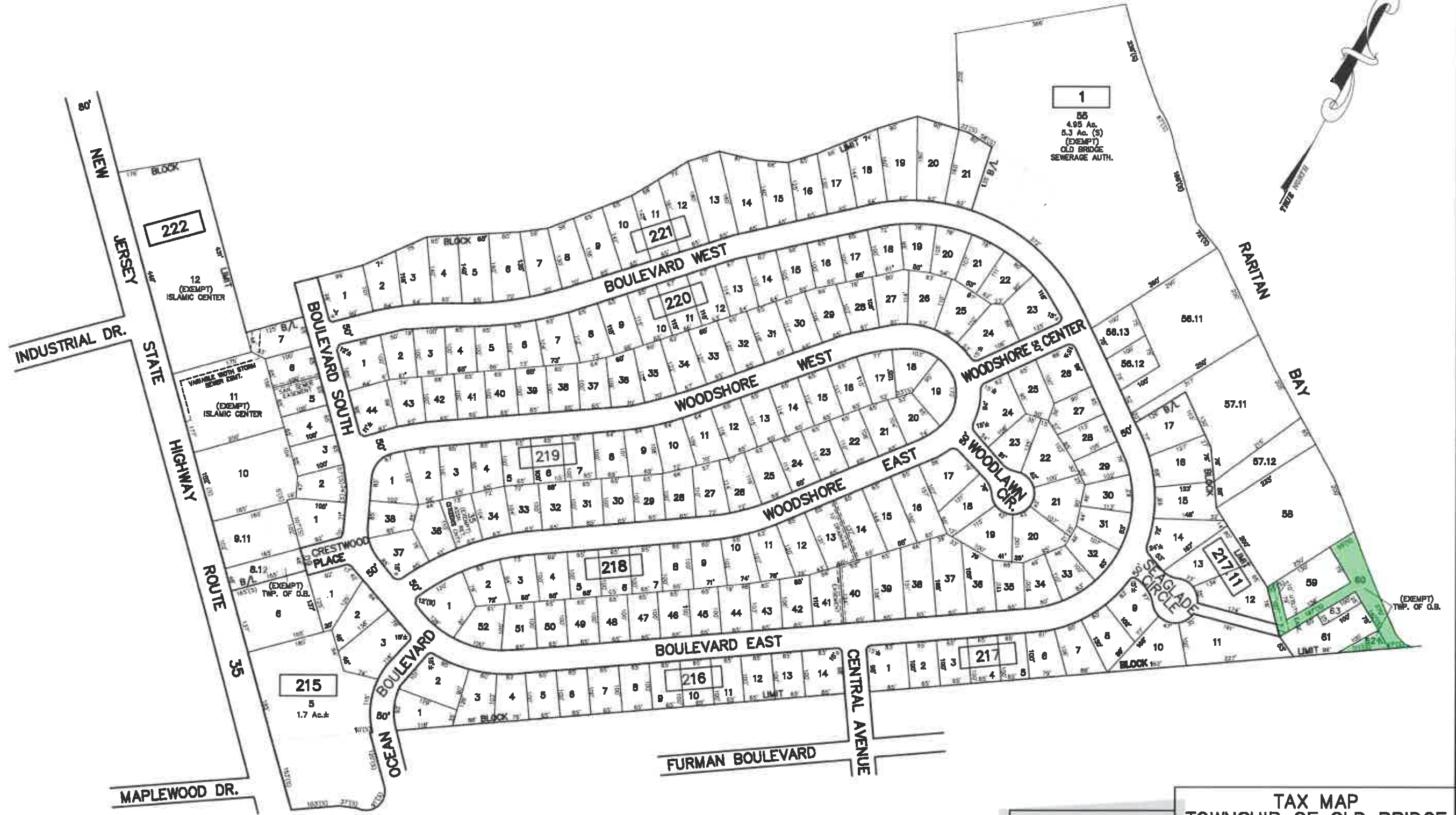
THIS SHEET HAS BEEN DRAWN USING COMPUTER AIDED DRAFTING/DESIGN (CAD/AD) AND COORDINATE GEOMETRY (COGS). A PORTION OF THIS SHEET MAY BE A DISTORTED COPY OF THE TAX MAP ORIGINALLY PREPARED BY JOHN H. ALLARD, MAY 1979. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE MUNICIPAL CLERK.

NEW JERSEY DEPARTMENT OF THE TREASURY
Division of Taxation
TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE: 1" = 50' DATE: JULY 2008
MICHAEL J. McGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE: 1" = 50' DATE: JULY 2008
MICHAEL J. McGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

SHEET 1

SHEET 1.31



THIS SHEET HAS BEEN DRAWN USING COMPUTER AIDED DRAFTING/DESIGN (CAD/D) AND COORDINATE GEOMETRY (GCS). A PORTION OF THIS SHEET IS A CONTINUED COPY OF THE TAX MAP ORIGINALLY PREPARED BY JOHN H. ALLARD, MAY 1976. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE MUNICIPAL CLERK.

SHEET 1.24

SHEET 1.25



TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1"=100' DATE : JULY 2008
MICHAEL J. MCGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

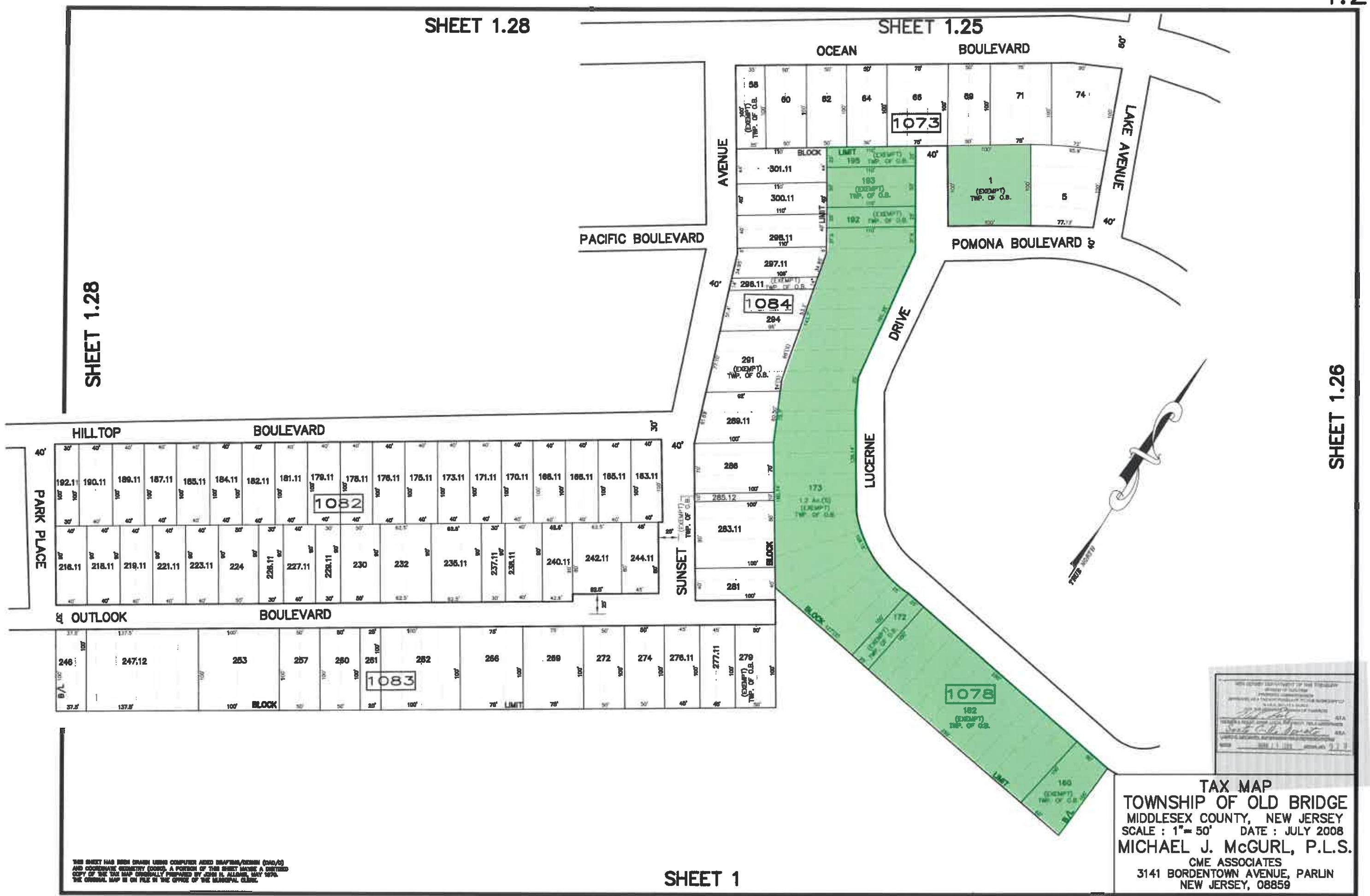


SHEET 1.28

SHEET 1.25

SHEET 1.28

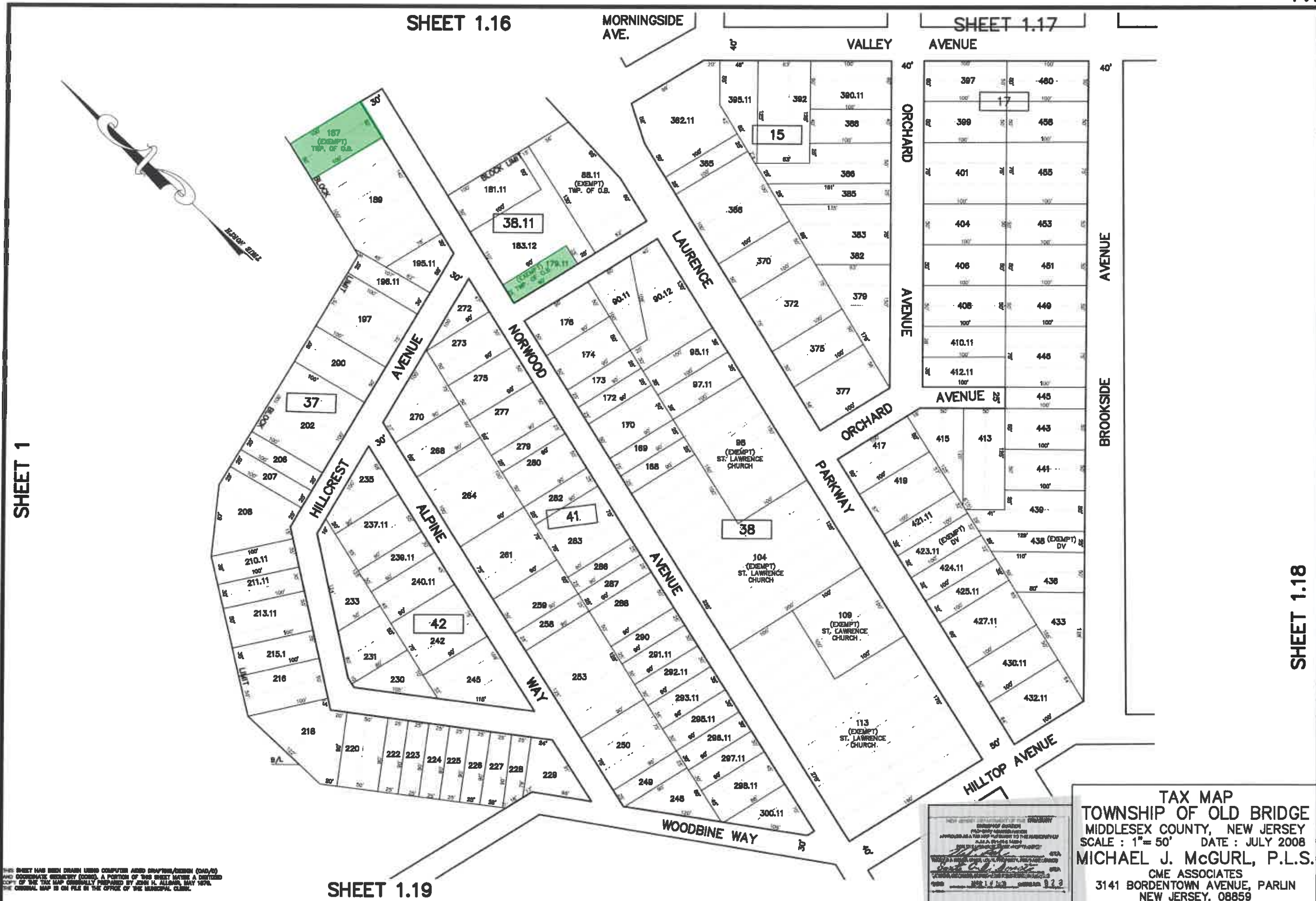
SHEET 1.26



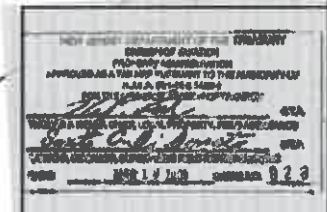
TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1" = 50' DATE : JULY 2008
MICHAEL J. McGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

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SHEET 1



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TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1" = 50' DATE : JULY 2008
MICHAEL J. McGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

SHEET 2

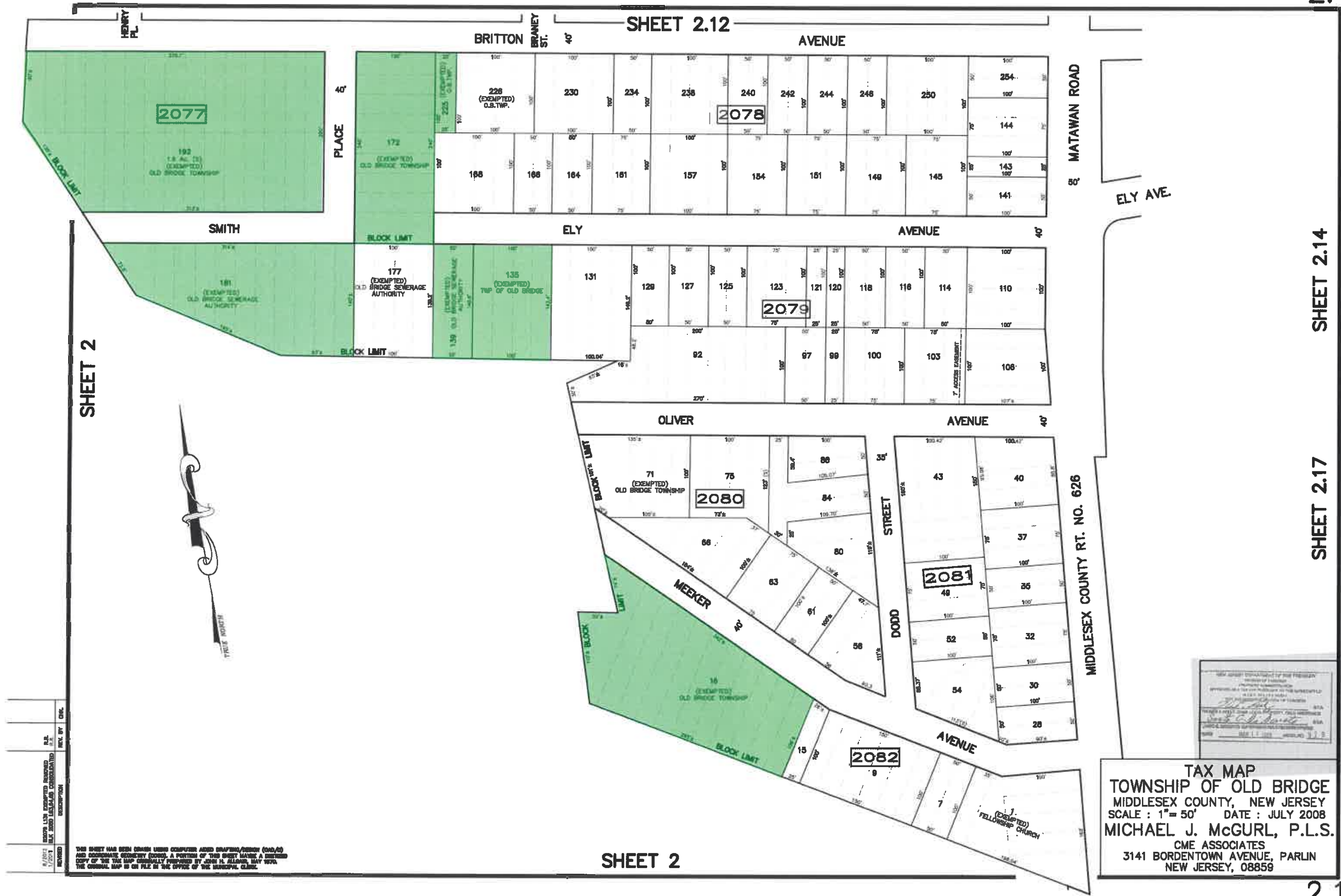
SHEET 1

SHEET 2.12

TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1" = 50' DATE : JULY 2008
MICHAEL J. McGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

THIS SHEET HAS BEEN DRAWN USING COMPUTER AIDED DRAFTING/DESIGN (CAD/2) AND COORDINATE GEOMETRY (COGO). A PORTION OF THIS SHEET MAY BE A DISTORTED COPY OF THE TAX MAP ORIGINALLY PREPARED BY JOHN H. ALLISON, MAY 1972. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE MUNICIPAL CLERK.





SHEET 2

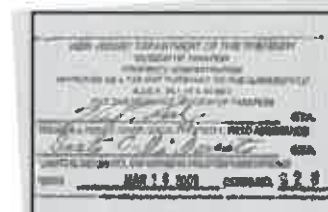
SHEET 2

REV.	BY	DATE	DESCRIPTION
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3/2011	REVISION	3/2011	2000.25 141.11 REV TO DATE/PROP
4/2011	REVISION	4/2011	2000.25 141.11 REV TO DATE/PROP
5/2011	REVISION	5/2011	2000.25 141.11 REV TO DATE/PROP
6/2011	REVISION	6/2011	2000.25 141.11 REV TO DATE/PROP
7/2011	REVISION	7/2011	2000.25 141.11 REV TO DATE/PROP
8/2011	REVISION	8/2011	2000.25 141.11 REV TO DATE/PROP
9/2011	REVISION	9/2011	2000.25 141.11 REV TO DATE/PROP
10/2011	REVISION	10/2011	2000.25 141.11 REV TO DATE/PROP
11/2011	REVISION	11/2011	2000.25 141.11 REV TO DATE/PROP



THIS SHEET HAS BEEN DRAWN USING COMPUTER AIDED DRAFTING/DESIGN (CAD) AND COORDINATE GEOMETRY (GCS). A PORTION OF THIS SHEET MAY BE A REPRODUCED COPY OF THE TAX MAP ORIGINALLY PREPARED BY JOHN H. ALLAN, MAY 1977. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE MUNICIPAL CLERK.

SHEET 2.15



TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1" = 50' DATE : JULY 2008
MICHAEL J. McGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

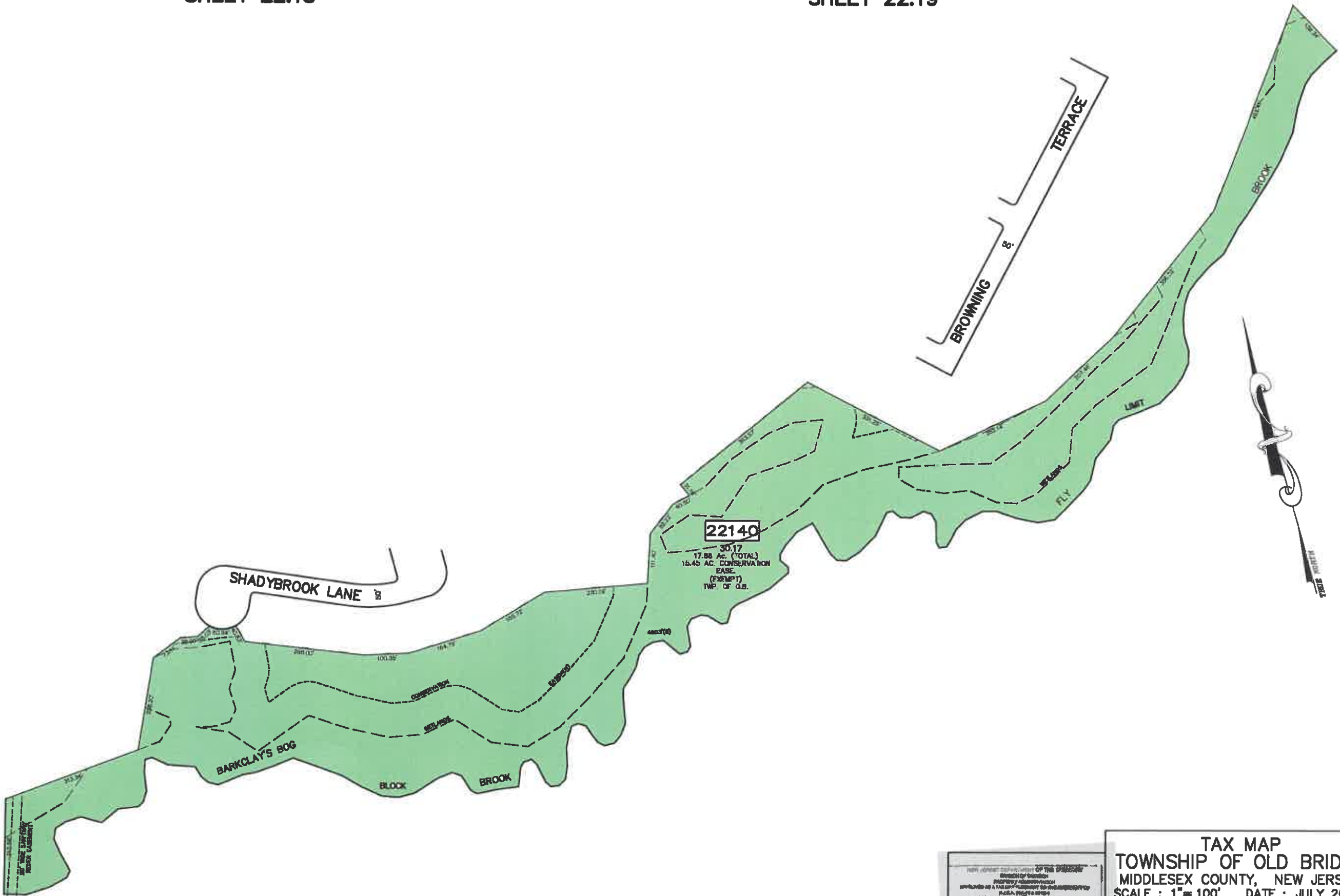
SHEET 22.18

SHEET 22.19

SHEET 24

SHEET 22.12

SHEET 22.23

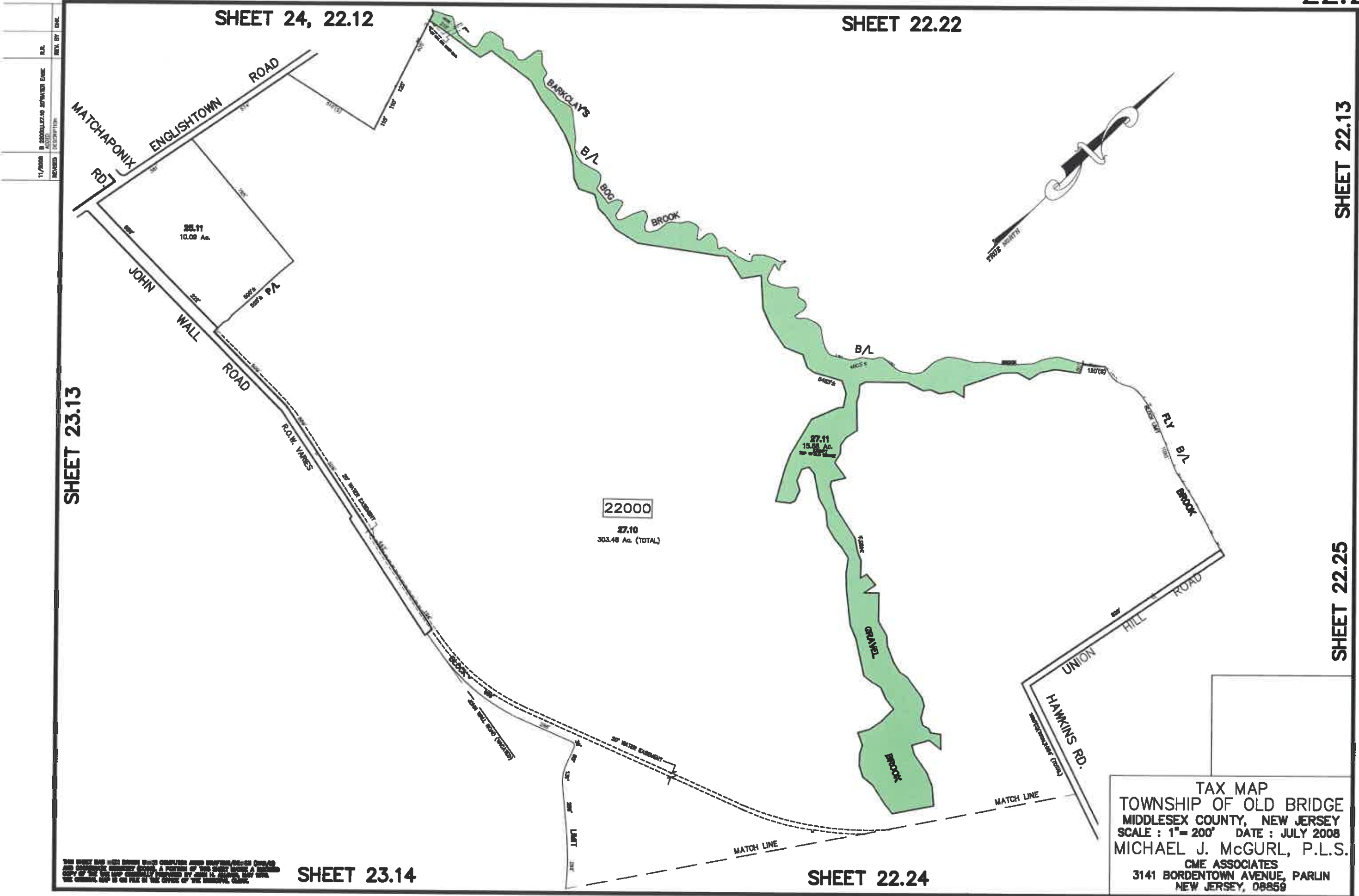


THIS SHEET HAS BEEN DRAWN USING COMPUTER AIDED DRAFTING/DESIGN (CAD/D) AND COORDINATE GEOMETRY (GCS). A PORTION OF THIS SHEET MAY BE A DERIVED COPY OF THE TAX MAP ORIGINALLY PREPARED BY JOHN H. ALLEN, MAY 1970. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE MUNICIPAL CLERK.

SHEET 22.23

NEW JERSEY DEPARTMENT OF THE TREASURY
BUREAU OF TAXATION
PROPERTY TAXATION DIVISION
OFFICE OF THE TAX MAPS AND PARCEL DATA
311 N. 2ND ST., 2ND FLOOR
NEW JERSEY, 07102
DATE: 7/1/08
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1" = 100' DATE : JULY 2008
MICHAEL J. MCGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859



TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1"= 200' DATE : JULY 2008
MICHAEL J. McGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

THIS MAP WAS PREPARED BY COMPUTER AND PRINTED ON PAPER. A PORTION OF THIS MAP MAY BE A REPRODUCTION OF A PREVIOUS EDITION. THE USER OF THIS MAP ASSUMES ALL LIABILITY FOR ANY INACCURACIES OR OMISSIONS. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE TOWNSHIP CLERK.

SHEET 4

REVISED	DESCRIPTION	REV. BY
10/2010	B 4103, L 353.35 REVISIED	R.R.



SHEET 4.15

SHEET 4

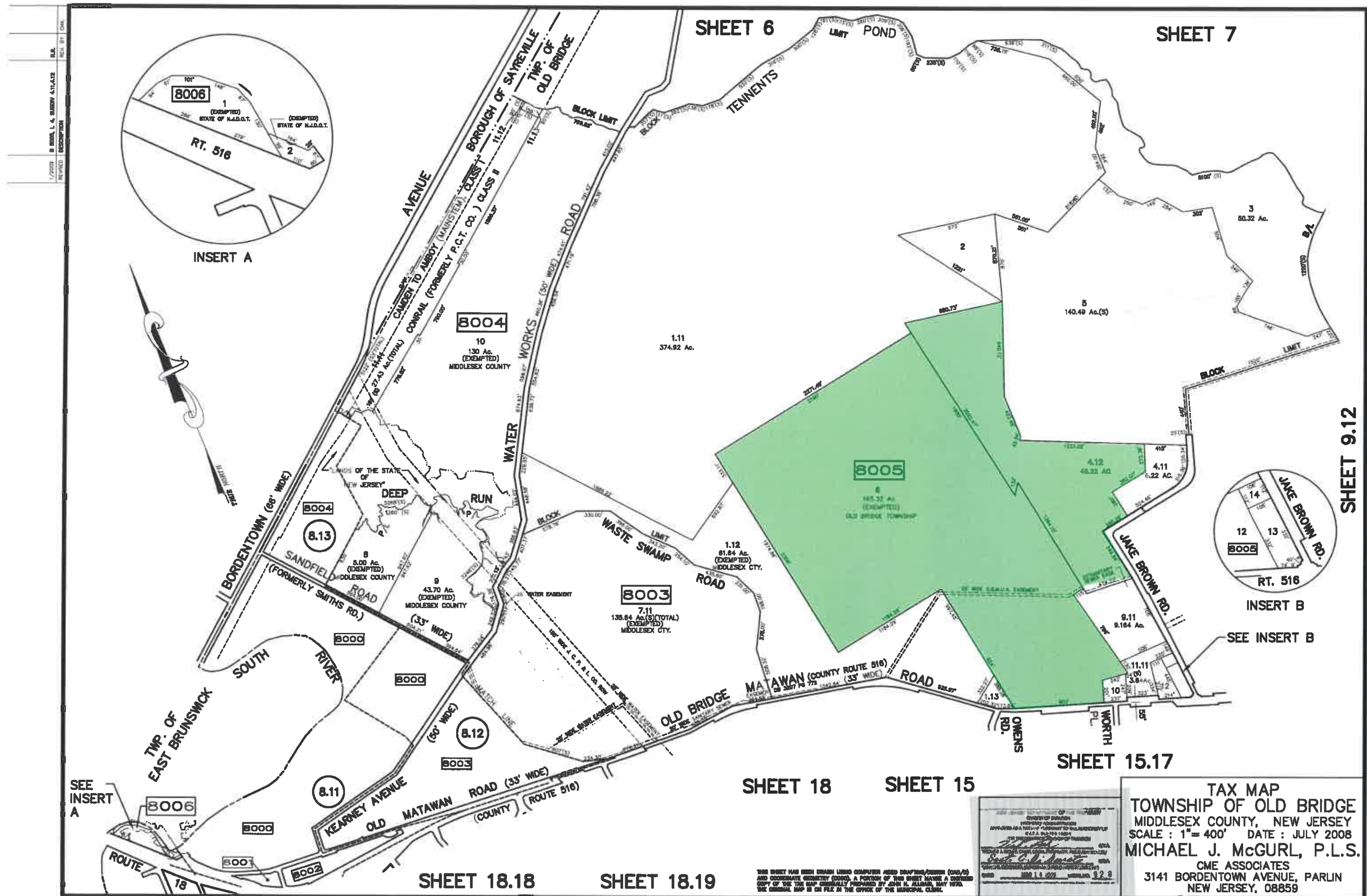
SHEET 4.16

SHEET 4.18

THIS SHEET HAS BEEN DRAWN USING COMPUTER AIDED DRAFTING/DESIGN (CAD/C) AND COORDINATE GEOMETRY (GCOG). A PORTION OF THIS SHEET MAYBE A DUPLICATED COPY OF THE TAX MAP GENERALLY PREPARED BY JOHN H. ALLMAN, MAY 1972. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE METROPOLITAN CLERK.

NEW JERSEY DEPARTMENT OF THE TREASURY
COMMISSION OF GOVERNMENT
PROPERTY ADMINISTRATION
APPROVED AS A VOUCHER FOR PAYMENT TO THE AGENT/OWNER
N.J.A.C. 17:27 (b)(2)
DATE OF RECEIPT: 1/23/2008
AGENCY: NEW JERSEY DEPARTMENT OF TREASURY
OFFICE: NEW JERSEY DEPARTMENT OF TREASURY
DATE: 1/23/2008
AMOUNT: \$ 100.00
TOTAL: \$ 100.00

TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1"= 50' DATE : JULY 2008
MICHAEL J. McGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

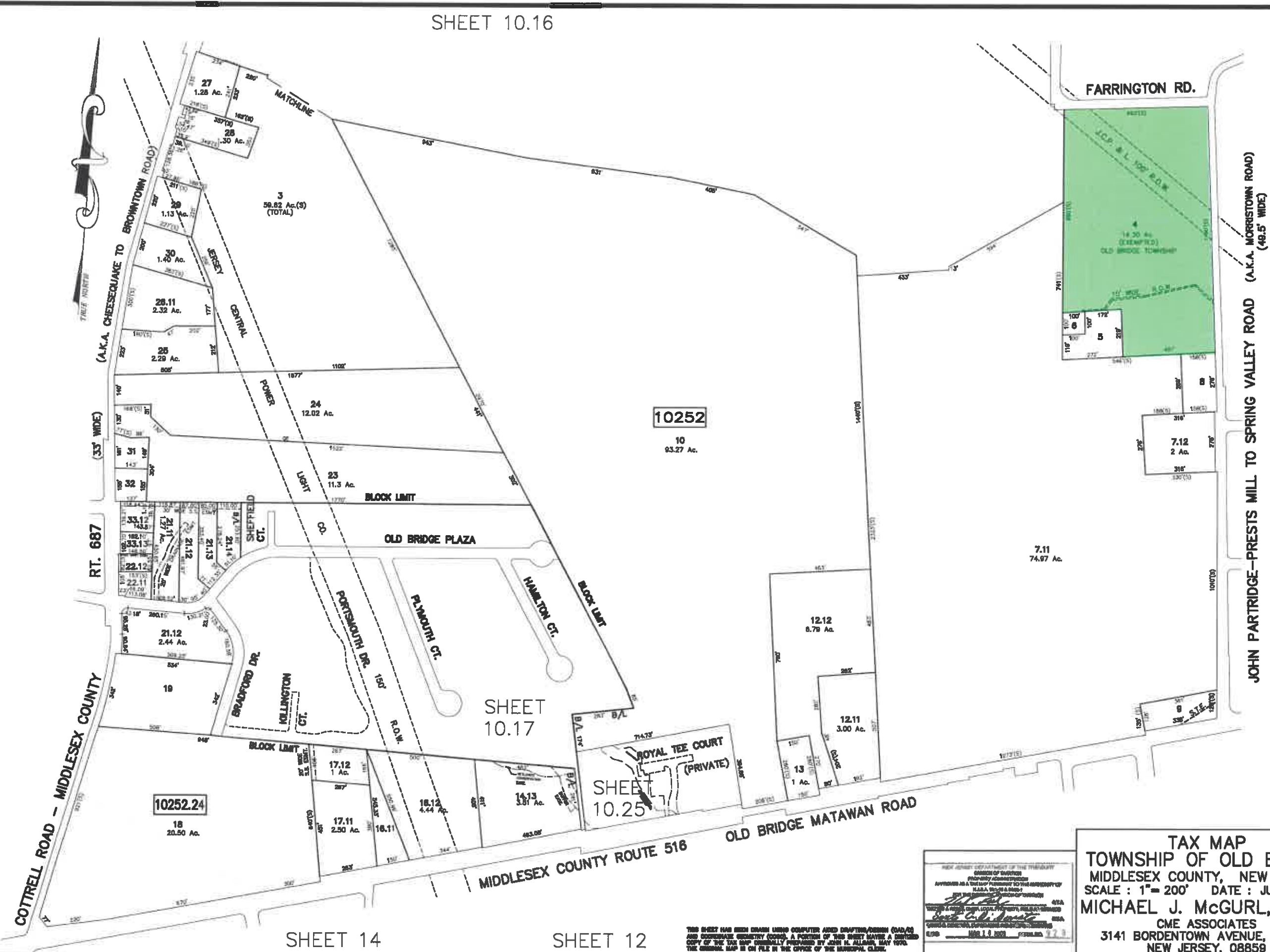


REV.	BY	CHK.
9/2016	BL/2016	LA/2016
11/2013	BL/2013	LA/2013
11/2011	BL/2011	LA/2011
10/2011	BL/2011	LA/2011
12/2009	BL/2009	LA/2009
9/2008	BL/2008	LA/2008

SHEET 10.14

SHEET 10.24

SHEET 10



NEW JERSEY DEPARTMENT OF THE TREASURY
DIVISION OF TAXATION
PROPERTY TAX MAPS
APPROVED AS A TRUE AND CORRECT COPY OF THE ORIGINAL MAP BY THE DIVISION OF TAXATION
DATE: 7/2/08
BY: [Signature]
TITLE: [Signature]

TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1" = 200' **DATE : JULY 2008**
MICHAEL J. MCGURL, P.L.S.
CME ASSOCIATES
3141 BORDENTOWN AVENUE, PARLIN
NEW JERSEY, 08859

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SHEET 10.16



SHEET 10.22

SHEET 4

SHEET 10.16

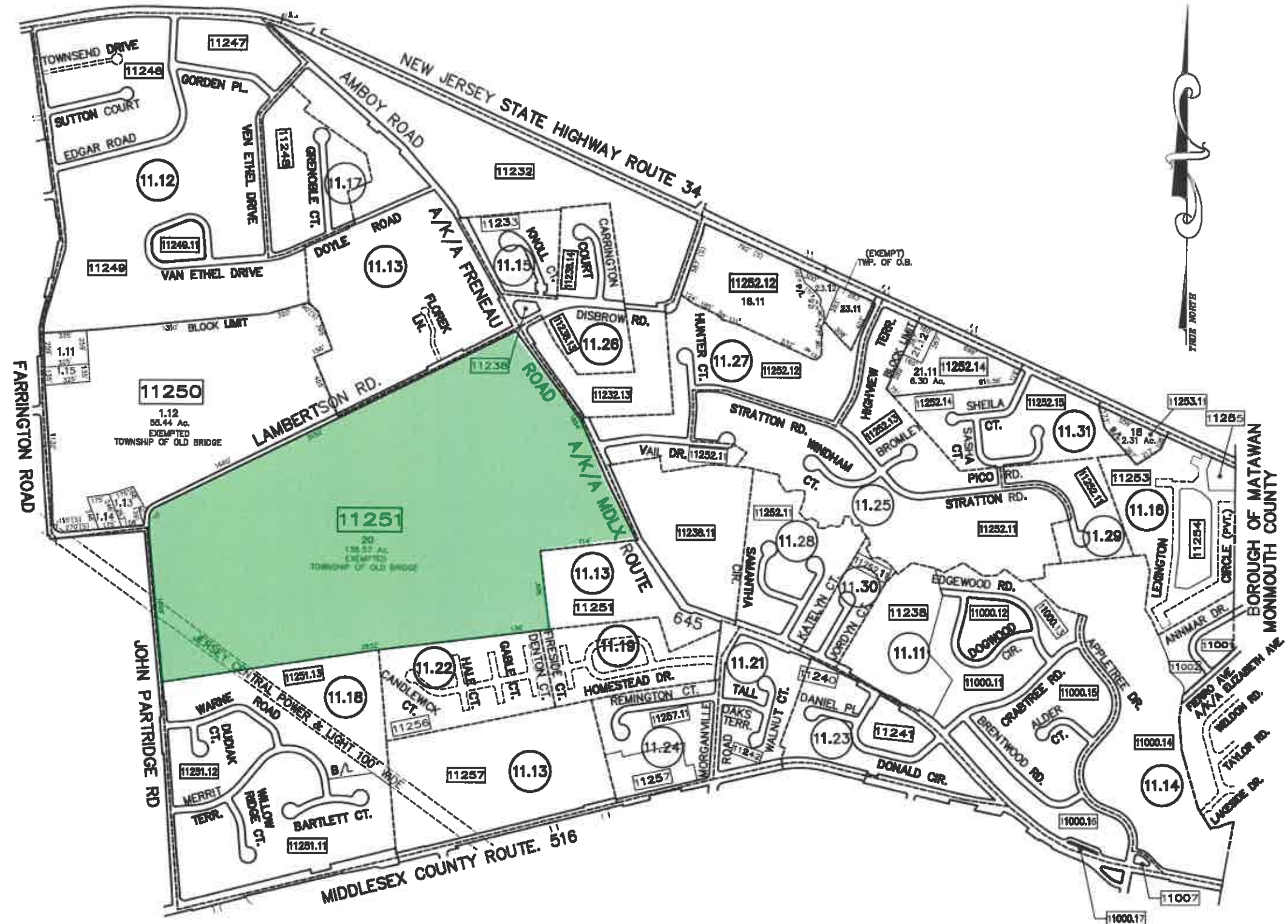
SHEET 10.21

TAX MAP
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MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1"= 100' DATE : JULY 2008
MICHAEL J. MCGURL, P.L.S.
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10.23

SHEET 3,3.13

SHEET 10.15, 10.16, 10.19, 10.22



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SHEET 12, 12.23

TAX MAP
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MIDDLESEX COUNTY, NEW JERSEY
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MICHAEL J. McGURL, P.L.S.
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SHEET 11.29

SHEET 11.25

SHEET 11.16

SHEET 11.25

SHEET 3.23

SHEET 11

**TAX MAP
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1" = 50' DATE : JULY 2008
MICHAEL J. McGURL, P.L.S.
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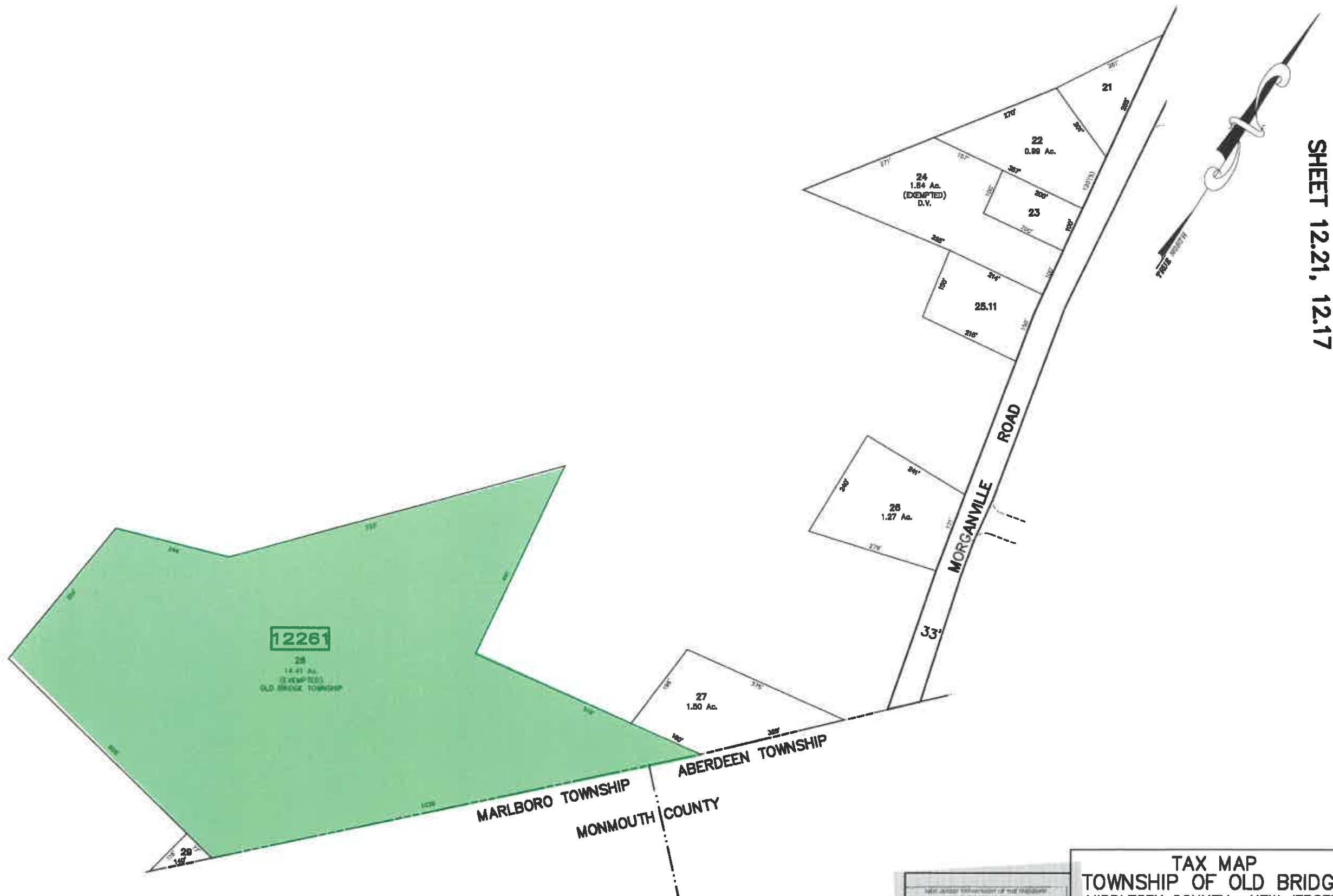
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SHEET 12

SHEET 12.29

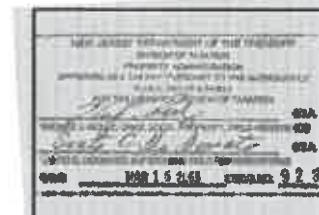
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SHEET 12.21, 12.17



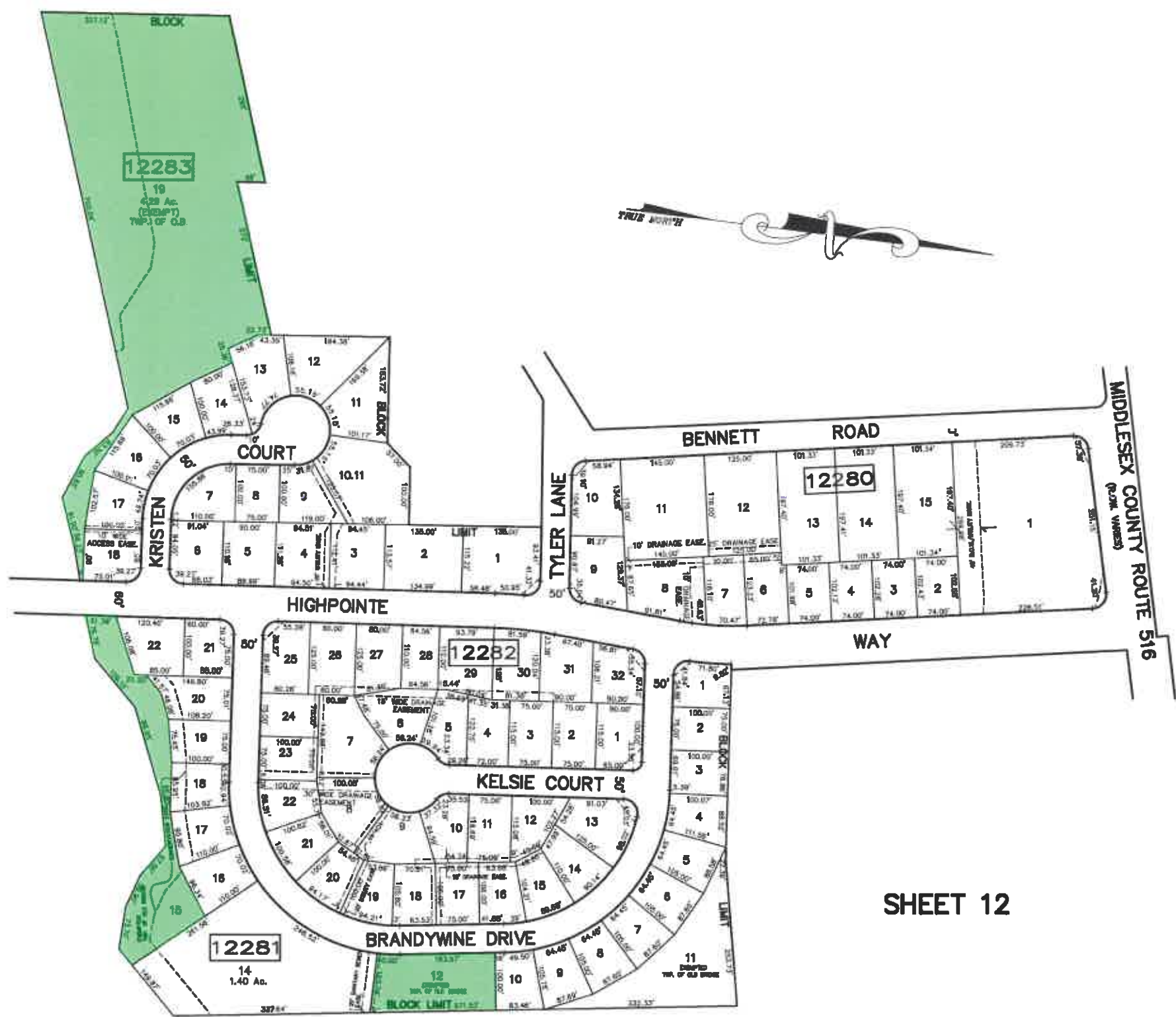
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SHEET 3



TAX MAP
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SHEET 12.12



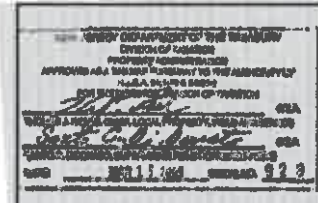
SHEET 12.25

SHEET 10.15

SHEET 12

SHEET 12

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SHEET 8

SHEET 9

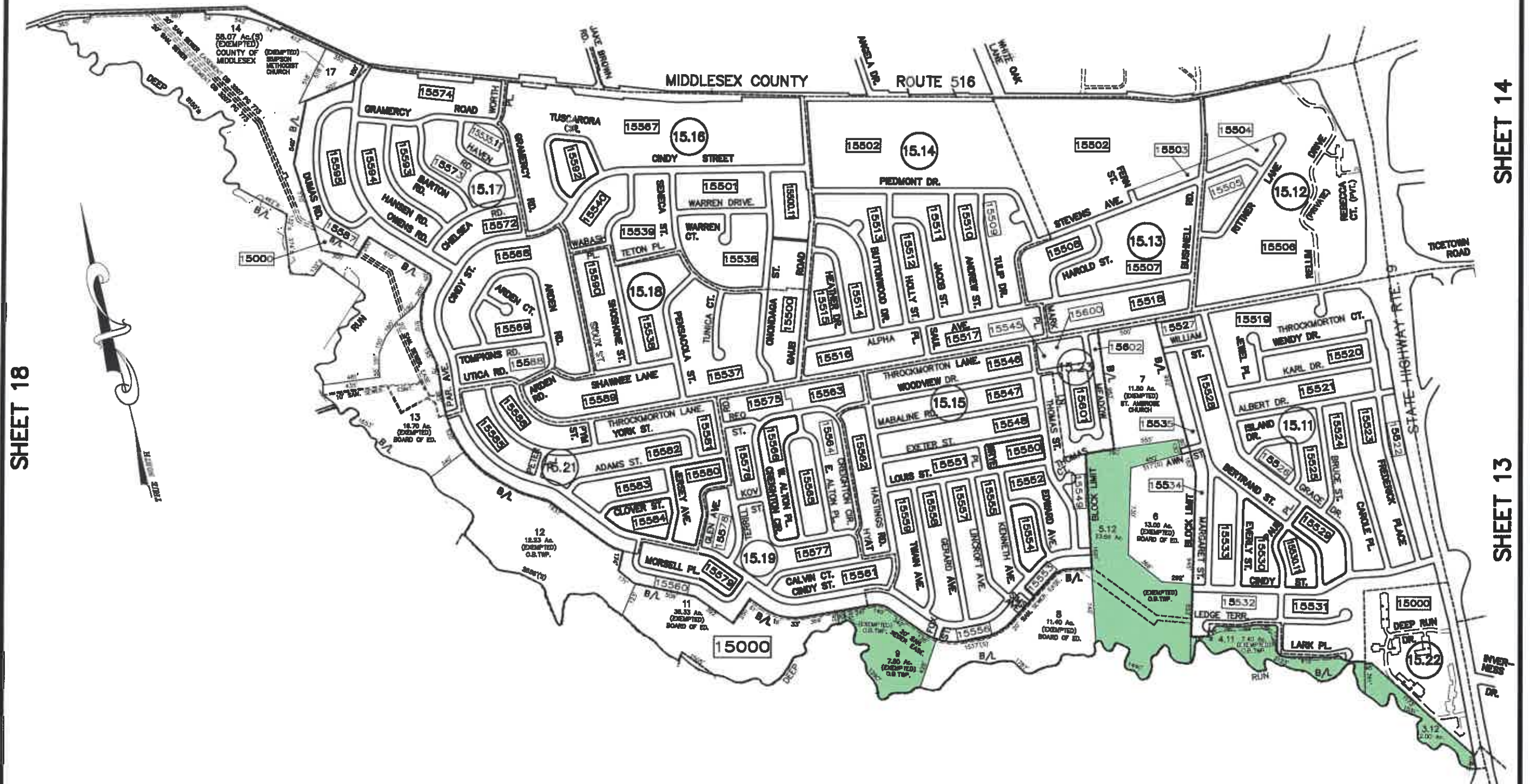
SHEET 9.11

SHEET 14

SHEET 13

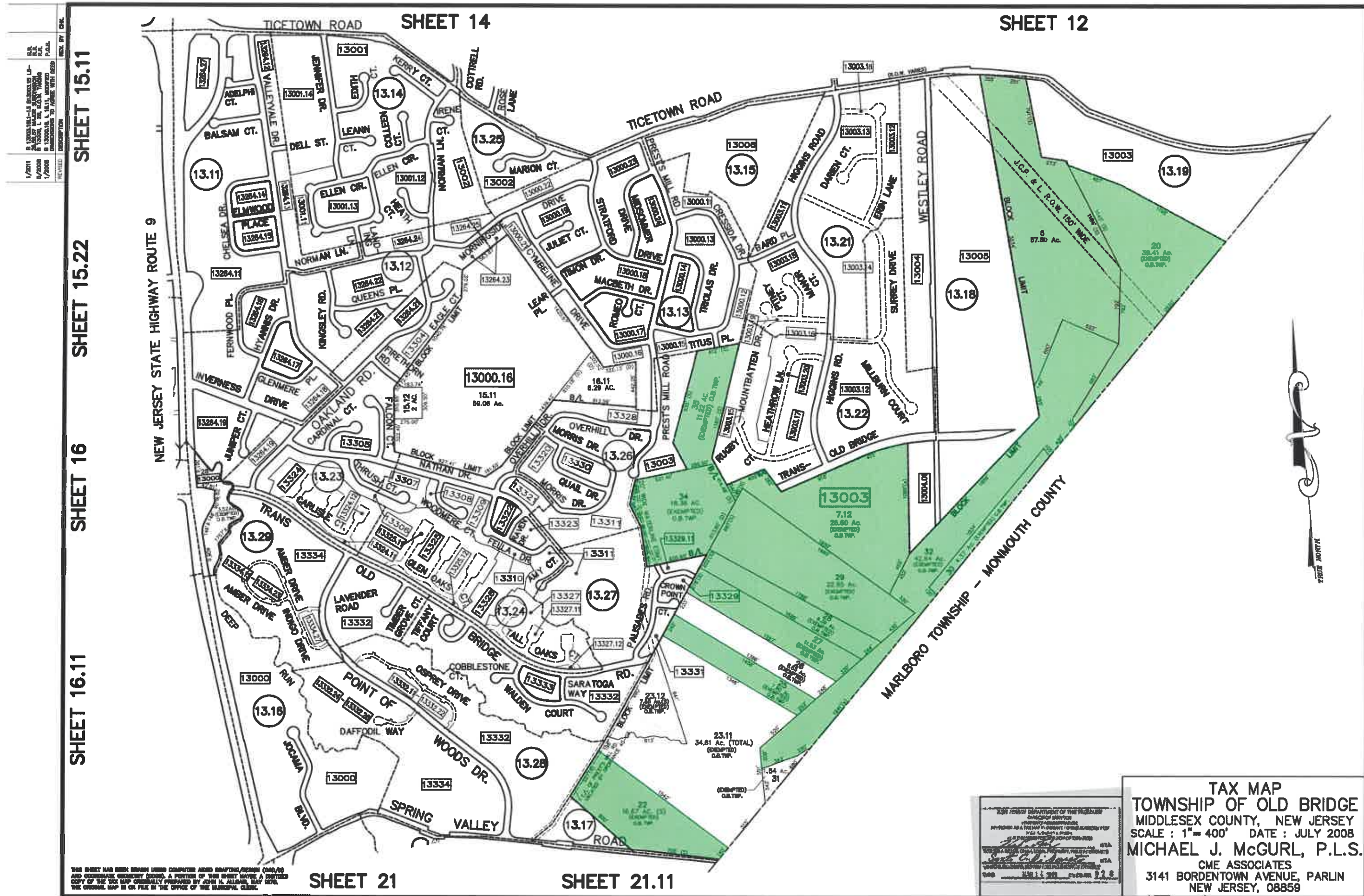
SHEET 18

SHEET 17



TAX MAP
TOWNSHIP OF OLD BRIDGE
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SCALE : 1"= 400' DATE : JULY 2008
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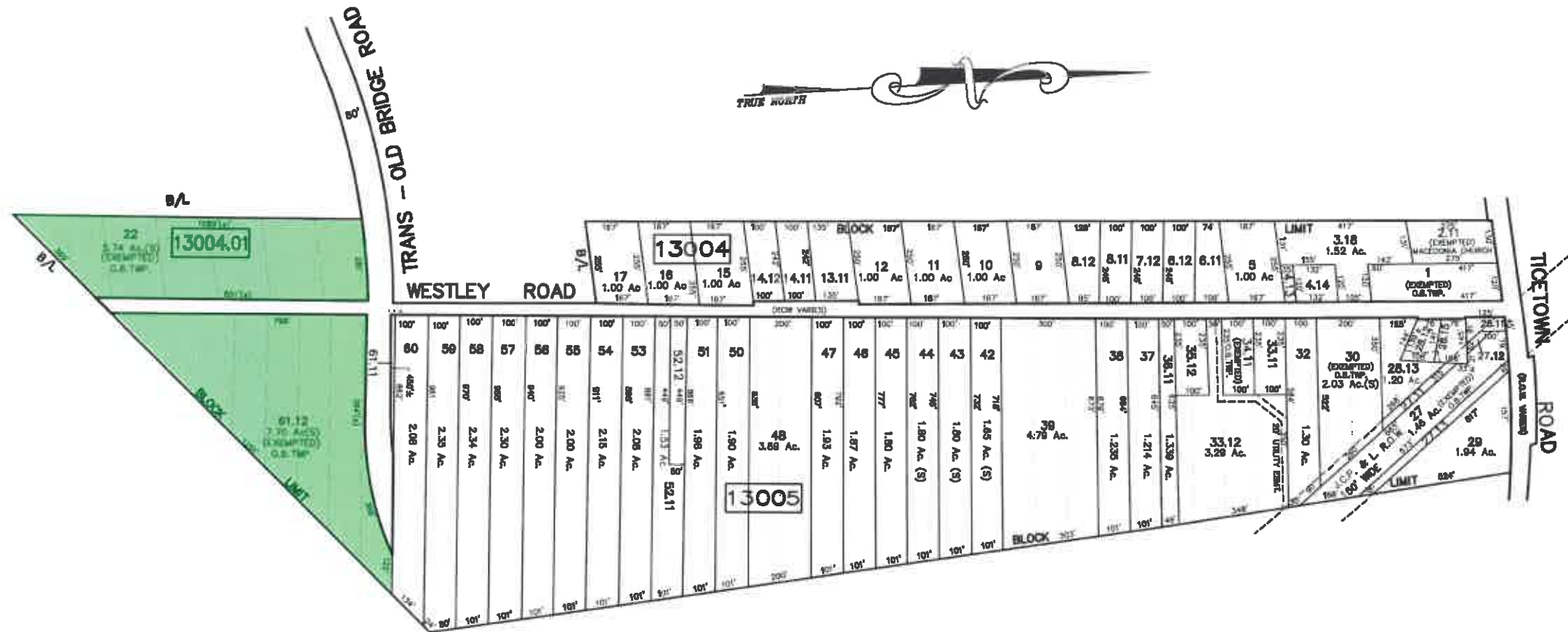


SHEET 13.22

SHEET 13.21

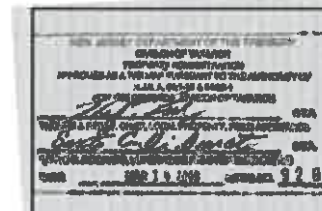
SHEET 13

SHEET 12



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SHEET 13



TAX MAP
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SHEET 13.21

SHEET 13

SHEET 13.18



MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1"= 100' DATE : JULY 2008

CME ASSOCIATES
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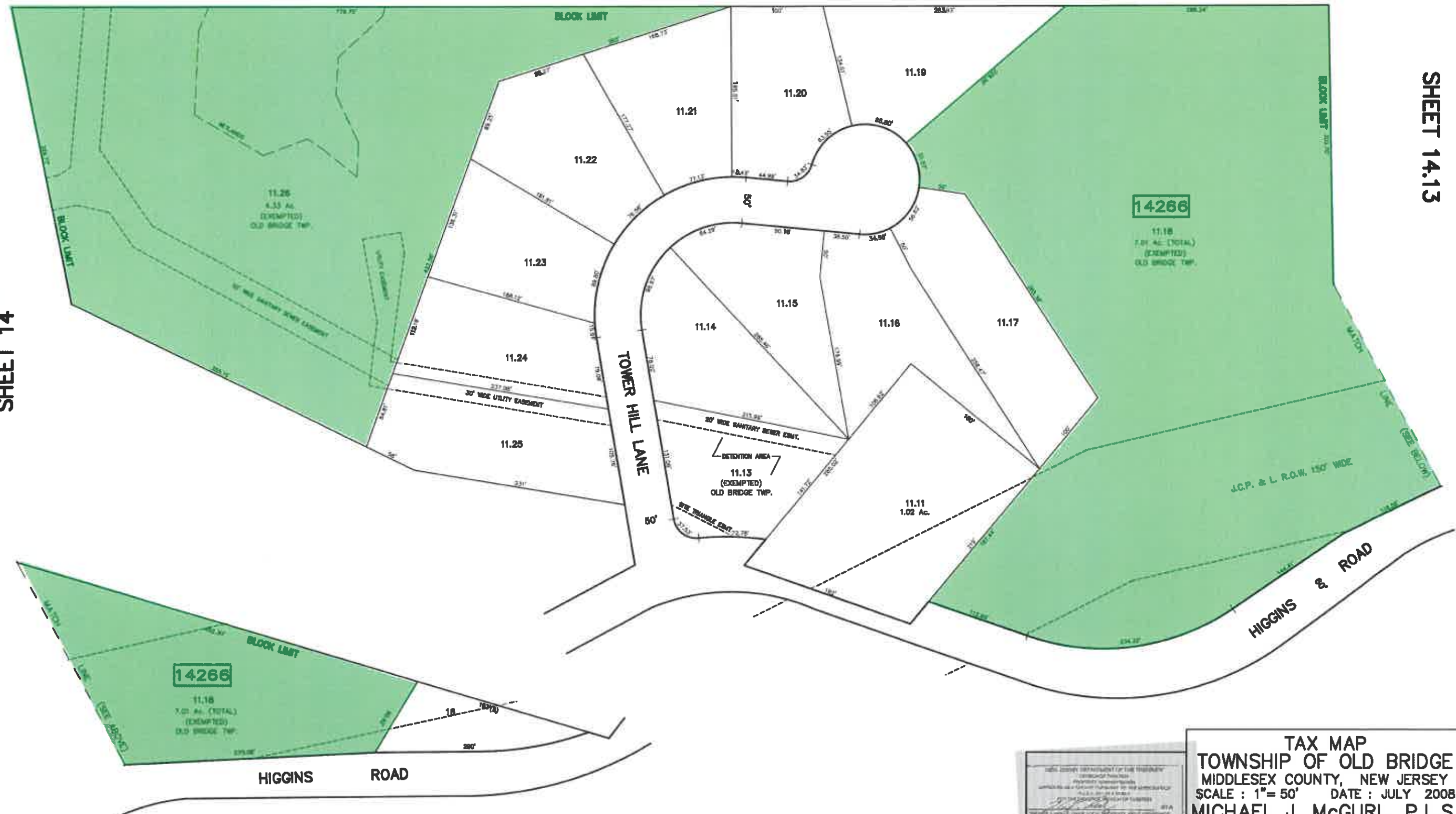
SHEET 13



SHEET 14

SHEET 14.13

SHEET 14

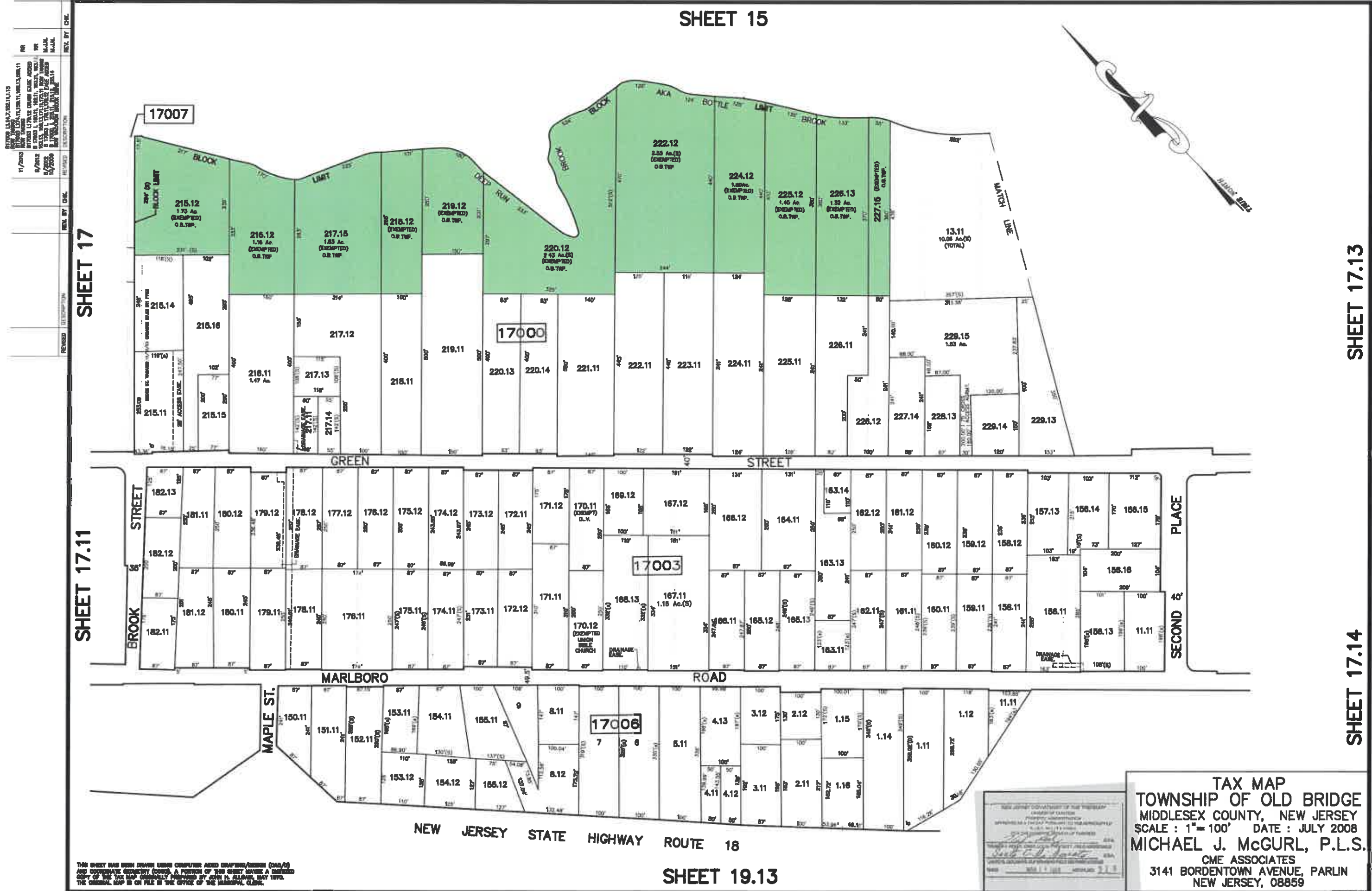


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SHEET 12



TAX MAP
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NEW JERSEY, 08859



SHEET 17.13

SHEET 17.14



SHEET 26.19

SHEET 18.13

SHEET 18.22

SHEET 18.17

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 3141 BORDENTOWN AVENUE, PARLIN
 NEW JERSEY, 08859



SHEET 24

SHEET 22



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TAX MAP
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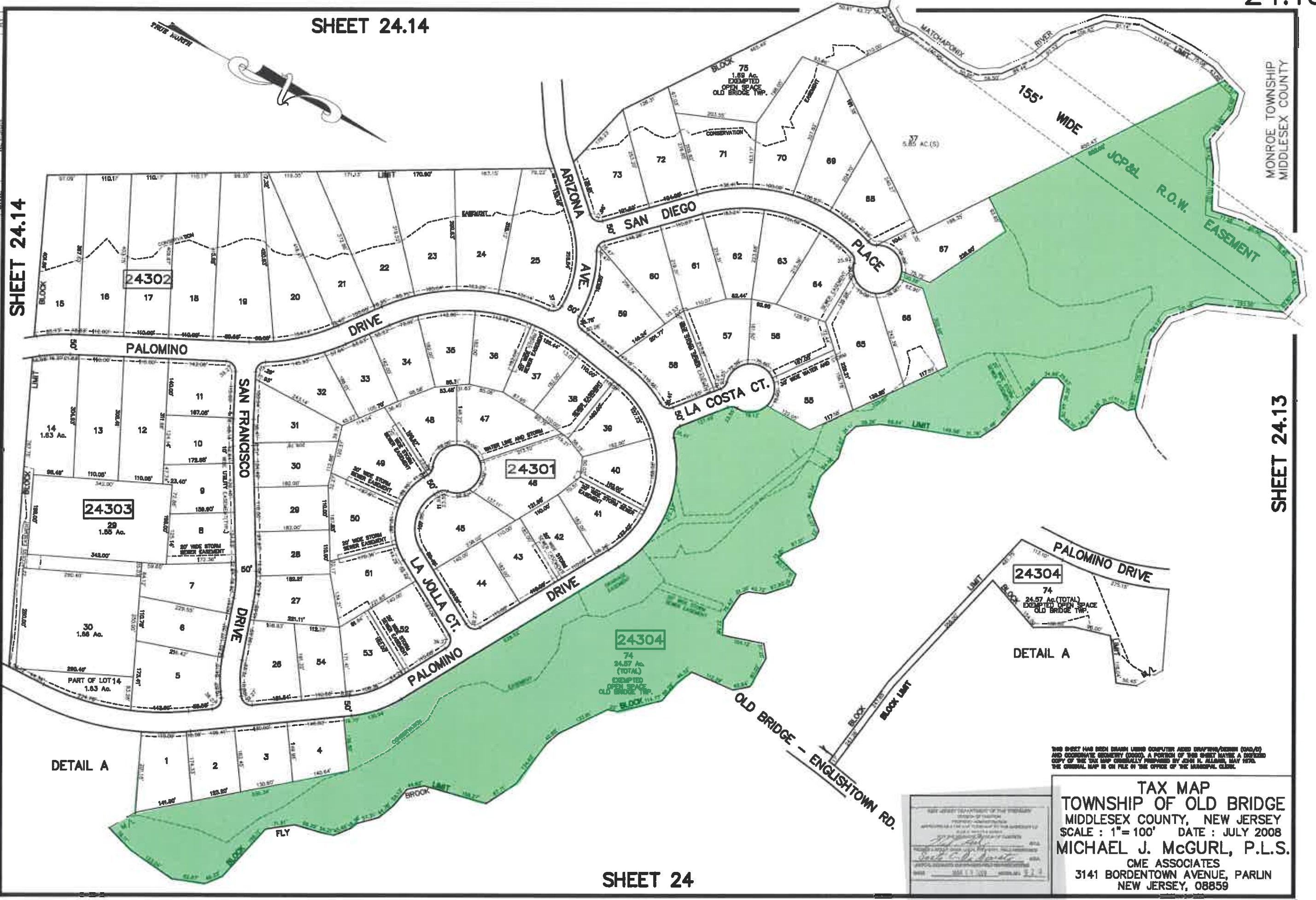
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SHEET 24

SHEET 24.12



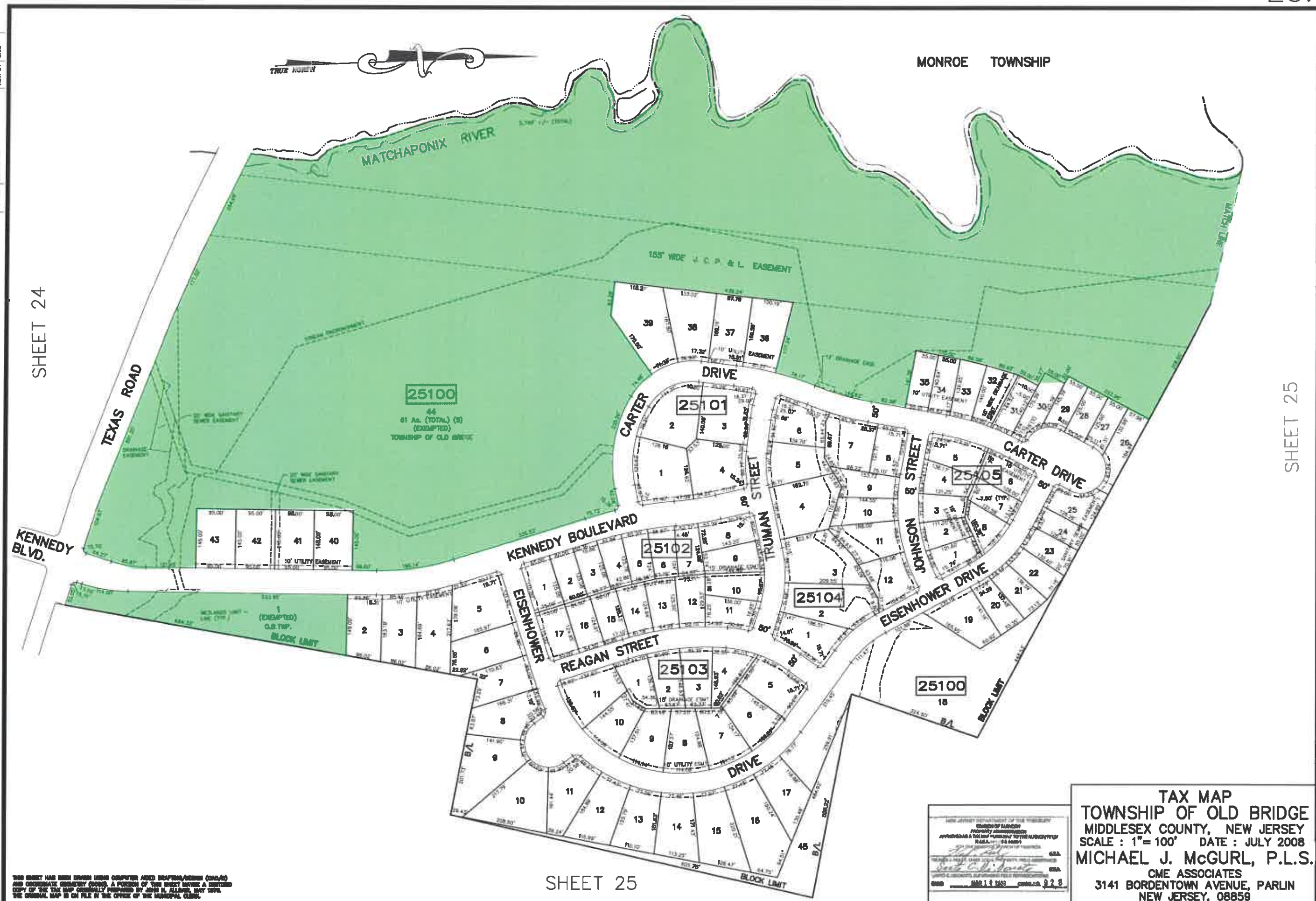
TAX MAP
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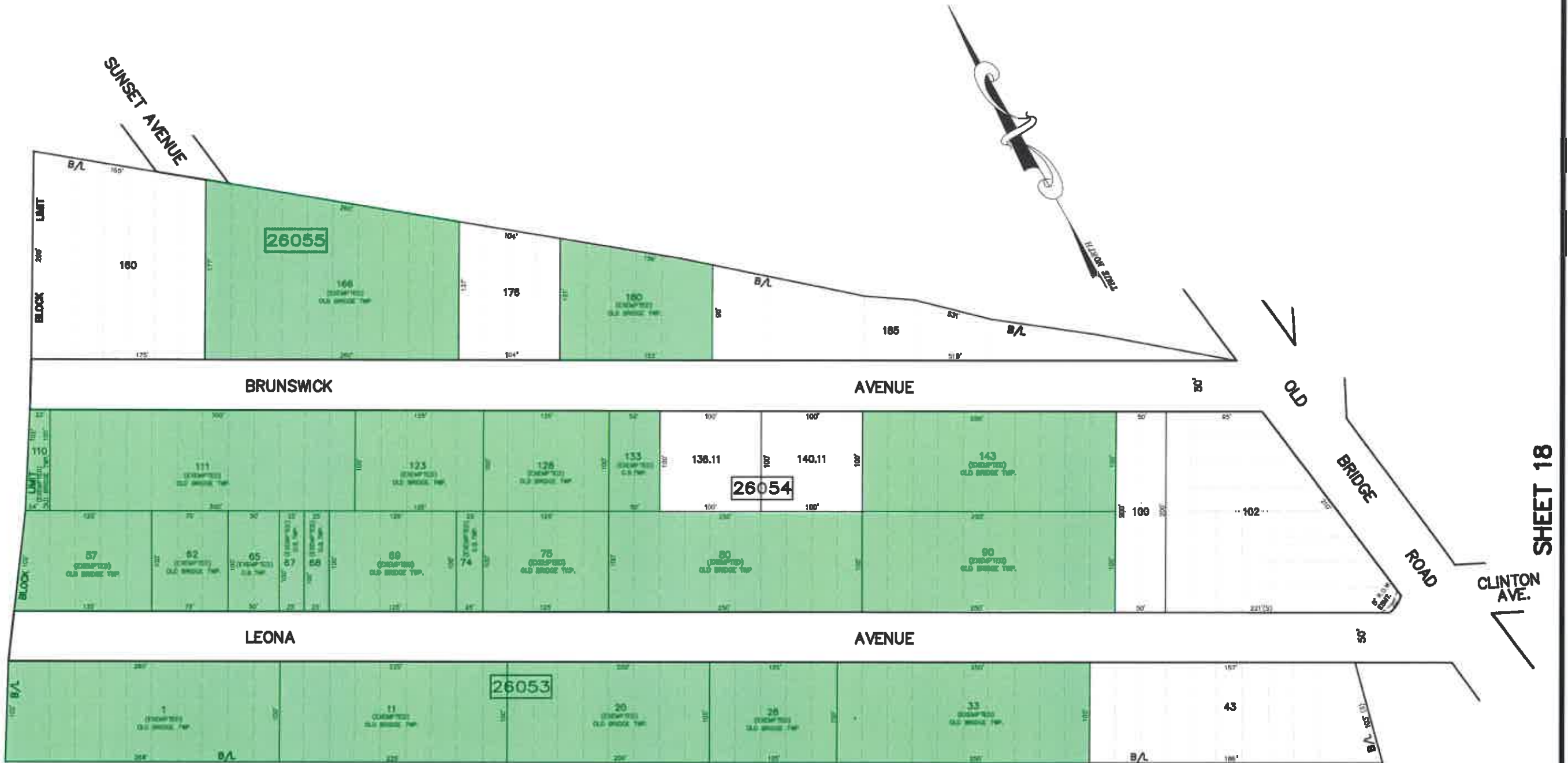
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SHEET 26.16

SHEET 26



SHEET 18

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SHEET 26



TAX MAP
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MIDDLESEX COUNTY, NEW JERSEY
SCALE : 1" = 50' DATE : JULY 2008
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3141 BORDENTOWN AVENUE, PARLIN
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SHEET 26.13

SHEET 26.18

SHEET 26.12



SHEET 26.18

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**GREEN ACRES NARRATIVE DESCRIPTION OF PROPOSAL
ATTACHMENT #6**

OBT COTTRELL FARM PARK PROJECT

Project Description – Part 1

This calendar year, 2019, is a very special time for Old Bridge Township (OBT) as it marks our **150th Anniversary**. Officially categorized as a sesquicentennial, as prominently displayed on our website, posters and banners throughout town, our Mayor, Administration, Council and residents are ready to “Celebrate Old Bridge.” So, what better time than now to give back to our community and residents by designing and constructing Cottrell Farm Park for utilization by all ages. Although the farm and buildings are not officially deemed historic they hold many historic elements. The Farm House will ultimately support our towns rich history by being used as a museum in conjunction with the Madison Historical Society.

As this full application and its attachments explain and confirm, for a few years now OBT has been working with both NJDEP Green Acres and Middlesex County to acquire and gain use of the land to develop approximately 21.14 acres as a passive and active park. The proposed improvements will enhance the recreational opportunities within a centrally located portion of town, and provide Middlesex County Parks and Recreation a presence at the southeastern section of the County. The cost this four phase park development project is anticipated to be approximately at a cost of \$5.5 million.

The following lists our steps and coordination efforts with various entities:

- Declaration of Encumbrance via the Cottrell Farm Acquisition w/Middlesex County
- Preliminary in-house conceptual plan presented to Mayor and Administration, Council and Planning Board
- Retained an Engineering firm and Architectural firm for design services to refine the initial conceptual plan
- Preliminary Meeting with Middlesex County Planning and Engineering Department
- Preliminary Meeting with Old Bridge Municipal Utilities Authority (OBMUA)
- Meeting with our Conservation Officer/Forrester and Shade Tree Commission member
- Coordination with Office of Emergency Management, Fire Marshal & Construction Code Official
- Two (2) Steering Committee meetings with compiled and addressed comments to improve and advance the work as planned
- Internal Design Meetings and Conceptual Design Refinement
- Two (2) public meetings (October 26, 2018 and one scheduled for April 8, 2019) to ensure residents, staff and council members are aware of this project and its funding objectives
- Resolution by the Township of Old Bridge Town Council authorizing and improving the Mayor to execute this Green Acres Application
- Letter of support from the Middlesex County Department of Infrastructure Management, Office of Planning and Old Bridge Township Planning Board Chairwoman

The final refined conceptual plan has been divided into four phases in hopes that construction of Phase I can begin in Spring 2019, as follows:

- | | |
|-----------------|---|
| Phase I | Parking lot, stormwater management facilities, walking trail, and refurbishment of the site area around the existing buildings for public access, park signage, landscaping, Rehabilitation of the interior and exterior Farm House and exterior rehabilitation only of the stone garage, CMU garage and barn. |
| Phase II | Completion of walking trail, addition of Fitness trail (“Parcours”), pre-fabricated restroom building, playground, great lawn, gazebo/picnic shelter, and decorative perimeter fencing. |

- Phase III** **Rehabilitation of the interior of the stone garage and barn and the interior and exterior of the pool cottage.**
- Phase IV** **Any remaining Cottrell Road Town Center District Design elements such as sidewalk, bike lane, landscaping, amphitheater, splash pad, community/memorial garden, decorative trail lighting and parking lot lighting.**

Our goal is to provide recreational opportunities for our residents and the residents of Middlesex County. This can only be accomplished by partnering with NJDEP Green Acres to assist in funding this project. Our partnership in acquiring this property was a success and we know that we can meet the goals and objectives of Green Acres by partnering on the construction portion of this project. As part of our investigation of available county, state and federal funding, we researched and prepared this proposal with attached details to prove that this project is ready, willing and worth being funded by a portion of this year's Green Acres Urban Aid Grant for Recreation.

This project will increase open space and recreation opportunities for all residents of Old Bridge Township. It will attract residents from all of Middlesex County as well as tourists from across the state along with others visiting NJ during family events and vacation time. At the new Cottrell Farm Park, visitors will be able to learn a little history in the Farm House as well as enjoy the walking, playing & water activities, and attend meetings and events in the Gazebo, refurbished farm buildings and a new Amphitheater.

OBT Cottrell Farm Park is a project that addresses all three of the current issues listed on the General Information and Guidelines page of this application:

Kids Outdoors: *Recognizing that children these days often have little connection to nature, and time spent outdoors has decreased, Green Acres funds open space acquisition and the development of outdoor recreation facilities that allow children and adults to explore nature, play games and sports, and get outside to have fun. Cottrell Farm Park plans relate to all of this.*

Sustainable Communities: *Parks, recreation facilities and open spaces are important elements of a sustainable community, and Green Acres funds projects that will improve the quality of life for the State's residents. The apple orchards and community garden will allow the Township to give back to our community by supplying produce to our Food Bank*

Resiliency: *Preserved open space can reduce impacts from flooding by absorbing and retaining stormwater. Cottrell Farm Park will address this as needed.*

Project Description – Part 2

Cottrell Farm Park project addresses these conservation and outdoor recreation factors:

FACTOR #2

SERVICE AREA FACILITY NEEDS

Old Bridge Township has a diverse population of 65,375 (2010 Census). About 75% of the population is white while the other 25% is a combination of Asian, African American/Black, Hispanic/Latino and Mixed. All our residents, regardless of their ages, ethnicity and physical/mental need and capabilities, seek recreational activities to improve their quality of life.

FACTOR #2

SERVICE AREA FACILITY NEEDS

Throughout Old Bridge this happens on a daily basis with more than 300 acres of developed park land and open space that includes more than a dozen different active parks and playing fields for soccer, baseball, softball, and lacrosse and walking trails.

Old Bridge also operates Camp R.O.B.I.N in Geick Park, an Activity Center and accessible playground which offers a wide variety of adventurous, challenging activities for individuals with disabilities from Old Bridge and surrounding towns from ages three through adult. In addition to its daily programs, Camp R.O.B.I.N. also runs summer camps and trains Special Olympic Sports Teams for speed skating, basketball, track & field and swimming; and is currently seeking funding to develop an Ice Hockey team.

The Old Bridge Township Department of Parks, Recreation and Social Services also offers on average 50 programs each season including children's dance, Mommy and Me classes and aerobics plus skating at the Ice Arena. It also runs *Silver Linings*, an active Senior Center in the municipal complex that hosts many recreation programs including exercise and dance for residents over 55.

FACTOR #5

PUBLIC PARTICIPATION/SUPPORT/PLANNING

Support

Attachment #15 is letters of support from the county Department of Infrastructure – Office of Planning and the OBT municipal Planning Board.

Attachment #14 is letters of support the Mayor and the Director of Parks, Recreation and Social Services.

The minutes and sign-in sheets from the first Public Hearing for this project (October 2018), included as part of Attachment #12, include some details/suggestions staff discussed with those in the general public who attended.

Planning

This project is consistent with several goals from the approved NJDEP Green Acres NJ Statewide Comprehensive Outdoor Recreation Plan (SCORP) for 2013-2017:

Goal #1: Cottrell Farm is an available open space that has been assessed for current/future public recreational use.

Goal #2: The proposed Cottrell Farm Park will provide close-to-home park and recreation opportunities for residents township-wide, as well as other statewide as they pass through.

Goal #5: We are a local government encouraged by open space and recreation planning.

And as the first sentence of the SCORP Policy Plan states:

Open Space and Recreation comprise one of the cornerstones of New Jersey's quality of life.

FACTOR #6

PROJECT QUALITY

Accessibility

(1) This project is close to population centers including several housing developments, along with a middle school and high school that serve # students, a Town Centre and the Municipal Complex itself that houses Parks & Rec, Silver Linings and the Public Library.

(2) It is also accessible by public transportation since buses run regularly up and down County Route 516. and the Senior Center buses, housed at the Municipal Complex, that drive the Silver Linings members all around town will easily be able to transport them across the street to Cottrell Farm Park once it is re-developed.

(3) It is accessible by walking and bicycling.

(4) Once developed it will create safe and secure public access where none now truly exists.

Project Quality

(1) Cottrell Farm Park will include multiple recreation and conservation purposes. See Attachments for pictures and descriptions of all that is to be included.

(3) The list of planned activities on Attachments show the various active and passive recreational uses that will be provided for diverse user groups.

(4) Redevelopment will include significant plantings of native tree species; especially the apple orchards that will be brought back to... And realignment of the internal driveway will preserve heritage trees.

Cost Effectiveness

(2) Once funded and developed, the Preliminary Operating Cost Estimate is budgeted for less than \$250K annually (\$223,456). See Attachment #18 for the details. And after opening, various events/activities will begin to provide revenue to help keep things working and safe.

FACTOR #7

PROJECT PRIORITIES

Elements

(c) Trails, bike paths, or greenways – This project includes the development of all three of these.

(d) Historic resource enhancement or preservation – Refurbishing of the original Cottrell farmhouse will provide members of the Madison Historical Society, a second historical location to tour and teach residents, especially school children and visitors about this area. This historical society runs the Thomas Warne Museum, also on County Route 516 across from the high school.

(f) Multiple uses and provides active and passive recreation opportunities - As all the narratives, maps and meetings notes throughout this application explain and display, Cottrell Farm Park is a project designed/dedicated for multiple uses via active and passive recreation opportunities.

Planned Use of the Park

Destination for residents' passive & active recreation needs, picnics, families

Summer concerts, i.e. "Shakespeare in the Park"

Township Announcements/Speeches

Old Bridge Day (Vendors in the parking lot and residents park at the municipal complex)

FACTOR #7**PROJECT PRIORITIES****Planned Use of the Park continued**

Seasonal gatherings and township hosted events

Community Garden activities – potential partnership with farmers in town

Boy Scout/Girl Scout volunteer opportunities

Rented out for Weddings/Graduation parties/etc.

FACTOR #8**FIRST TIME APPLICANT**

YES. While Old Bridge Township has received both Green Acres and Blue Acres funding in prior years, this project has not previously received Green Acres funding.

FACTOR #9**FACILITY DESIGN SENSITIVITY AND SITE SUITABILITY****General Recreation Facilities**

Please refer to Attachment #8 – Environmental Assessment Report

Structures/Buildings – All Mechanical/Engineering Equipment proposed for the Rehabilitations of the buildings will be energy efficient.

This is the best time for Middlesex County's third largest town – Old Bridge Township - to increase its quality of life cornerstone via the proposed Cottrell Farm Park on our 150th anniversary year.



Source: Google Earth Image May 24,



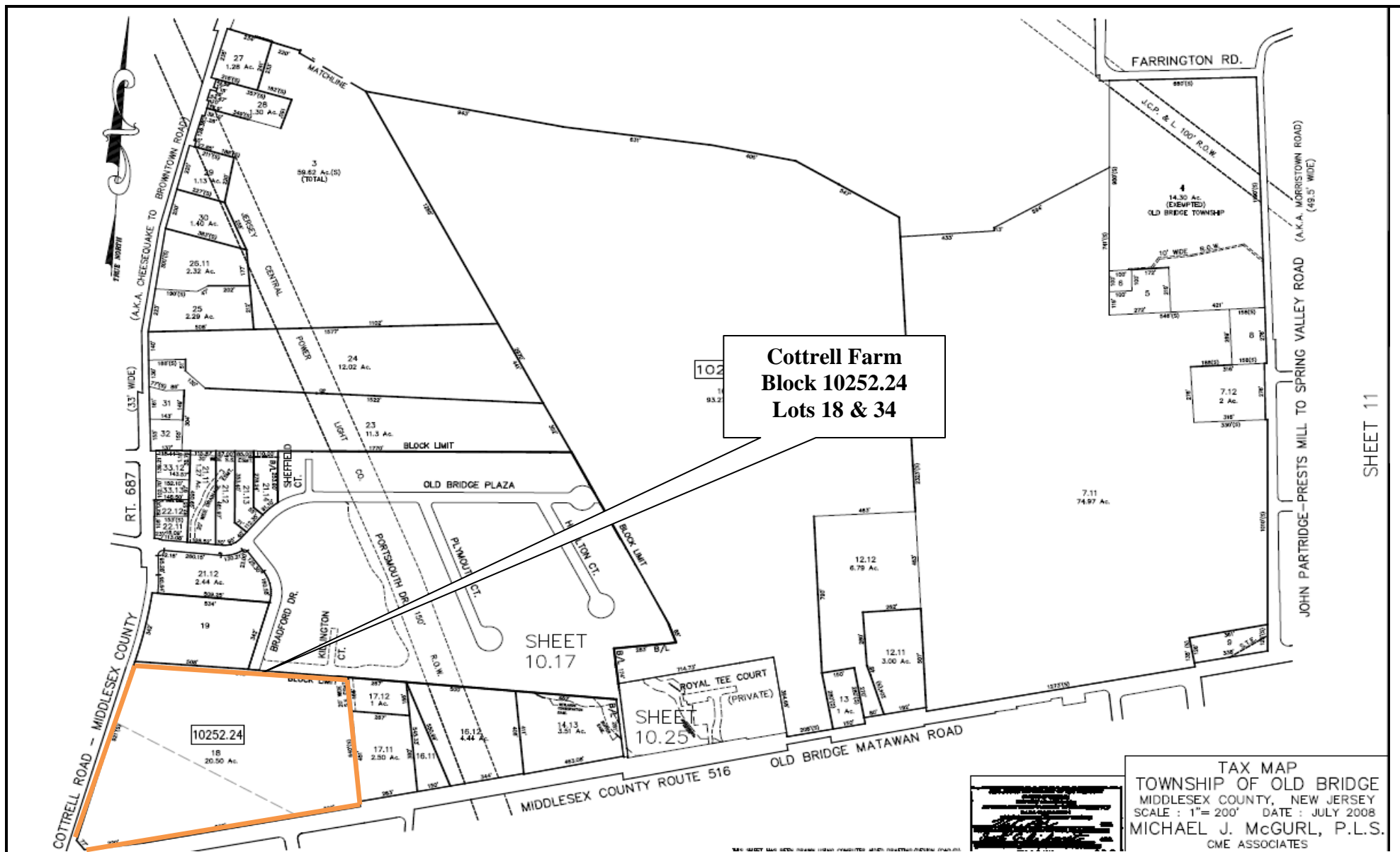
Township of Old Bridge Department of Engineering
PROJECT STREET MAP
COTTRELL FARM PARK
 COUNTY ROUTE 516 (OLD BRIDGE-MATAWAN ROAD) & COTTRELL ROAD (CR 687)
 TOWNSHIP OF OLD BRIDGE, NEW JERSEY

Figure No.: 1

Scale: N.T.S.

Date: March 25, 2019

Prepared by: NSS



Source: Old Bridge Township
Tax Map No. 10.15



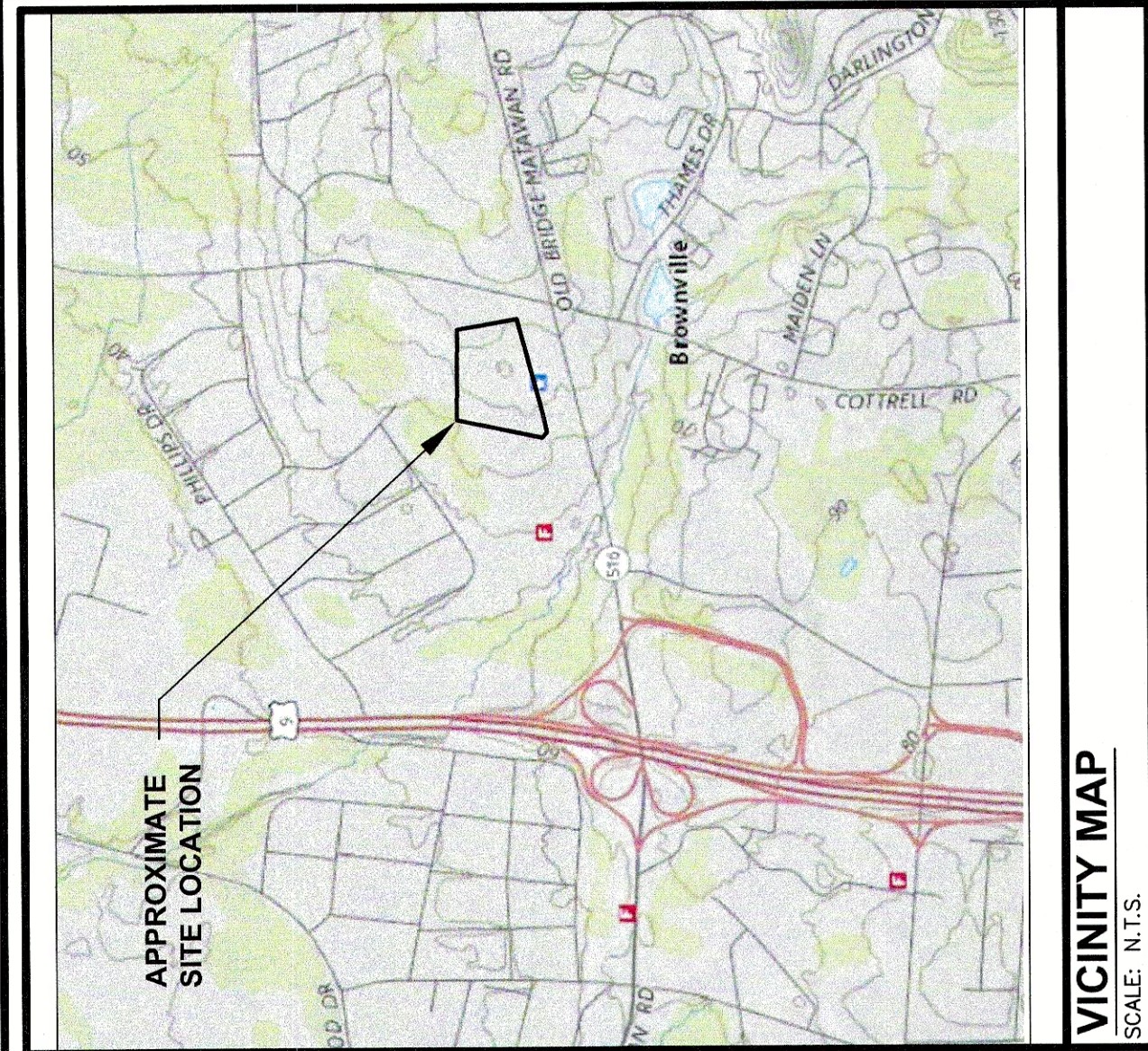
Township of Old Bridge Department of Engineering
PROJECT TAX MAP
COTTRELL FARM PARK
COUNTY ROUTE 516 (OLD BRIDGE-MATAWAN ROAD) & COTTRELL ROAD (CR 687)
TOWNSHIP OF OLD BRIDGE, NEW JERSEY

Figure No.: 2

Scale: N.T.S.

Date: March 25, 2019

Prepared by: NSS



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 2. TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM AERIAL PHOTOGRAPHY PREPARED BY ATLANTIS AERIAL SURVEYS, INC. IN 2018. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS SUPPLEMENTED BY FIELD TOPOGRAPHY OBTAINED BY FRENCH & PARRELLO ASSOCIATES IN AUGUST 2018.
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MAP REFERENCES:

1. THE OFFICIAL TAX MAP, TOWNSHIP OF OLD BRIDGE, SHEET NO. 10, 10.15 & 10.17.
2. MAP ENTITLED, "SURVEY OF LOTS 18 & 34, BLOCK 10252.24 NY CARTRIDGE, TOWNSHIP OF OLD BRIDGE, MIDDLESEX COUNTY, NEW JERSEY PREPARED BY ONE ASSOCIATES DATED OCTOBER 23, 2010.

DEED REFERENCES:

BOOK	PAGE	REFERENCE
6244	786	BLOCK 10252.2

WETLAND FLAG COORDINATE TABLE
Flag Location Area "B"
(NAD83)

FLAG I.D.	Northing (feet)	Easting (feet)
WLF B1	572830.2538	549156.0027
WLF B2	572817.7160	549168.7786
WLF B3	572577.2150	549186.3287
WLF B4	572582.7445	549246.0113
WLF B5	572572.8852	549316.0510
WLF B6	572585.8654	549397.5114
WLF B7	572592.4322	549431.8973
WLF B8	572520.4288	549442.1905
WLF B9	572413.2852	549350.9718
WLF B10	572462.5869	549359.3647
WLF B11	572457.3983	549306.4928
WLF B12	572481.0739	549246.2343
WLF B13	572535.4160	549172.2365
WLF B14	572576.8041	549170.7569
WLF B15	572505.5761	549170.4267
WLF B17	572619.5268	549152.2343

WETLAND FLAG COORDINATE TABLE
Flag Location Area "A"
(NAD83)

FLAG I.D.	Northing (feet)	Easting (feet)
WLF A1	572851.8190	549475.5311
WLF A2	572796.1185	549498.5112
WLF A3	572716.5013	549505.3000
WLF A4	572693.2456	549431.8788
WLF A5	572684.7710	549313.4285
WLF A6	572663.5060	549259.2220
WLF A7	572687.1343	549188.9814
WLF A8	572763.4209	549219.2952
WLF A10	572855.0103	549206.4801

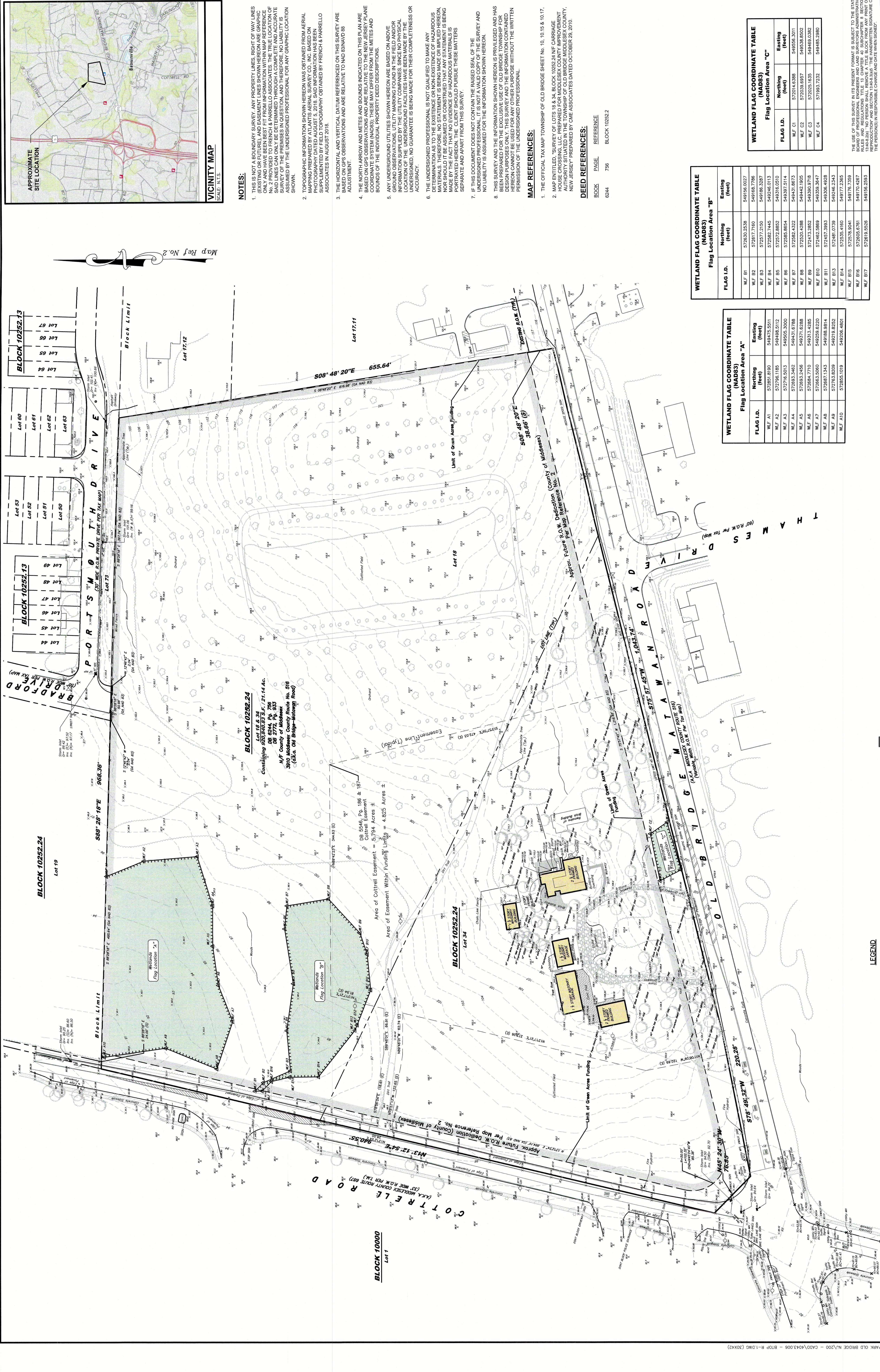
THE USE OF THIS SURVEY IN ITS PRESENT FORMAT IS SUBJECT TO THE STATE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING (NJAC 17:27) AND THE PROFESSIONAL STANDARDS OF THE PROFESSIONAL SURVEYOR. NO PERSON SHALL REMOVE A TITLE OR INVENTION FROM THE SURVEY OR THE PERSON(S) IN RESPONSIBLE CHARGE AND DATE WHEN BOUND.

PRELIMINARY WETLAND & TOPOGRAPHIC SURVEY
LOT 18 & 34, BLOCK 10252.24
SITUATED IN THE
TOWNSHIP OF OLD BRIDGE
MIDDLESEX COUNTY, NEW JERSEY

FRENCH & PARRELLO
ASSOCIATES, P.C.
1000 Route 34, Suite 101
Haddonfield, NJ 08033
Tel: 856.426.7300
Fax: 856.426.7300
www.french-parrello.com

DESIGNED BY: T.J.E.
CHECKED BY: B.R.H.
DATE: AUG. 01, 2018
SCALE: 1"=50'
SHEET: 4043.008
PROJECT: 10252.24

THOMAS J. ERTL, PLS
PROFESSIONAL LAND SURVEYOR, N.J. LIC. No. 24683089400



LEGEND

WETLAND FLAG LOCATION

WETLANDS LINE

SOIL LOGS

PHOTO LOCATION

LEGEND

SPOT ELEVATION

BOTTOM OF CURB ELEVATION

TOP OF CURB ELEVATION

BOTTOM OF WALL ELEVATION

TOP OF WALL ELEVATION

FINISHED FLOOR ELEVATION

MAJOR CONTOUR

MINOR CONTOUR

FENCE LINE

LEGEND

APPROXIMATE LOCATION OF UNDERGROUND

STORM DRAINAGE PIPE

APPROXIMATE LOCATION OF UNDERGROUND

SANITARY SEWER PIPE

APPROXIMATE LOCATION OF UNDERGROUND

WATER LINE

ELECTRICAL LINE

OVERHEAD WIRES

LEGEND

SPOT ELEVATION

BOTTOM OF CURB ELEVATION

TOP OF CURB ELEVATION

BOTTOM OF WALL ELEVATION

TOP OF WALL ELEVATION

FINISHED FLOOR ELEVATION

MAJOR CONTOUR

MINOR CONTOUR

FENCE LINE

LEGEND

APPROXIMATE LOCATION OF UNDERGROUND

STORM DRAINAGE PIPE

APPROXIMATE LOCATION OF UNDERGROUND

SANITARY SEWER PIPE

APPROXIMATE LOCATION OF UNDERGROUND

WATER LINE

ELECTRICAL LINE

OVERHEAD WIRES



ENVIRONMENTAL ASSESSMENT REPORT PROPOSED COTTRELL FARM PARK

COUNTY ROUTE 516 – OLD BRIDGE MATAWAN ROAD AND COTTRELL ROAD
BLOCK 10252.24 LOT 18 & 34, OLD BRIDGE TOWNSHIP, MIDDLESEX COUNTY



PREPARED BY:

Nicole S. Shapiro

NICOLE S. SHAPIRO, P.E., P.P., C.M.E.
OLD BRIDGE TOWNSHIP
DIRECTOR OF COMMUNITY DEVELOPMENT
& TOWNSHIP ENGINEER
MARCH 25, 2019

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4. ALTERNATIVES TO THE PROPOSED ACTION

5. MITIGATING MEASURES

1. DESCRIPTION OF PROPOSED ACTION

a) Existing Site & History

Cottrell Farm is an approximately 21.1 acre site situated in the Township of Old Bridge, currently designated on the Old Bridge Tax Map No. 10.15 as Block 10252.24, Lots 18 & 34. The subject site is located at the northeast quadrant of the intersection of Cottrell Road (Middlesex County Route 687) and Old Bridge Matawan Road (Middlesex County Route 516). Figure 1

In 2010, Cottrell Farm was acquired by Middlesex County in accordance with the Open Space, Recreation, and Farmland and Historic Preservation Act and the Middlesex County Open Space Plan (MCOSP). Additionally, the site is subject to the New Jersey Department of Environmental Protection (NJDEP) Green Acres Program restrictions as provided at N.J.S.A. 13:8C-1, et seq. and N.J.A.C. 7:36.

The property was actively farmed until Middlesex County terminated the lease agreement with the farmer, effective December 31, 2017. A Condition Assessment Report was prepared by HMR Architects dated May 24, 2017 for the five (5) existing buildings including the Cottrell Farm House (3,469 square feet), stone garage (947 square feet), Concrete Masonry Unit (CMU) garage (1,890 square feet), barn & corn crib (1,375 square feet) and pool cottage (720 square feet)

Middlesex County retained a professional consultant to perform a Preliminary Assessment (PA) in accordance with the New Jersey Technical Requirements for Site Remediation as part of a due diligence inquiry into the conditions of the property. Based on the PA, further Site Investigation (SI)/ Remedial Investigation (RI)/ Remedial Action Report (RAP) Addendum and Response Action Outcome (RAO) were prepared and all submitted to NJDEP. Based on the findings of the investigations and remedial actions conducted at the Site, as documented in this SI-RI-RAR Addendum, all known AOCs have been addressed and all contamination identified at the Site has been remediated to the applicable remediation standards. No additional site remediation activities are warranted. An Unrestricted Use Response Action Outcome (RAO) for the Entire Site was issued to the property owner and submitted to the NJDEP with the associated form, per N.J.A.C. 7:26C-6.2. Site Remediation documents have been attached for informational purposes.

Old Bridge Township entered into a Conservation Management Agreement with Middlesex County on April 6, 2017 for a term of 10 years, where the Township has accepted responsibility for security, liability, management and enforcement of the Green Acres Restrictions and enforcement of the Middlesex County Park rules and regulations not inconsistent with the Deed Restrictions at no cost to the County.

b) Proposed Development

Old Bridge Township retained professional design services from an Engineering and Architectural firm to assist in developing a Conceptual Plan and ultimately phased Contract Plans, Specifications and estimates for the development of Cottrell Farms into a passive and active park. A conceptual plan was developed in the summer of 2018 and further refined based on two Steering Committee Meetings and one public information meeting, all held in Summer to Fall of 2018. See Figure 2 Final Conceptual Plan attached.

c) Project Objective

The objective of constructing a proposed park in a central location of town is to provide for recreational opportunities for all residents. Old Bridge Township has many parks that are geared towards youth sports such as, soccer, baseball, softball, basketball. This park will allow all our residents to enjoy a more active lifestyle by using the fitness trail/ par course and even a passive lifestyle by introducing the community gardens, Amphitheatre and picnic grove. In addition, the splash pad and playground will add elements for the very young users. This park will truly be geared towards use by all residents.

d) Project Phasing

Construction of the proposed Cottrell Farm Park site features will be implemented in four (4) phases consisting of the following proposed site features:

- Phase I: Parking Lot, stormwater management facilities, walking trail, and refurbishment of the site area around the existing buildings for public access, park signage, landscaping, Rehabilitation of the interior and exterior Farm House and exterior rehabilitation only of the stone garage, CMU garage and barn.
- Phase II: Competition of walking trail, addition of Fitness trail ("Parcours"), pre-fabricated restroom building, playground, great lawn, gazebo/picnic shelter, and Decorative perimeter fencing;
- Phase III: Rehabilitation of the interior of stone garage, CMU garage and barn and the interior and exterior of the pool cottage.
- Phase IV: Any remaining Cottrell Road Town Center District Design elements such as sidewalk, bike lane, & landscaping, amphitheater, splash pad, community/ Memorial Garden, decorative trail lighting and parking lot lighting.

2. DESCRIPTION OF ENVIRONMENTAL FEATURES

a) Vegetation

Approximately three (3) acres in the western portion of Lot 34 and the central and eastern portions of Lot 18 was used as a farm field. The farm field on Lot 18 is surrounded by apple orchards. The north eastern section of Lot 18 contains forested wetlands. The vegetation around the existing buildings located on Lot 34 is a mixture of residential lawn area and sparsely located trees.

b) Wildlife

Typical wildlife such as deer, birds, and rabbits have been found on the farm.

c) Topography, Soils and Geology

Topography

Based on regional topographic mapping, the site elevation ranges from approximately 120 feet above mean sea level (ft msl) at the southeast property corner to approximately 90 ft msl at the northwest property corner. The site topography is gently sloping. A copy of the USGS topographic map is provided in Figure 3 (South Amboy, New Jersey Quadrangle, 1995).

Soils

Regional Natural Resource Conservation Service mapping indicates the following soil units are present on the site as shown in Figure 4 – Soils Map.

- Hammonton: Hammonton soils are mapped at a majority of the site. The Hammonton series consists of loamy sands which are deep and moderately deep, moderately well and well drained soils. Downer soils typically have moderately coarse textures and are partially hydric.
- Galloway: Galloway soils are mapped at the southwest end of the site. The Galloway series typically consists of sandy clay which are deep and moderately deep, moderately well and well drained soils. Galloway soils typically have moderately coarse textures, are somewhat poorly drained and are partially hydric.
- Keyport: Keyport sandy loams are mapped at a small western portion of the site. The Keyport sandy loam series is typically characterized by slow infiltration rates and soils with layers impeding downward movement of water or soils with moderately fine or fine textures. These Keyport soils are partially hydric.

Geology

Regional geologic mapping indicates the site is underlain by the following formations as shown in Figure 5 – Bedrock Geologic Map and in Figure 6 – Surficial Geologic Map, respectively:

- Englishtown Formation (Bedrock Geology): The Englishtown Formation is mapped at the southeastern side of the site and generally consists of quartz sand, fine to coarse grained, locally interbedded with thin to thick beds of clay.
- Woodbury Formation (Bedrock Geology): The Woodbury Formation is mapped at the northwestern end of the site and generally consists of clay-silt.
- Weathered Coastal Plain Formations (Surficial Geology): Weathered Coastal Plain Formations are mapped at a majority of the site. These formations consist of exposed sand and clay of Coastal Plain bedrock formations and include thin, patchy alluvium and colluvium with some pebbles.
- Eolian Deposits (Surficial Geology): Eolian Deposits are mapped at a very small portion in the northeastern corner of the site. These deposits consist of very pale brown and yellowish-brown windblown fine sand and silt and are as much as 15 feet thick.

d) Water Resources /Hydrology

Tennent Brook Tributaries are mapped approximately 800 feet to the northeast and south of the site. Wetlands are mapped in the northwestern portion of the site, along Cottrell Road. A majority of the site is wooded or grass-covered. Several areas are cleared for agricultural or residential purposes. The site is in Watershed Management Area 9 (Raritan).

The site is underlain by bedrock of the Englishtown aquifer system, Rank B, on the southeastern end. This aquifer system is characterized by upper and lower sand with localized clay beds. The site is underlain by the Merchantville-Woodbury aquifer formation system, Rank E, on the northwestern side.

e) Historic Archeological Resources

To assess the historical uses and operations at the site, a review of historic documents was conducted. This review included evaluation of historic Sanborn® Fire Insurance Maps, historic aerial photographs, and historic

topographic maps. Available current and prior ownership information was requested from the County of Middlesex and the Township of Old Bridge. In addition, a City Directory Report was obtained from Environmental Data Resources, Inc. (EDR).

No current or former industrial uses have been identified on the site. Available information indicates that the site has been utilized for agricultural and residential purposes since at least 1841. The site currently consists of a former farmstead, agricultural land, and vacant woodlands and wetlands and is owned by the County of Middlesex.

Sanborn® Fire Insurance Maps of the site vicinity were requested from EDR. The report indicated that the site was not mapped.

Aerial photographs of the site and surrounding area were reviewed for indications of past uses. Aerial photographs from the years 1931, 1954, 1963, 1969, 1972, 1978, 1983, 1995, 2006, 2008 and 2010 were obtained from EDR. Aerial photographs were also reviewed online at www.historicaerials.com for the years 1931, 1940, 1947, 1953, 1957, 1963, 1969, 1970, 1972, 1979, 1987, 1995, 2002, 2006, 2007 and 2013. Aerial photographs from the years 1930, 1995, 2002, 2006, 2007, 2010, 2012, and 2013 were obtained from the State of New Jersey's Geographic Information Network (NJGIN).

Year	Comments
1931	Site mainly consists of cleared land likely used for agricultural purposes; the farmstead is evident in the southern portion of the site. Minimal development is shown in the surrounding area other than areas cleared for agriculture and some roadways. Cottrell Road and Old Bridge- Matawan Road are both shown adjacent to the site.
1940-1947	The existing farmstead buildings are visible in the southern portion of the site. No significant changes are observed.
1953-1963	Development expands in the site vicinity, including the development of buildings south of the site on the opposite side of Route 516. Development is shown north of the site as well. Buildings at the site appear clearer and possibly have increased.
1969-1987	Large residential developments have been constructed to the northwest, south and northeast of the site. The northwest portion of the site is no longer farmed and has undergone succession. No other significant changes are observed at the site.
1995	Tree growth at the site expands in the northwest corner. No significant changes are observed.
2002-2013	Portions of the northeastern field and western field appear to contain row crops; the remainder of the agricultural fields consists of orchards. No other significant changes are observed in the surrounding area.

Historic Topographic Maps

Available historic topographic maps were reviewed for information regarding past uses of the Site. Historic topographic maps from the years 1901, 1902, 1947, 1954, 1970, 1981 and 1995 were obtained from EDR. Historic topographic maps were also reviewed online at www.historicaerials.com for the years 1964, 1972, 1982, 1988 and 2000. Copies of selected topographic maps are provided in Appendix E.

Year	Comments
1901-1902	Transportation infrastructure (i.e., streets & railroads) is depicted on the map; few development features are shown. Streams are shown in the site vicinity. Site elevation appears to be approximately 110 feet above mean sea level (msl).
1947	Seven (7) buildings are mapped at the site. Overhead power lines are depicted along the boundary between Lots 18 and 34. Streams, agricultural and open space are mapped in the site vicinity.
1954-1964	Two (2) shaded buildings and two (2) outlined buildings are mapped on the property towards the southwest end. This signifies that two (2) buildings were present for residential use and the other two (2) were likely barns.
1970-1988	The area northwest of the site is now indicated to be developed. Development has increased throughout the site vicinity
1995-2000	The area north and south of the site is mapped as development. The former four buildings appear to be removed and three new buildings have taken their place. All three buildings are colored in, indicating that they are all for residential/human activity purposes.

f) Transportation and Access to Site

There are two existing access driveways to the site, one from Cottrell Road and one from County Route 516 – Old Bridge Matawan Road. These access points will remain and be reconstructed for public use. NJTransit M8 & 818 bus lines stop at the Municipal Complex located just east of the proposed Cottrell Farm Park.

g) Adjacent Land Uses and Description of Surrounding Neighborhood

The Cottrell Farm property is bound by ‘Old Bridge Mews’ a residential development to the north, commercial uses to the east, a high density residential community to the south called ‘Society Hill’, the Old Bridge Township Municipal complex that includes an ice arena, tennis courts, Library, Administration Building, Senior Center, Civic Center, Police Department, Building Department and Department of Public Works. In addition, caddy-cornered to the Cottrell Farm property is a commercial development with a mix use of retail stores and restaurants. In addition the Township Planning Board had recently approved a commercial development at the southeast corner of the intersection of County Route 516 and Cottrell Road.

The proposed park is located in the Town Center District Zone which has a higher density of residential homes. Many of the residents can walk or bike to the park. This can be accomplished since there are a series of sidewalks within the residential communities that lead to Cottrell Road and County Route 516. In addition, we are proposing a direct connection into the proposed park from the residential development to the north, ‘Old Bridge Mews’.

3. ENVIRONMENTAL IMPACT ANALYSIS OF PROPOSED ACTION

a) Affected Resources

The existing apple orchards will remain and be maintained. A program will be implemented by our Parks and Recreation Department to ensure their viability so our residents can enjoy the benefits of the fruits that would be harvested. The fruit harvested would be given to our food bank for distribution to those in need.

b) Project Impacts

The site has remained vacant since acquisition by Middlesex County. The proposed park will provide for a catalyst to implement long term routine maintenance. Implementation of Phase I construction will allow our residents to start to benefitting from the recreational use of the park that would result in better health.

c) Recreational Site Use

As discussed earlier in this report, the objective of constructing a proposed park in a central location of town is to provide for recreational opportunities for all residents. Old Bridge Township has many parks that are geared towards youth sports such as, soccer, baseball, softball, basketball. This park will allow all our residents to enjoy a more active lifestyle by using the fitness trail/ par course and even a passive lifestyle by introducing the community gardens, Amphitheatre and picnic grove. In addition the splash pad and playground will add elements for the very young users. This park will truly be geared towards use by all residents. The farm house will offer an opportunity to enjoy some of Old Bridge Townships history by displaying artifacts donated to the Madison Historical Society.

d) Adjacent Environmental Features and Impacts

To provide access to the new park, the driveway entrance along County Route 516 will need to be improved and slightly relocated. The slight relocation of the driveway is required to align with the proposed approved commercial driveway across County Route 516 for traffic safety. The new location of the entry way falls within the limits of an isolated wetland as identified in Freshwater Wetland Letter of Interpretation File No. 1209-03-006.1, dated January 31, 2019 (Appendix A). The Township wishes to fill in the isolate wetland under statewide General Permit No. 6 so as to create a safe entry point along County Route 516. The proposed activities will result in the disturbance of wetlands as follows:

Type	Temporary Disturbance	Permanent Disturbance
Wetlands	-	0.053 Acres (2308.68 S.F.)

e) List of Required Permits

The following permits are required to construct the proposed Cottrell Farm Park:

- i. New Jersey Department of Environmental Protection Freshwater Wetlands Letter of Interpretation (LOI) (N.J.A.C. 7:7A)
- ii. New Jersey Department of Environmental Protection Freshwater Wetlands General Permit No. 6 for non-tributary wetlands (N.J.A.C. 7:7A)
- iii. NJDEP Stormwater Management Requirements (N.J.A.C. 7:8):
- iv. Freehold Conservation District Soil Erosion and Sediment Control Certification
- v. Middlesex County Department of Infrastructure Management Office of Engineering

f) NJDEP Natural Heritage Data Inventory

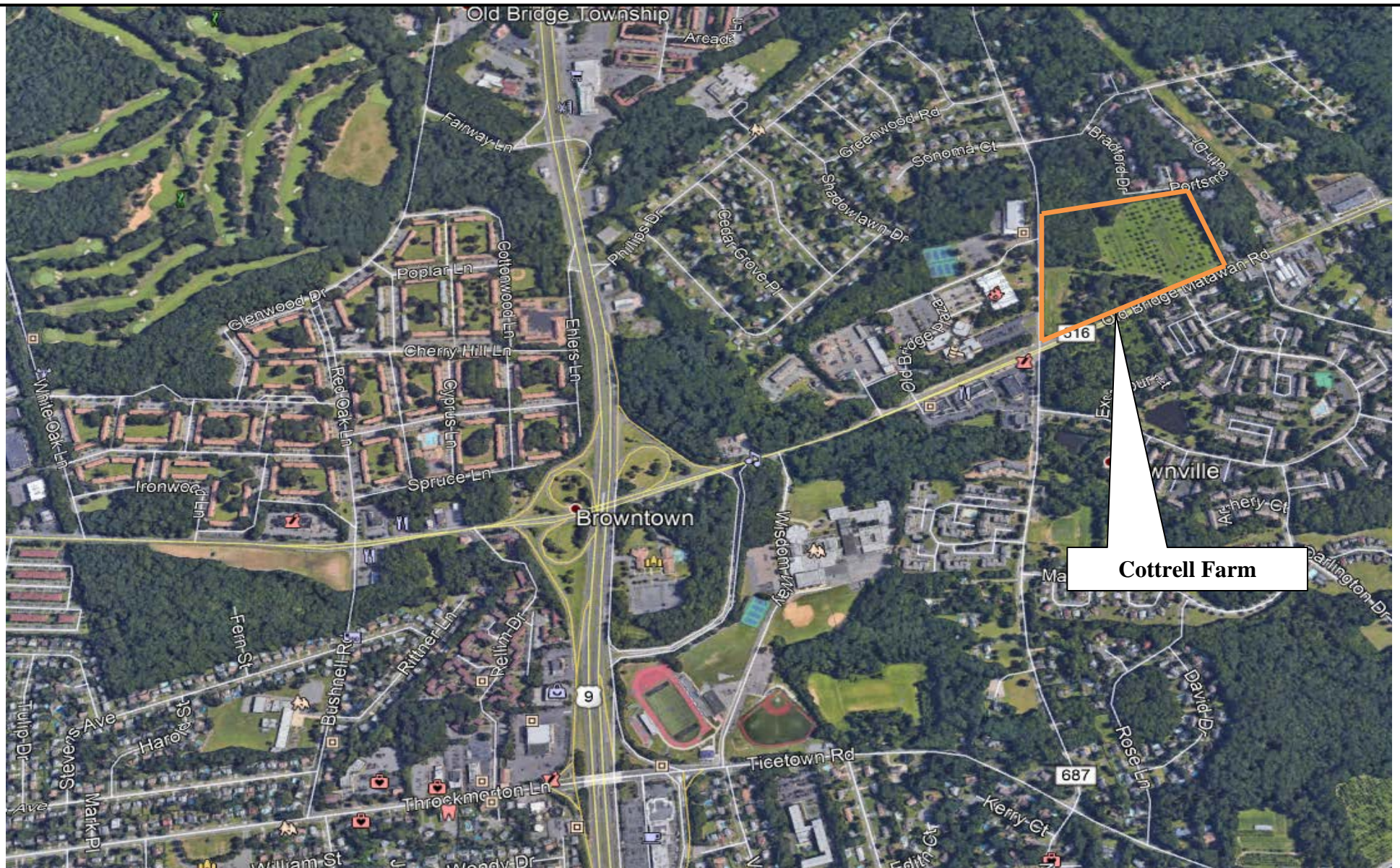
A copy of the response letter indicating the findings from NJDEP Office of Land Management Natural Heritage Database and the Landscape Project (Version 3.3) are attached in Appendix B.

4. ALTERNATIVES TO THE PROPOSED ACTION

Alternative sites were not identified since there is a limited amount of developable land within the township which the Township owns or has rights too. Many of our existing properties are encumbered by environmental constraints. The partnership we establish with Middlesex County, NJDEP Green Acres and other smaller entities in acquiring the Cottrell Farm property is invaluable.

5. MITIGATING MEASURES

The proposed project does not touch the forested wetlands at the northwestern corner of the property. In addition the wooded area that separates the 'Old Bridge Mews' community from the proposed park will be undisturbed by construction. This will act as a buffer from the park to the residential community and mitigate any noise form the park.



Source: Google Earth Image May 24, 2018



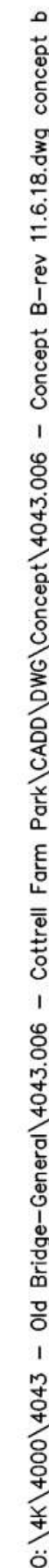
Township of Old Bridge Department of Engineering
PROJECT STREET MAP
COTTRELL FARM PARK
 COUNTY ROUTE 516 (OLD BRIDGE-MATAWAN ROAD) & COTTRELL ROAD (CR 687)
 TOWNSHIP OF OLD BRIDGE, NEW JERSEY

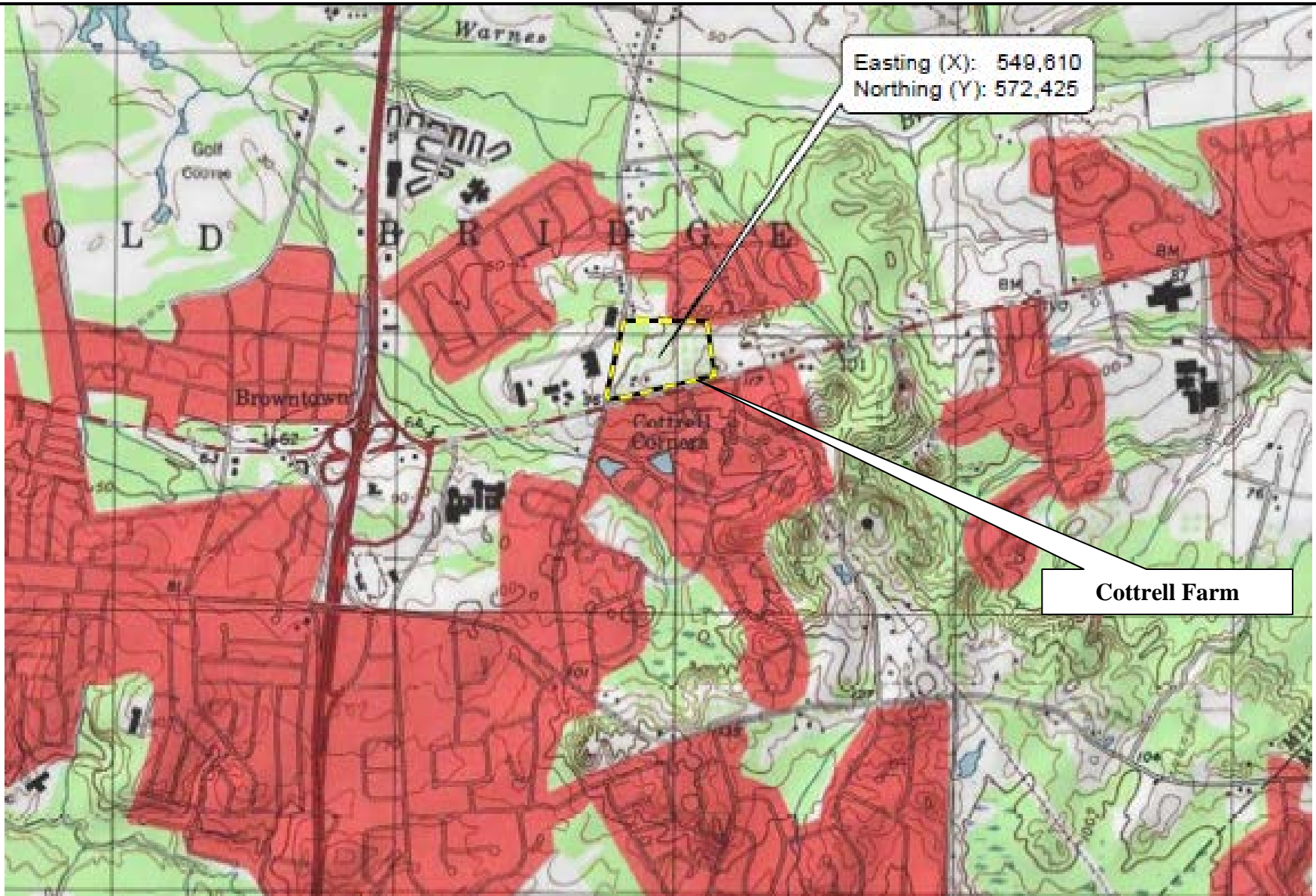
Figure No.: 1

Scale: N.T.S.

Date: March 25, 2019

Prepared by: NSS





Source: ESRI, NJGIN, USA
Topographic Maps, Middlesex
County Parcels



Township of Old Bridge Department of Engineering
USGS MAP
COTTRELL FARM PARK
COUNTY ROUTE 516 (OLD BRIDGE-MATAWAN ROAD) & COTTRELL ROAD (CR 687)
TOWNSHIP OF OLD BRIDGE, NEW JERSEY

Figure No.:

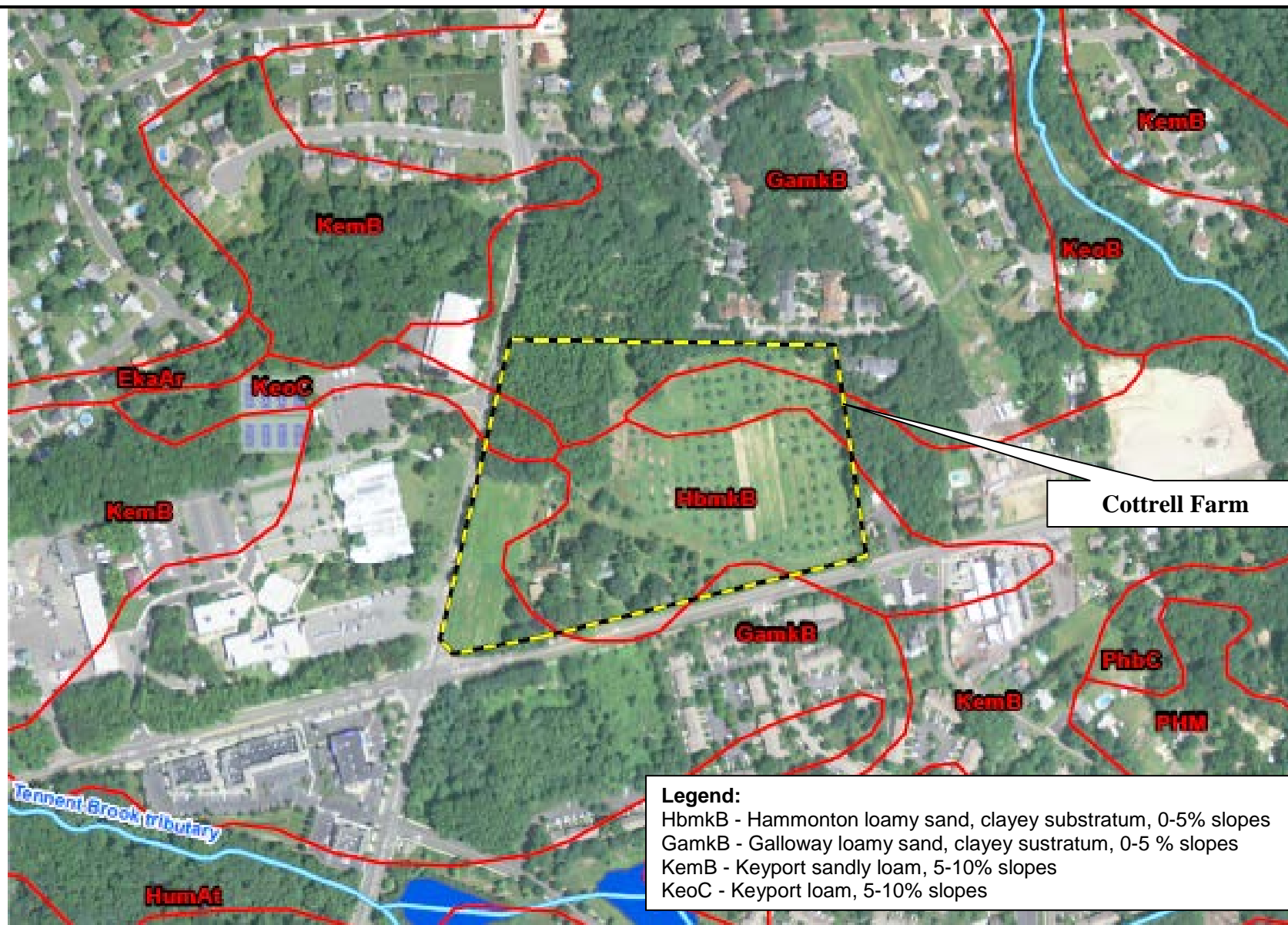
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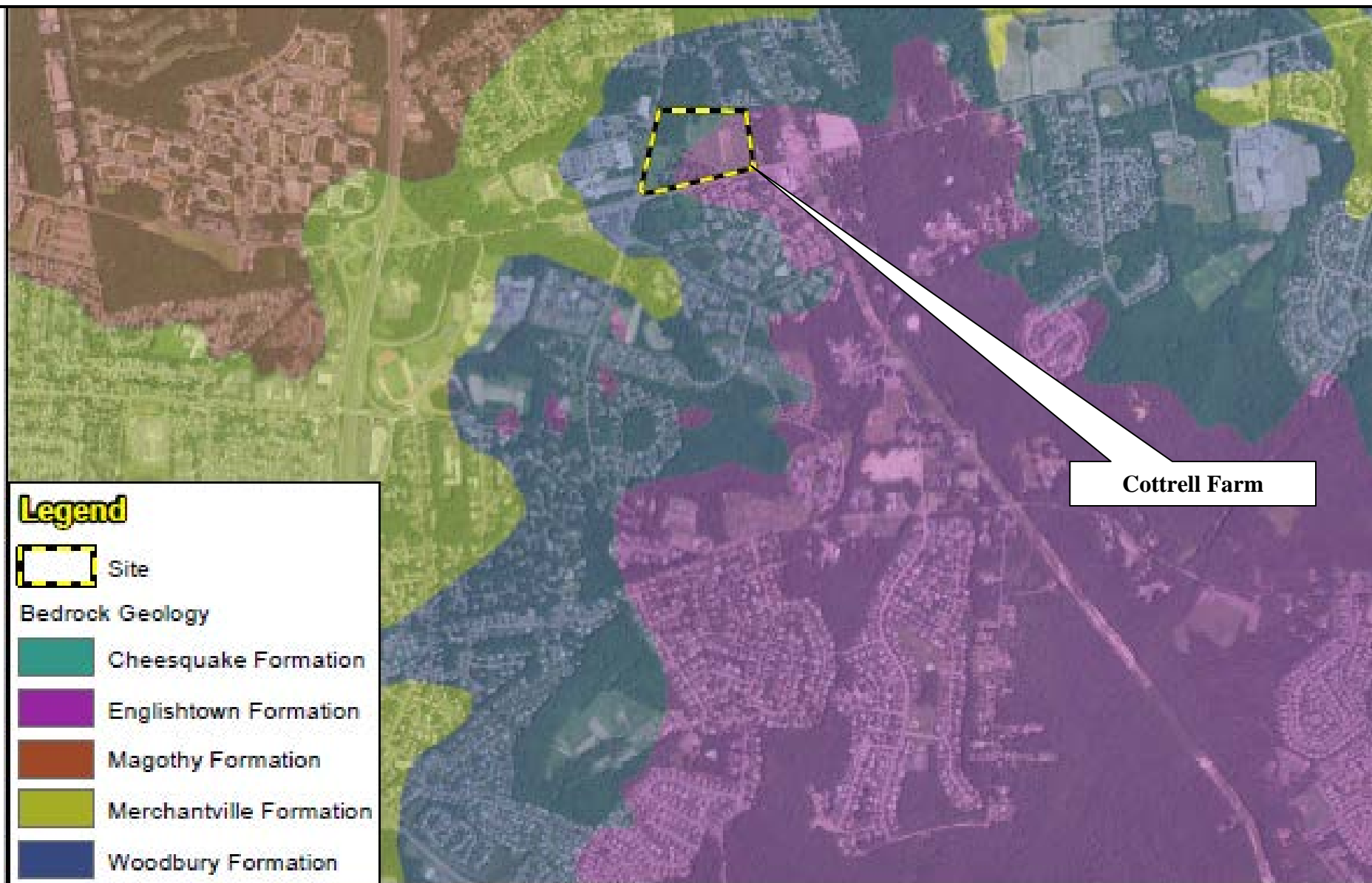
Date: March 25, 2019

Prepared by: NSS



Legend:
 HbmkB - Hammonton loamy sand, clayey substratum, 0-5% slopes
 GamkB - Galloway loamy sand, clayey sustratum, 0-5 % slopes
 KemB - Keyport sandy loam, 5-10% slopes
 KeoC - Keyport loam, 5-10% slopes

Source: ESRI, NJGIN, Middlesex County Parcels, USDA SSURGO Layers		Township of Old Bridge Department of Engineering SOILS MAP COTTRELL FARM PARK COUNTY ROUTE 516 (OLD BRIDGE-MATAWAN ROAD) & COTTRELL ROAD (CR 687) TOWNSHIP OF OLD BRIDGE, NEW JERSEY	
Figure No.: 4	Scale: N.T.S.	Date: March 25, 2019	Prepared by: NSS



Source: ESRI, NJGIN, Middlesex County Parcels, DGS04-6 Bedrock Geology



Township of Old Bridge Department of Engineering
BEDROCK GEOLOGIC MAP
COTTRELL FARM PARK
 COUNTY ROUTE 516 (OLD BRIDGE-MATAWAN ROAD) & COTTRELL ROAD (CR 687)
 TOWNSHIP OF OLD BRIDGE, NEW JERSEY

Figure No.:

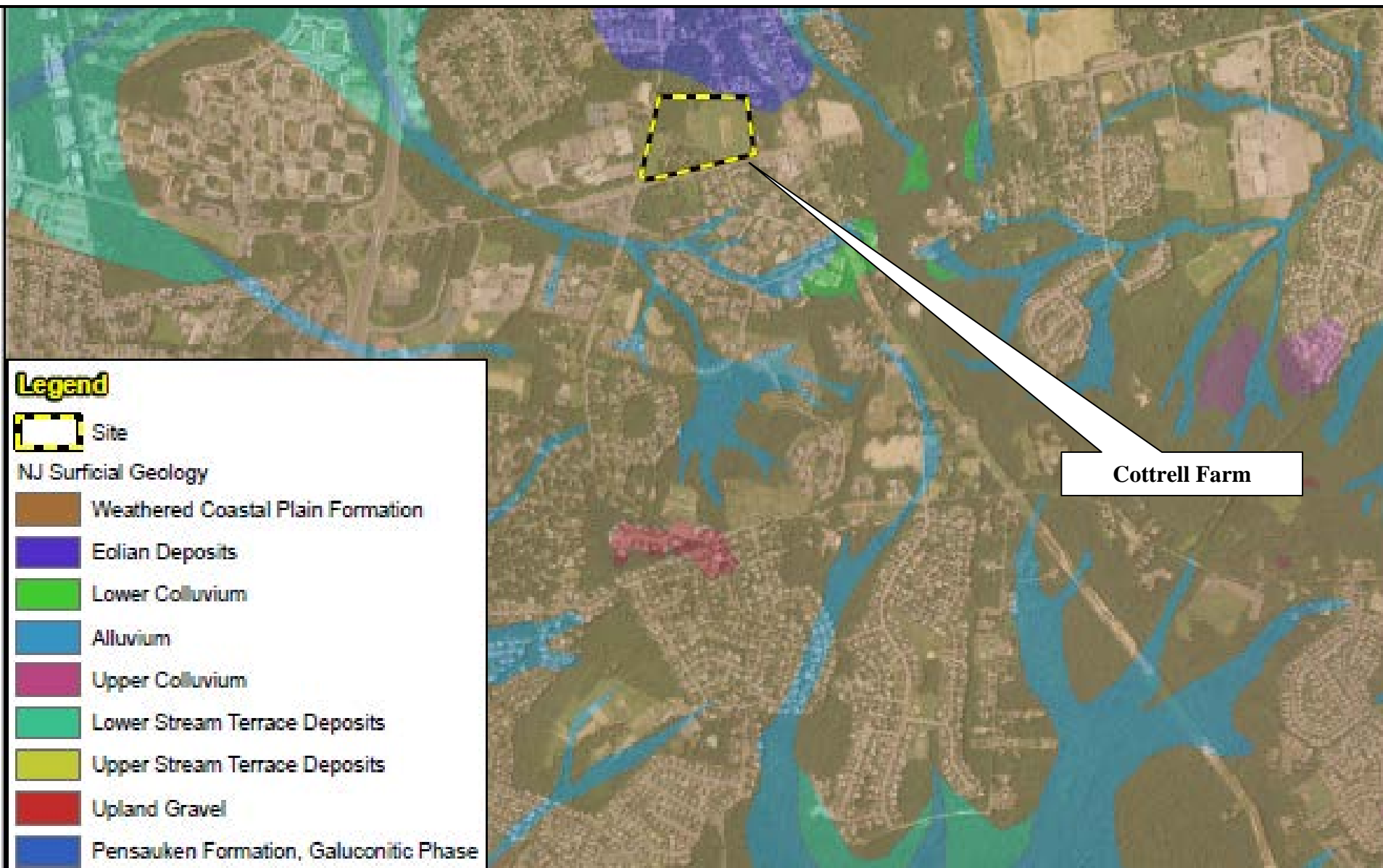
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Scale:

N.T.S.

Date: March 25, 2019

Prepared by: NSS



Source: ESRI, NJGIN, Middlesex County Parcels, DGS07-2 Surficial Geology



Township of Old Bridge Department of Engineering
SURFICIAL GEOLOGIC MAP
COTTRELL FARM PARK
 COUNTY ROUTE 516 (OLD BRIDGE-MATAWAN ROAD) & COTTRELL ROAD (CR 687)
 TOWNSHIP OF OLD BRIDGE, NEW JERSEY

Figure No.: 6

Scale: N.T.S.

Date: March 25, 2019

Prepared by: NSS



State of New Jersey

PHILIP D. MURPHY
Governor

DEPARTMENT OF ENVIRONMENTAL PROTECTION

CATHERINE R. McCABE
Commissioner

SHEILA Y. OLIVER
Lt. Governor

Division of Land Use Regulation
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P.O. Box 420
Trenton, New Jersey 08625-0420
www.nj.gov/dep/landuse

JAN 31 2019

Nicole Shapiro, Old Bridge Twp. Engineer
1 Old Bridge Plaza
Old Bridge, NJ 08857

RE: Freshwater Wetlands Letter of Interpretation: Line Verification
File No.: 1209-03-0006.1
Activity Number: FWW180001
Applicant: NICOLE SHAPIRO, P.E., OLD BRIDGE TWP. ENGINEER
Project: Cottrell Park
Block(s) and Lot(s): [10252.24, 18] [10252.24, 34]
Old Bridge Twp., Middlesex County

Dear Ms. Shapiro:

This letter is in response to your request for a Letter of Interpretation to have Division of Land Use Regulation (Division) staff verify the boundary of the freshwater wetlands and/or State open waters on the referenced property.

In accordance with agreements between the State of New Jersey Department of Environmental Protection (NJDEP), the U.S. Army Corps of Engineers (USACOE) Philadelphia and New York Districts, and the U.S. Environmental Protection Agency (USEPA), the NJDEP is the lead agency for establishing the extent of State and Federally regulated wetlands and waters. The USEPA and/or USACOE retain the right to reevaluate and modify the jurisdictional determination at any time should the information prove to be incomplete or inaccurate.

Based upon the information submitted, and upon a site inspection conducted by Division staff on October 30, 2018, the Division has determined that the wetlands and waters boundary line(s) as shown on the plan map entitled: "WETLAND & TOPOGRAPHIC SURVEY LOT 18 & 34, BLOCK 10252.24 SITUATED IN THE TOWNSHIP OF OLD BRIDGE MIDDLESEX COUNTY, NEW JERSEY", consisting of one (1) sheet, dated August 1, 2018, last revised January 21, 2019, and prepared by Thomas J. Ertle, P.L.S., of French & Parrello Associates is accurate as shown.

The freshwater wetlands and waters boundary line(s), as determined in this letter, must be shown on any future site development plans. The line(s) should be labeled with the above file number and the following note:

"Freshwater Wetlands/Waters Boundary Line as verified by NJDEP"

Wetlands Resource Value Classification ("RVC")

In addition, the Division has determined that the resource value and the standard transition area or buffer required adjacent to the delineated wetlands are as follows:

Intermediate: WLF A1 through WLF A10; WLF B3 through WLF B15; and WLF C1 through WLF C4. [50 foot wetland buffer]

Ordinary: WLF B1 to WLF B3/WLF B15 to WLF B17. [No wetland buffer]

The wetlands identified by field points WLF C1 through WLF C4 are considered by the Department to be isolated and do not drain to a surface water tributary system. RVC may affect requirements for wetland and/or transition area permitting. This classification may affect the requirements for an Individual Wetlands Permit (see N.J.A.C. 7:7A-9 and 10), the types of Statewide General Permits available for the property (see N.J.A.C. 7:7A-5 and 7) and any modification available through a transition area waiver (see N.J.A.C. 7:7A-8). Please refer to the Freshwater Wetlands Protection Act (N.J.S.A. 13:9B-1 et seq.) and implementing rules for additional information.

Wetlands resource value classification is based on the best information available to the Division. The classification is subject to reevaluation at any time if additional or updated information is made available, including, but not limited to, information supplied by the applicant.

General Information

Pursuant to the Freshwater Wetlands Protection Act Rules, you are entitled to rely upon this jurisdictional determination for a period of five years from the date of this letter unless it is determined that the letter is based on inaccurate or incomplete information. Should additional information be disclosed or discovered, the Division reserves the right to void the original letter of interpretation and issue a revised letter of interpretation.

Regulated activities proposed within a wetland, wetland transition area or water area, as defined by N.J.A.C. 7:7A-2.2 and 2.3 of the Freshwater Wetlands Protection Act rules, require a permit from this office unless specifically exempted at N.J.A.C. 7:7A-2.4. The approved plan and supporting jurisdictional limit information are now part of the Division's public records.

Please be advised that any surface water features on the site or adjacent to the site may possess flood hazard areas and/or riparian zones and development within these areas may be subject to the Flood Hazard Area Control Act rules at N.J.A.C. 7:13. The Division can verify the extent of flood hazard areas and/or riparian zones through a flood hazard area verification under the application procedures set forth at N.J.A.C. 7:13-5.1.

This letter in no way legalizes any fill which may have been placed, or other regulated activities which may have occurred on-site. This determination of jurisdiction extent or presence does not make a finding that wetlands or water areas are "isolated" or part of a surface water tributary system unless specifically called out in this letter as such. Furthermore, obtaining this determination does not affect your responsibility to obtain any local, State, or Federal permits which may be required.

Recording

Within 90 calendar days of the date of this letter, the applicant shall submit the following information to the clerk of each county in which the site is located, and shall send proof to the Division that this information is recorded on the deed of each lot referenced in the letter of interpretation:

1. The Department file number for the letter of interpretation;
2. The approval and expiration date of the letter of interpretation;
3. A metes and bounds description of the wetland boundary approved under the letter of interpretation;
4. The width and location of any transition area approved under the letter of interpretation; and
5. The following statement: "The State of New Jersey has determined that all or a portion of this lot lies in a freshwater wetland and/or transition area. Certain activities in wetlands and transition areas are regulated by the New Jersey Department of Environmental Protection and some activities may be prohibited on this site or may first require a freshwater wetland permit. Contact the Division of Land Use Regulation at (609) 292-0060 or <http://www.nj.gov/dep/landuse> for more information prior to any construction onsite."

Failure to have this information recorded in the deed of each lot and/or to submit proof of recording to the Division constitutes a violation of the Freshwater Wetlands Protection Act rules and may result in suspension or termination of the letter of interpretation and/or subject the applicant to enforcement action pursuant to N.J.A.C. 7:7A-22.

Appeal Process

In accordance with N.J.A.C. 7:7A-21, any person who is aggrieved by this decision may request a hearing within 30 days of the date the decision is published in the DEP Bulletin by writing to: New Jersey Department of Environmental Protection, Office of Legal Affairs, Attention: Adjudicatory Hearing Requests, Mail Code 401-04L, P.O. Box 402, 401 East State Street, 7th Floor, Trenton, NJ 08625-0402. This request must include a completed copy of the Administrative Hearing Request Checklist found at www.state.nj.us/dep/landuse/forms. Hearing requests received after 30 days of publication notice may be denied. The DEP Bulletin is available on the Department's website at www.state.nj.us/dep/bulletin. In addition to your hearing request, you may file a request with the Office of Dispute Resolution to engage in alternative dispute resolution. Please see the website www.nj.gov/dep/odr for more information on this process.

Please contact Tina Wolff of our staff by e-mail at tina.wolff@dep.nj.gov or by phone at (609) 633-6563 should you have any questions regarding this letter. Be sure to indicate the Department's file number in all communication.

Sincerely,



Patrick Ryan, Supervisor
Division of Land Use Regulation

c: Municipal Clerk
Municipal Construction Official
Agent (original)



State of New Jersey

MAIL CODE 501-04

DEPARTMENT OF ENVIRONMENTAL PROTECTION

DIVISION OF PARKS & FORESTRY

NEW JERSEY FOREST SERVICE

OFFICE OF NATURAL LANDS MANAGEMENT

P.O. BOX 420

TRENTON, NJ 08625-0420

Tel. (609) 984-1339 Fax (609) 984-0427

PHILIP D. MURPHY
Governor

SHEILA Y. OLIVER
Lt. Governor

CATHERINE R. MCCABE
Commissioner

March 15, 2019

Mark W. Kalusz, EIT
French & Parrello Associates, P.A.
1800 Route 34, Suite 101
Wall, NJ 07719

Re: Cottrell Park
Block(s) - 10252.24, Lot(s) - 18 & 34
Old Bridge Township, Middlesex County

Dear Mr. Kalusz:

Thank you for your data request regarding rare species information for the above referenced project site.

Searches of the Natural Heritage Database and the Landscape Project (Version 3.3) are based on a representation of the boundaries of your project site in our Geographic Information System (GIS). We make every effort to accurately transfer your project bounds from the topographic map(s) submitted with the Natural Heritage Data Request Form into our Geographic Information System. We do not typically verify that your project bounds are accurate, or check them against other sources.

We have checked the Landscape Project habitat mapping and the Biotics Database for occurrences of any rare wildlife species or wildlife habitat on the referenced site. The Natural Heritage Database was searched for occurrences of rare plant species or ecological communities that may be on the project site. Please refer to Table 1 (attached) to determine if any rare plant species, ecological communities, or rare wildlife species or wildlife habitat are documented on site. A detailed report is provided for each category coded as 'Yes' in Table 1.

We have also checked the Landscape Project habitat mapping and Biotics Database for occurrences of rare wildlife species or wildlife habitat in the immediate vicinity (within one mile) of the referenced site. Additionally, the Natural Heritage Database was checked for occurrences of rare plant species or ecological communities within one mile of the site. Please refer to Table 2 (attached) to determine if any rare plant species, ecological communities, or rare wildlife species or wildlife habitat are documented within the immediate vicinity of the site. Detailed reports are provided for all categories coded as 'Yes' in Table 2. These reports may include species that have also been documented on the project site.

The Natural Heritage Program reviews its data periodically to identify priority sites for natural diversity in the State. Included as priority sites are some of the State's best habitats for rare and endangered species and ecological communities. Please refer to Tables 1 and 2 (attached) to determine if any priority sites are located on or in the immediate vicinity of the site.

A list of rare plant species and ecological communities that have been documented from the county (or counties), referenced above, can be downloaded from <http://www.state.nj.us/dep/parksandforests/natural/heritage/countylist.html>. If suitable habitat is present at the project site, the species in that list have potential to be present.

Status and rank codes used in the tables and lists are defined in EXPLANATION OF CODES USED IN NATURAL HERITAGE REPORTS, which can be downloaded from http://www.state.nj.us/dep/parksandforests/natural/heritage/nhpcodes_2010.pdf.

Beginning May 9, 2017, the Natural Heritage Program reports for wildlife species will utilize data from Landscape Project Version 3.3. If you have questions concerning the wildlife records or wildlife species mentioned in this response, we

NHP File No. 19-4007443-16280

recommend that you visit the interactive web application at the following URL, <https://njdep.maps.arcgis.com/apps/webappviewer/index.html?id=0e6a44098c524ed99bf739953cb4d4c7>, or contact the Division of Fish and Wildlife, Endangered and Nongame Species Program at (609) 292-9400.

For additional information regarding any Federally listed plant or animal species, please contact the U.S. Fish & Wildlife Service, New Jersey Field Office at <http://www.fws.gov/northeast/njfieldoffice/endangered/consultation.html>.

PLEASE SEE 'CAUTIONS AND RESTRICTIONS ON NHP DATA', which can be downloaded from <http://www.state.nj.us/dep/parksandforests/natural/heritage/newcaution2008.pdf>.

Thank you for consulting the Natural Heritage Program. The attached invoice details the payment due for processing this data request. Feel free to contact us again regarding any future data requests.

Sincerely,

A handwritten signature in black ink, appearing to read 'Robert J. Cartica', with a stylized flourish at the end.

Robert J. Cartica
Administrator

c: NHP File No. 19-4007443-16280

NHP File No. 19-4007443-16280

Table 2: Vicinity Data Request Search Results (6 possible reports)

<u>Report Name</u>	<u>Included</u>	<u>Number of Pages</u>
1. Immediate Vicinity of the Project Site Based on Search of Natural Heritage Database: Rare Plant Species and Ecological Communities Currently Recorded in the New Jersey Natural Heritage Database	Yes	1 page(s) included
2. Natural Heritage Priority Sites within the Immediate Vicinity	Yes	See emailed attachments
3. Rare Wildlife Species or Wildlife Habitat Within the Immediate Vicinity of the Project Site Based on Search of Landscape Project 3.3 Species Based Patches	Yes	1 page(s) included
4. Vernal Pool Habitat In the Immediate Vicinity of Project Site Based on Search of Landscape Project 3.3	Yes	1 page(s) included
5. Rare Wildlife Species or Wildlife Habitat In the Immediate Vicinity of the Project Site Based on Search of Landscape Project 3.3 Stream Habitat File	No	0 pages included
6. Other Animal Species In the Immediate Vicinity of the Project Site Based on Additional Species Tracked by Endangered and Nongame Species Program	Yes	1 page(s) included

Immediate Vicinity of the Project Site
 Based on Search of Natural Heritage Database
 Rare Plant Species and Ecological Communities Currently Recorded in
 the New Jersey Natural Heritage Database

Scientific Name	Common Name	Federal Protection Status	State Protection Status	Regional Status	Grank	Srank	Identified	Last Observed	Location
<i>Vascular Plants</i>									
<i>Juncus greenei</i>	Greene's Rush			HL	G5	S2	Y	1983-10-11	Adjacent to sand access road in powerline right-of-way, 1.5 miles southeast of Browntown.
Total number of records: 1									

**Rare Wildlife Species or Wildlife Habitat Within the
Immediate Vicinity of the Project Site Based on Search of
Landscape Project 3.3 Species Based Patches**

Class	Common Name	Scientific Name	Feature Type	Rank	Federal Protection Status	State Protection Status	Grank	Srank
<i>Aves</i>	Cooper's Hawk	Accipiter cooperii	Breeding Sighting	2	NA	Special Concern	G5	S3B,S4N

**Vernal Pool Habitat
In the Immediate Vicinity of
Project Site Based on Search of
Landscape Project 3.3**

Vernal Pool Habitat Type	Vernal Pool Habitat ID
Potential vernal habitat area	1718
Potential vernal habitat area	1729
Total number of records:	2

Other Animal Species

In the Immediate Vicinity of the Project Site Based on
Additional Species Tracked by
Endangered and Nongame Species Program

Scientific Name	Common Name	Federal Protection Status	State Protection Status	Grank	Strank
<i>Invertebrate Animals</i>					
Apamea apamiformis	A Noctuid Moth			G4	S2S4
Total number of records: 1					

CONSERVATION MANAGEMENT AGREEMENT

6 day of April, 2017, by and between:

COUNTY OF MIDDLESEX, IN THE STATE OF NEW JERSEY, a body Politic and corporate established and existing under the laws of the State of New Jersey, having an address at the Administration Building, One John F. Kennedy Square, P.O. Box 871, New Brunswick, New Jersey 08903-0871 (hereinafter referred to as "County")

and

THE TOWNSHIP OF OLD BRIDGE, a municipal corporation of the State of New Jersey, having an address at One Old Bridge Plaza, Old Bridge NJ 08857-2497 (hereinafter referred to as "Township").

WITNESSETH:

WHEREAS, the County has acquired two tracts of land of approximately 64.026 acres situated in the Township of Old Bridge, County of Middlesex, and State of New Jersey and currently designated on the Old Bridge Township tax map as tax block 10259, lots 7 & 8 (known as Whitney Estates) and tax block 10252.24, lots 18, 19, 21.12 & 34 (known as the Cottrell Farm), located on Cottrell Road and County Route 516. (the "Preservation Area"), (Exhibit A); and

WHEREAS, the Preservation Area was acquired by the County in accordance with the Open Space Recreation and Farmland and Historic Preservation Act and the Middlesex County Open Space Plan (hereinafter referred to as "MCOSP") for the purpose of the preservation and conservation of open space; and

WHEREAS, the Preservation Area contains five (5) buildings including the Cottrell Farm House (3469 square feet), stone garage (947 square feet), shop building (1890 square feet), barn & corn crib (1375 square feet) and pool cottage (720 square feet) together with the lands consisting of approximately 64.026 acres, and

WHEREAS, the Preservation Area is subject to Green Acres Restrictions as provided at *N.J.S.A. 13:8C-1, et seq.* and *N.J.A.C. 7:36*, as may be amended and supplemented, and further subject to a Conservation Restriction Agreement between the County and the Township dated March 30, 2011 and recorded April 1, 2011 in Book 6244 at Page 771 (collectively the "Deed Restrictions");

WHEREAS, the Township has offered to accept responsibility for security, liability, management and enforcement of the aforesaid Deed Restrictions and enforcement of County Park rules and regulations (EXHIBIT B) not inconsistent with the Deed Restrictions; and

WHEREAS, the Preservation Area will continue to be used for and open to the public consistent with the Deed Restrictions and rules and regulations of the County Parks;

WHEREAS, the County has agreed that the Township may manage the Preservation Area provided it is managed in accordance with the Open Space Recreation and Farmland and Historic Preservation Act, County Park Regulations, Deed Restrictions, MCOSP and that the Township holds the County harmless for any claims associated with the use of the Preservation Area.

WHEREAS, the Township will not limit, modify or restrict the use of the facility beyond the Deed Restrictions and rules and regulations promulgated by the County Parks without the prior approval of the County.

NOW, THEREFORE, in consideration of One (\$1.00) Dollar and other good and valuable consideration and the mutual covenants and agreements herein contained, the County of Middlesex and the Township of Old Bridge hereby covenant and agree as follows:

OBLIGATIONS OF TOWNSHIP

1. The Township, at its sole cost and expense, shall maintain and provide security for the Preservation Area in accordance with the Open Space Recreation and Farmland and Historic Preservation Act, County Park Regulations, the Deed Restrictions and the MCOSP and enforce the County Park rules and regulations not inconsistent with the Deed Restrictions.

2. The Township, at its sole cost and expense shall enforce, in the name of the County, the Deed Restrictions on the Preservation Area.

3. The Township, at its sole cost and expense shall be responsible for the maintenance of all the structures in the Preservation Area. This includes, but is not limited to all maintenance and capital repairs for electrical and mechanical systems, structural repairs and improvements, HVAC, hot water systems, plumbing and alarm systems. The Township shall pay all utility charges associated with its use and occupancy of the Preservation Area, including electric, gas, fire and burglar alarm, water and sewer. The Township shall have the right, upon prior notice to and consent of the County, to enter into Lease Agreement(s) with any tenants in structures in the Preservation Area as may be reasonably appropriate. The Township shall be entitled to retain the rent proceeds from the Lease Agreement(s) provided that such rent shall be used by the Township only for preservation activities associated with the Preservation Area and/or recreation programming conducted on the Preservation Area pursuant to N.J.A.C. 7:36-25.14(g).

4. The County shall retain the right to access and inspect the Preservation Area, both structures and land, with reasonable prior notice to the Township.

5. The Township, at its sole cost and expense, may provide controlled public access to the Preservation Area. Public access plans for the Preservation Area shall have consent from the County and should be consistent with farming activities on the property and consistent with acceptable uses prescribed by the Response Action Outcome (RAO) for the property.

6. The Township, at its sole cost and expense, shall maintain the Preservation Area, including landscaping, ornamental shrubs, tree removal and pruning, lawn areas, parking lots, and sidewalks in a neat and tidy appearance. This includes prompt removal of litter, waste, snow, leaves and organic debris.

7. No improvements, structures, trails or construction shall be permitted on the Preservation Area without prior approval of the Middlesex County Director of Parks and Recreation. Prior to requesting any such approval, the Township agrees to provide plans and specifications for any proposed improvements.

8. Township covenants and agrees, at its sole cost and expense; (a) to indemnify County and save County harmless against and from any and all claims by or on behalf of any person, firm or corporation, arising from the use, conduct or management of, or from any work or thing whatsoever done in or about the Preservation Area, by Township, its' agents, servants, employees, lessees, licensees, invitees or independent contractors acting on its behalf. The Township shall indemnify, defend and hold harmless the County, its officers and employees against any actions filed against the County resulting from the Township's acts or omissions and for any and all claims by any and all person for personal injury or property damage that occur on the Preservation Area.

9. The Township shall have the right, upon prior notice to and consent of the County, to enter into Lease Agreement(s) with a farmer(s) providing for the farming to be done on the Preservation Area as may be reasonably appropriate. Any such farming lease(s) shall be in accordance with *N.J.A.C. 7:36-25.13*.

10. Township shall maintain general liability insurance in an amount of not less than Five Million Dollars (\$5,000,000.00) in respect to bodily injury or death per occurrence, together with One Million Dollars (\$1,000,000.00) in property damage coverage per occurrence, and name the County as an additional insured.

OBLIGATIONS OF THE COUNTY

The County agrees to permit the Township to manage the Preservation Area for the term set forth herein and in accordance with the Open Space Recreation and Farmland and Historic Preservation Act, County Park Regulations, the Deed Restrictions and the MCOSP.

The County agrees to take responsibility for all current and future remediation activities in the Preservation Area. This includes all costs associated with the issuance of a Response Action Outcome (RAO) for the Preservation Area and any future costs related to biennial reporting on and maintenance of engineering controls within the Preservation Area.

TERM

The term of this Agreement shall be ten (10) years from the date of the execution of this Agreement. The Agreement will automatically renew itself under the same terms and conditions, unless either party gives ninety (90) days written notice prior to the end of this Agreement that it shall not be renewed.

TERMINATION

Either party may terminate this Agreement on one hundred eighty (180) days written notice to the other party. In addition, the County may terminate the Agreement upon ten (10) days written notice to the Township in the event that the County shall determine, in its sole discretion, that the Township shall have breached the Agreement in such a manner that affects the health, safety or public welfare of the County or its' residents. (Termination for Cause). In that event, the Township will be responsible to the County for all costs incurred by the County in connection with such Termination for Cause.

ASSIGNMENT

The Township's obligations for maintenance and security of the Property in accordance with Paragraph 1 hereof may be assigned by the Township, in its reasonable discretion, however notwithstanding, the Township shall remain primarily responsible to the County for such maintenance and security.

REMEDIES

In addition to the County's right of Termination for Cause as more fully set forth herein, in the event that either party to this Agreement shall violate the terms and conditions of this Agreement, the sole remedy of the aggrieved party shall be either: (a) the right to sue for specific

performance of this Agreement; or (b) the right to terminate this Agreement and seek damages for any loss or liability incurred as a result of such breach.

NOTICES

All notices under this Agreement must be in writing. The notices must be delivered personally or mailed by certified mail, with return receipt requested, to the other party at the address written below. Notices may also be sent via facsimile transmission or by confirmed email so long as the hard-copy follows by regular mail. The notices shall be deemed effective as of the date of sending.

If to Township: Mayor
Township of Old Bridge
One Old Bridge Plaza
Old Bridge, NJ 08857-2497

-and-
Old Bridge Township Attorney
One Old Bridge Plaza
Old Bridge, NJ 08857-2497

If to County: Office of County Counsel
County of Middlesex
County Administration Building
75 Bayard Street
New Brunswick, NJ 08901
Attention: Thomas F. Kelso, Esq.

Office of Parks and Recreation
Richard Lear, Director
1030 River Road
Piscataway, NJ 08854

REPRESENTATION AND WARRANTIES

The County and the Township each represents and warrants that each has all the requisite power and authority to execute and deliver and perform its respective obligations under this Agreement, and each has taken all actions required by law or otherwise to authorize the

execution and delivery of this Agreement and the consummation of the transaction contemplated hereby.

GENERAL PROVISIONS

This Agreement is subject to the following general provisions:

(a) No waiver by any party to any breach hereunder shall be deemed a waiver of any other subsequent breach.

(b) This Agreement may not be altered, amended, changed, waived, terminated or modified in any respect or particular unless the same shall be in writing and signed by or on behalf of the party to be charged therewith.

(c) This Agreement shall be construed and enforced in accordance with the laws of the State of New Jersey.

(d) Neither this Agreement nor a memorandum of this Agreement shall be recorded.

(e) The headings and captions of the various Sections of this Agreement are for convenience of reference only and are not to be construed as defining, describing or limiting in any the scope or intent of the provisions of this Agreement.

(f) This Agreement shall not be binding or effective until properly authorized, executed and delivered by the County and the Township.

(g) Whenever the context of this Agreement may require, any pronoun shall include the corresponding masculine, feminine and neuter form, and the singular form of nouns and pronouns shall include the plural.

(h) The parties hereto shall not rely upon any statement or representation made by the party hereto which is not embodied in this Agreement.

(i) In the event a court of competent jurisdiction invalidates any section, provision, clause, sentence or paragraph of this Agreement, such invalidity shall not effect or render invalid any other section, provision, clause, sentence or paragraph of this Agreement and the remaining provisions, clauses, sections, sentences and paragraphs shall be and remain operative, effective and enforceable in accordance with the provisions hereof.

IN WITNESS WHEREOF, the County and the Township have each caused this Agreement to be properly executed by the Director of the Board of Chosen Freeholders and Mayor, respectively, and the respective seals of the County and the Township have been affixed hereto, and the Clerks of the County and the Township have attested to the execution of this Agreement by the proper officials of the County and Township, respectively, and affixing of the respective corporate seals hereto, all as of the day and year first above written.

ATTEST:



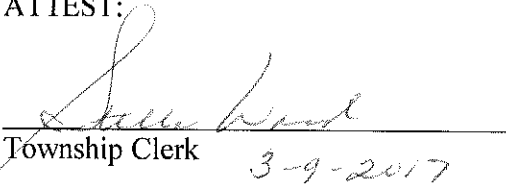
AMY R. PETROCELLI
Clerk, Board of Chosen Freeholders

COUNTY OF MIDDLESEX

By: 

Charles E. Tomaro
Freeholder Deputy Director

ATTEST:

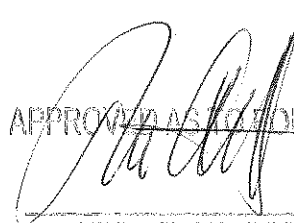

Township Clerk 3-9-2017

TOWNSHIP OF OLD BRIDGE

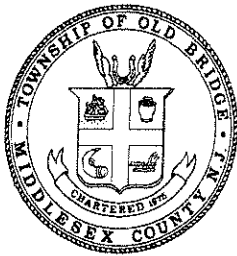
By: 
Name:

OWEN HENRY, MAYOR
TOWNSHIP OF OLD BRIDGE

APPROVED AS TO FORM AND LEGALITY



NIKI ATHANASOPOULOS, ESQ.
SCHOOL DEPUTY COUNTY COUNSEL



TOWNSHIP OF OLD BRIDGE

State of New Jersey
County of Middlesex

Proof of Insertion

I, Stella Ward, do
hereby certify that an
advertisement, of which
the annexed is a true copy,
was published in the Home
News, a newspaper published
and circulated in Old Bridge
Township, County and State
aforesaid, issue(s) as follows
to wit:

Public Hearing
Green Acres
Cottrell Farm Park

Published: March 22, 2019

Certified this 22nd day
of March, 2019

Stella Ward

Stella Ward
Township Clerk

0003449661-01

TOWNSHIP OF OLD BRIDGE NOTICE OF PUBLIC HEARING

TAKE NOTICE that the Township of Old Bridge in the County of Middlesex, State of New Jersey, Mayor and Engineering Department in accordance with N.J.A.C. 7:36-12.2 of the Green Acres Regulations, seeks to file a Local Government Assistance Application for Park Development via the Urban Aid Program to obtain a grant from the State of New Jersey Green Acres Program for the development of recreational facilities at the proposed Cottrell Farm Park, located at the northeast corner of Cottrell Road and County Route 516/Matawan Road. The grant will allow for the construction of recreational facilities at the Park, including a splash pad, playground, community gardens, memorial walkway, walking trails, fitness par course, amphitheater, picnic pavilion, great lawn and related amenities.

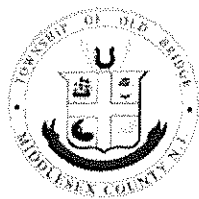
Pursuant to N.J.A.C.7:36-12.2(b), a second public hearing to obtain comments on this Green Acres Application will be held as follows:

Monday, April 8, 2019 at 7:00 p.m.
Old Bridge Township Municipal Complex
Court Room
One Old Bridge Plaza
Old Bridge, New Jersey 08857.

All information submitted by the Township of Old Bridge to the Green Acres Program in support of this application is available for public inspection at the Old Bridge Engineering Department located at One Old Bridge Plaza, Old Bridge, NJ 08857, during regular business hours.

The public may speak at the public hearing, or submit written comments to the Township Engineer, at any time through the close of the public hearing. Address any written comments to: Nicole Shapiro, Township Engineer, Township of Old Bridge Engineering Department, One Old Bridge Plaza, Old Bridge, New Jersey 08857. Verbal comments may be given at the public hearing. Each speaker will have the right to comment once for a period not to exceed five (5) minutes.
(\$36.08)

0003450229-01



(<http://www.oldbridge.com/>)

Old Bridge Township

Middlesex County, NJ

1 Old Bridge Plaza, Old Bridge, NJ 08857
Phone: 732-721-5600 Fax: 732-607-7900

Notices

10/18/2018 - Cottrell Farm Park Public Hearing

TOWNSHIP OF OLD BRIDGE NOTICE OF PUBLIC HEARING

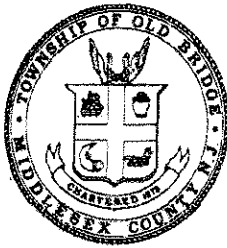
NOTICE is hereby given that a public hearing is being held by the Mayor and Engineering Department of the Township of Old Bridge in the County of Middlesex, State of New Jersey for a presentation on the proposed Cottrell Farm Park, located at the northeast corner of Cottrell Road and County Route 516/Matawan Road.

Please join the Mayor and Engineer at the public hearing scheduled for Friday, October 26, 2018, commencing at 7:00 p.m. at the Old Bridge Township Municipal Complex in the Court Room, One Old Bridge Plaza, Old Bridge, New Jersey 08857.

For questions, please contact the Old Bridge Engineering Department at 732-721-5600, Ext. 2330.

Archives

(</notices/?Archives=1&ChanID=9381>)



TOWNSHIP OF OLD BRIDGE

State of New Jersey
County of Middlesex

Proof of Insertion



I, Stella Ward, do hereby certify that an advertisement, of which the annexed is a true copy, was published in the Home News, a newspaper published and circulated in Old Bridge Township, County and State aforesaid, issue(s) as follows to wit:

Cottrell Farm Park
Public Hearing
October 26, 2018

Published: October 20, 2018

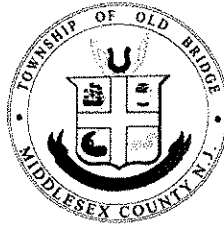
Certified this 20th day
of October, 2018

Stella Ward

Stella Ward
Township Clerk

Department of Community Development
Engineering Office

Nicole S. Shapiro, PE, PP, CME
Director of Community Development
& Township Engineer



Parminder Sumal, PE, PP, CME
Assistant Engineer

MEMORANDUM OF MEETING

TO: Meeting Attendees

FROM: Nicole S. Shapiro, PE, PP, CME
Director of Community Development
Township Engineer

DATE: November 6, 2018

SUBJECT: Proposed Cottrell Farm Park

PURPOSE

OF MEETING: Public Information Meeting

DATE, TIME & PLACE: Friday, October 26, 2018 @ 7:00pm
Old Bridge Township
One Old Bridge Plaza, Courtroom

IN ATTENDANCE: Attendance Sheet Attached

ITEMS OF DISCUSSION:

1. Mayor Owen Henry began the meeting by reviewing the history of the property beginning with the current zoning as Towne Center District (TCD). This property received approval for high density residential development as what is permitted in the TCD zone. The prior administration didn't agree the intensity of the development for this location received funds from different entities to preserve the property as open space. The County is the underlying owners with the Township having the stewardship over the property. The Township has gone through several iterations of conceptual plans. The Mayor fully supports the current concept plan and looks forward to given back to the residents of Old Bridge.
2. Nicole Shapiro, Director of Community Development & Township Engineer, continued the meeting by giving a timeline of the project history, as follows:
 - Cottrell Farm was acquired using funding from Middlesex County, NJDEP Green Acres, & Old Bridge Township Open Space Trust Fund
 - Middlesex County (60%) and Old Bridge Township (40%) jointly acquired Cottrell Farm on March 31, 2011
 - In 2015, Middlesex County retained an LSRP to prepare a Preliminary Assessment and Site Investigation Report, Remedial Investigation, Remedial Action Report and Response Action Outcome

- In 2016, Middlesex County retained an Architect to perform a conditions assessment on all existing building.
 - In April 2017, Old Bridge Township entered into a Conservation Management Agreement with Middlesex County for the maintenance, security, preservation and improvements
 - In Summer 2017, Conceptual Plan and Presentation prepared and presented to the County, Council & Planning Board
 - In Spring 2018, RFP prepared and Design Consultants awarded project
3. Steering Committee was developed in the summer of 2018. Members of the steering committee included Mayor, Business Administrator, Council President, NJDEP Green Acres, remember Green Acres needs to approve anything the Township does since the property was acquired by Green Acres funds, County Engineer & Assistant, Planner, DPW Director, Recreation Director, Police, Fire Marshal, OEM, CCO, Conservation Officer, Planning Board, Historical Society, and Grant Writer. First Meeting was held on July 26, 2018 to present Concept A which refined the original concept plan prepared by the Township professionals. The second steering committee meeting was held on October 17, 2018 which reviewed a further refined plan, called Concept Plan B that addressed Steering Committee member comments.
4. Between the two Steering committee Meetings Township Professionals and our consultants refined the park improvements based on the following:
- Preliminary Meeting with Middlesex County Planning and Engineering Department
 - Meeting with OBMUA and Conservation Officer/Forrester and Shade Tree Commission member
 - Coordination with Office of Emergency Management and Fire Marshal and Construction Code Official
 - Compiled and addressed Steering Committee Comments
 - Investigation of Funding Opportunities with Middlesex County and State
 - Internal Design Meetings and Conceptual Design Refinement
5. Ruben Garrido, Manager of EI Associates Architectural Department, continued the meeting by reviewing the existing buildings and the proposed improvements to the existing buildings to meet ADA compliant and update the buildings for public use, as follows:
- The Cottrell Farm House (Main House - 3,469 SF) - Four Seasons Meeting Hall, Lecture Hall, Warming Kitchen, and Administrative Offices. 49 person occupancy 1st floor (meeting areas), 29 person Occupancy 2nd Floor (office space). The house will maintained as is, walls painted, windows re-glazed, molding sanded, repaired and painted, flooring refinished and upgrades for ADA compliance.
 - The Barn (Barn - 1,375 SF) - Three Seasons Large event space with option for a Mezzanine. Code compliant stair and mezzanine railing require. Refinishing of the interior wood working.
 - The Stone Garage (Stone Garage - 947 SF) - Three Seasons Events space. Refinishing of the interior wood working and sanding and staining of garage doors.

- The Shop Building (CMU Garage - 1,890 SF) - Three Seasons Medium size events space, Community/Meeting Room(s). Overflow space for large events in conjunction with large events in the Barn. The CMU Garage to be used as Office/ Community Room(s) and will be designed with mechanicals to support four seasons. The restroom will be rehabilitated within the building to update all existing features and the room redesigned to provide internal ADA ramp since the bathroom floor is 8 inches higher than the garage floor. The door on the east side of building will be removed and front windows replaced with doors and both garage doors will be replaced to provide for insulation. Two concepts were prepared for the internal wall within this garage:
 - i. Demolition of the existing internal wall & the addition of a folding partition wall for use as two separate spaces when required, and;
 - ii. Maintain and repair the existing wall and provide an updated internal door.
 - The Pool Cottage (Rear Garage - 720 SF) - Two Seasons. Storage Building and designed for two seasons since there is no storage on site. Refurbish the building, replace doors and add a slop sink. Since now the pool cottage will not be restored to be used as a restroom,
 - A rustic designed prefabricated restroom building will be selected and located more central to the park features.
6. Mr. Garrido continued the meeting by reviewing each building and internal proposed layout and recommendations of each. In addition he reviewed a proposed exterior rendering of what the CMU garage would look like with the features as he identified above.
7. Old Bridge Township Engineering/Landscape Architect Consultants, French and Parrello Associates, PA, (FPA) Michael Piga continued the meeting by reviewing the revised Concept Plan, as follows:
- The intention of the park design is to keep the theme of the farm.
 - Access driveway entrance A is from CR516, a formal grand entrance with a roundabout to allow access to the east and west side of the park, and secondary access driveway B is from Cottrell Road, both County roads.
 - The parking areas were divided throughout the park to give visitors easy access to all the amenities in addition to not have patrons who are attending an event at the barn compete for spaces for those who want to use the waking trails, great lawn, splash pad and other amenities.
 - The area on the northwest corner of the park proposed for farmers market or overflow parking, a community gardens located just east of the farmers market for community groups, residents and senior citizens and a memorial garden just east of the community gardens to plant trees in memory of a loved one that past.
 - Main walkway parallel to CR516 which offers an east/west connection through the park that can be constructed as a memorial walk with bricks that can be etched in memory of a loved one that past.
 - Within the center of the park are a splash pad and playground with perimeter seating and a prefabricated restroom building located between the two play areas.

- At the east side of the park is the great lawn with a park pavilion and amphitheater
 - Apple orchards will be preserved but have a 100 foot buffer from the activities on site to ensure that the maintenance of the trees will not co-mingle with the visitors of the park. Walking paths are proposed to meander through the apple orchards.
 - Increase landscaping throughout the park, raingardens and swales to take care of stormwater management and provide for low impact design.
 - Town Center District Standards will be implemented for streetscape along CR516 & Cottrell Road and altered to reduced removal of trees.
 - Emergency access, 10 feet wide, for ambulances & police from Bradford Drive (Old Bridge Mews) using load bearing decorative pavers.
 - Grand plaza paver area located in front of the buildings to connect the area.
 - Sample photos of proposed site features such as site identification signs for historical buildings, heritage trees and nature walk were shown. In addition samples of rustic park pavilion and prefabricated restrooms were shown. Lastly an example of a farm themed playground was presented.
8. Ms. Shapiro continued the meeting by identifying the next steps.
- Compile and implement Public Information Comments, if applicable. Written comments due by November 9, 2018.
 - Pursue additional means of funding as this project will be implemented over the next 5 years, at a minimum, depending on funding.
 - Determine Project Cost Estimate and Phasing
 - Prepare Phased contract plans and specifications
 - Phase I Public Bid and Award
 - Phase I Construction Spring 2019

COMMENTS FROM THE PUBLIC:

1. One resident was concerned with the emergency access from Bradford Drive, specifically people meandering out of the park and through the Old Bridge Mews neighborhood. Ms. Shapiro explained that it is part of the walking path that would give residents of Old Bridge Mews and opportunity to access the park without driving and parking on site. Two residents of Old Bridge Mews spoke out that they were receptive to the connection to their community.
2. Has there been a traffic study completed for the project and does the design consider safety since there is the municipal complex across the street? A traffic study done for this project. We use existing parks as traffic models to estimate trip generation and parking demand for the park. It should be noted that this is a less intensive park then Mannino and Geick both with sports fields and one with a YMCA. People would have to cross the street at the traffic light at the intersection of CR516 and Cottrell Road.
3. Would there be a perimeter fence? If so, the residents prefer that it not be chain link fence. Ms. Shapiro yes, most likely wooden split rail around the perimeter.

4. Resident concerned with drug use and safety within the park. Ms. Shapiro stated that the Township has entered into a management agreement with the County where the Township is responsible for the maintenance and security on site. The Township will have personnel dedicated to maintaining and monitoring the park to ensure safety and maintain our investment.
5. Will the park have security cameras? The Township has begun a security system upgrade plan. This park will be included in the future but will not be implemented as part of the current plan since it's not built yet.
6. One resident was concerned with how big the large parking lot is along Cottrell Road and requested that it be shifted to the east side of the great lawn. Ms. Shapiro stated that one of the intentions of the large parking lot was to assist with Old Bridge Day with use as additional parking or a location for vendors. Another reason was to have parking for events at the buildings. In addition when the Licensed Site Remedial Professional had tested the soil in this area it was recommended to cap the area with the parking lot and it was a recommendation by the County to place the parking lot in this area. Lastly the entire park drains towards the intersection. This makes it easier to have the parking lot drain to the stormwater basin while limiting costly underground structures.
7. Resident concerned with vehicles traveling from CR516 westbound entering the grand entrance as there are vehicle stacking that occurs at the signalized intersection. Ms. Shapiro responded that the developer that has been approved to build a commercial development at the southeast corner of Cottrell Road and CR516 must put in a dedicated left turn lane which will require widening 4 feet along CR516 westbound side for the entire length of the Cottrell Farm property. The widening will allow cars to enter the park if there is a que from the signalized intersection.
8. Will the sidewalk be extended on Cottrell Road north to Old Bridge Plaza? Ms. Shapiro stated that due to the environmental constraints in the northwest corner of the park the sidewalk will terminate at the old farm path.
9. What kind of lights will be on the walking path through the park? Ms. Shapiro stated that the colonial style decorative lights similar to that newly installed on Cottrell Road and CR516 will be implemented through the park. They will not run all night and will be on a sensor. They will be at least approximately 100 feet away from the residents on Portsmouth Drive. The street lighting within Old Bridge Mews would be closer that the park lights, approximately 15 feet from the front of the homes.
10. Can you rent out the building for events? Ms. Shapiro stated that the intention is to do so but all the money generated would have to go back into the park and we must follow NJDEP Green Acres program rules.
11. Can you bring a caterer to operate out of the farm house? Ms. Shapiro stated that the upgrades to the farm house kitchen will only allow it to be used as a "warming" kitchen. Renovations to the kitchen will include new appliance, sink, counter tops and re-facing the kitchen cabinets.

12. In the future can you continue to develop more into the apple orchards? Ms. Shapiro stated that the intention is to keep the apple orchards and not go any further that what is being proposed.
13. Will there be a dedicated right turn lane from Cottrell Road due to the high volume of cars that turn left onto Cottrell Road from CR516? Ms. Shapiro said that there will not be a stacking issue since it is a free movement and the driveway entrance is almost twice the required distance from the intersection as that which is required by ordinance. Therefor a dedicated right turn lane is not required.
14. Would property taxes increase due to the proposed Cottrell Farm Park? Ms. Shapiro stated that she has worked for the town for the past five years under this Mayor and Administration and from what she has witness, although the town is permitted to go as high as a 2% increase in taxes, any tax increase she has seen has been less than one percent, if anything.
15. Resident requested that we repost the concept plan with dimensions of the great lawn, playground, splash pad, and from the residential development to the walking paths. Ms. Shapiro stated that the consultant will revise the plans and she will repost online.
16. Mr. John Hauser, former farmer on the Cottrell Farm had taken care of the orchards buildings and grounds for over 30 years. He worked with the builder who bought the property from the Cottrell Family to preserve the orchards and later with the County to preserve the farmland. The prior Mayor Jim Phillips was responsible for purchasing the farm from the developer and preserving it as open space. This is the oldest working farm and the building is the oldest within town. Original house is over 250 years old before the fire. Mr. Hauser began a student farming program in which he provided the busing for students and taught them the principles of farming. They grew crops for two years and provided food for the food bank before he was asked to stop. He didn't envision a park for this property but rather a pick your own apple orchard for a fee, a farmers market in the red barn that he would run and a bed and breakfast for the farm house.
17. Mr. Hauser doesn't like the splash pad or playground at the farm and would rather see it at the YMCA. He does not think residents will use walking paths. With the walking trails he cannot take care of the orchards in the future.
18. A resident had questioned who would take care of the orchard in the future? Ms. Shapiro stated that it's too early to know for sure at this point but it can be turned over to park and recreation or DPW Staff with the proper training. Councilwoman Greenberg-Belli stated that Rutgers college extension program might be interested in dedicating students to coming to preserve the orchards free of charged.
19. Why do you think the splash pad is appropriate in this location? What will the splash pad look like and how big? Ms. Shapiro mentioned that the residents need something more centrally located in town and on this side of town. Mannino Park already has a playground and the YMCA. She did not have dimensions on the splash pad but will provide an update of the Concept Plan on the project website. The intent is to make the splash pad very passive and fit within the theme of the park.


20. How big is the playground? What will it look like? Ms. Shapiro stated that the playground will be farm themed as shown on slide 19 of the presentation and small. Exact dimensions will be shown on the plans and updated on the project website.

NEXT STEPS:

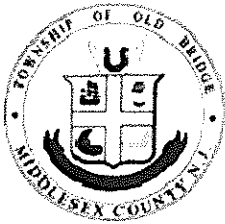
1. A Public Input due on Friday November 9, 2018 to nshapiro@oldbridge.com
2. Ms. Shapiro to forward intersection improvements to the County.
3. Once Phase I construction is confirmed preparation of contract plans and specifications will begin. Phase I Public Bid and Award is anticipated in Spring 2019 with construction in Spring 2019/Summer 2019.
4. Project information, presentation, concept plan, minutes of all meetings can be found on the Township website at www.oldbridge.com/projects.

We believe the foregoing record to be an accurate summary of the discussion and related decisions. We would appreciate notification of exceptions or corrections to these Minutes within five (5) working days of receipt. Without notification, we will consider these Minutes to be a record of fact.

Respectfully Submitted,



Nicole S. Shapiro, PE, PP, CME
Director of Community Development
& Township Engineer



ATTENDANCE SHEET

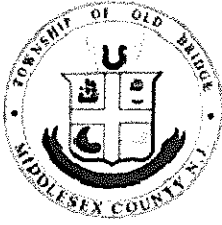
Proposed Cottrell Farm Park Public Information Meeting

October 26, 2018; 7:00pm

Courtroom

Page 1

Name	Address	Telephone/Email
Deborah Briggs	25 Portsmouth Drive	DeborahGray@aol.com
Paul Briggs		
Robert Zenzel	9 Sheffield Ct Old Bridge	no email
GRAPH STRUNK	28 Portsmouth Dr.	
Chris Warwick	11	
Robert Ageglia	19 Portsmouth Dr	mangel7112000@yahoo.com
Chris Edgeworth	15 Hamilton Ct	cedgeworth@me.com
Katherine DeLuca	5 Emerald Lane	knpdeluca@gmail.com
Gray Lanillo	POB 561 Old Bridge	chestnutaps@optonline.net
Laura Lorallo	241 Collinell	CT6273@gmail.com
ED LAUER	4085 RTE 516 MIDDLETOWN	732-533-2882 WITSENB4025@VERIZON.NET at her house in
Anita Greenkey	447 Trotton rd. 02	732-754-0051
Mary P. M.	35 Lantana Ct	314 774 6191.com
Donna Spera	16 Old Bridge Plz	dspera4@optimum.net
Stephen Cottrell		
Stephen Colavito	5 HAMILTON CT	SMCOLAVITO@gmail.com NON PRES
Sonia Lalama	14 Portsmouth Drive	201-424-1461 S.Lalama 414@gmail.com

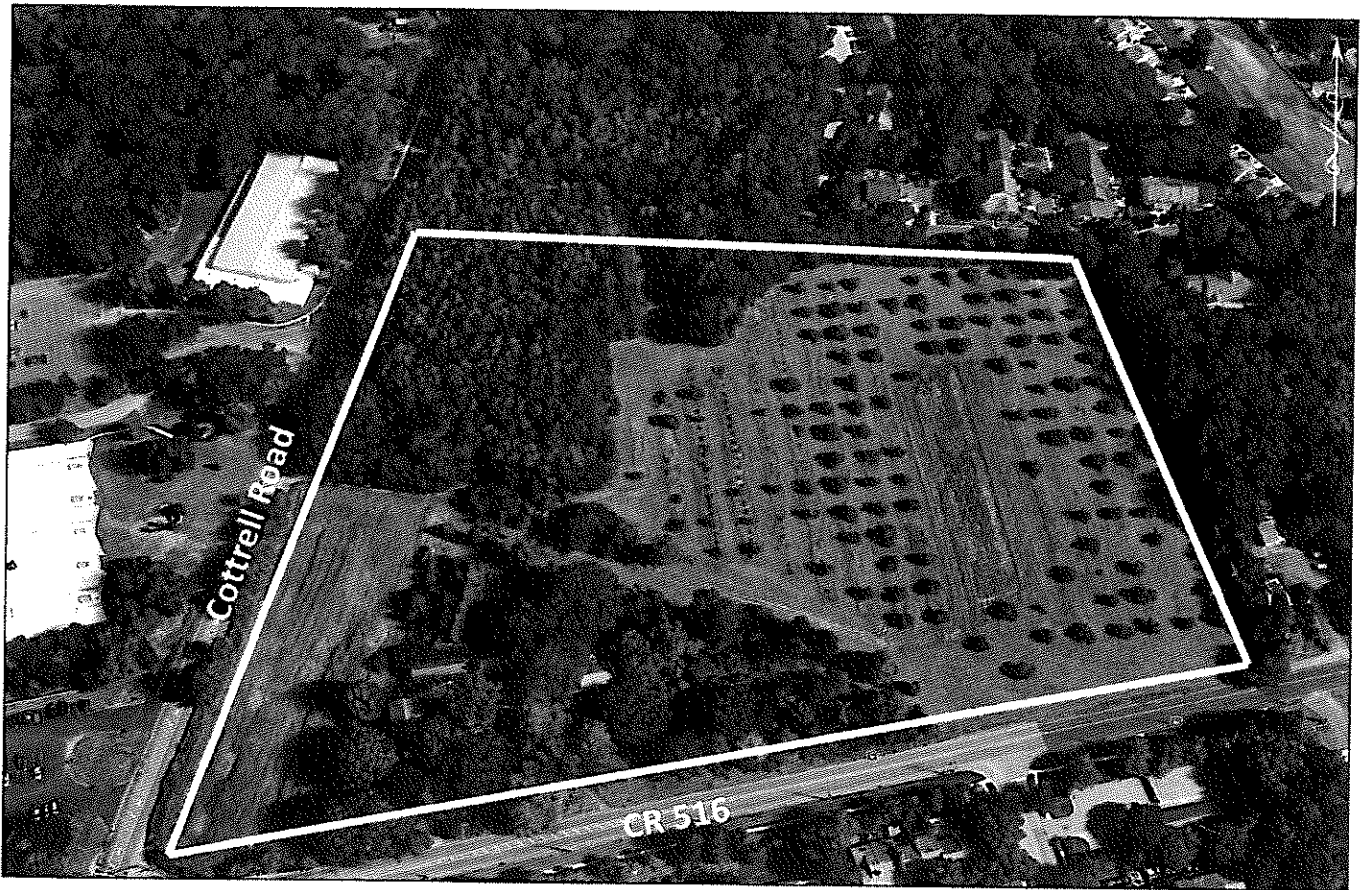


ATTENDANCE SHEET
Proposed Cottrell Farm Park Public Information Meeting
October 26, 2018; 7:00pm
Courtroom
Page 2

Name	Address	Telephone/Email
John J. Hanger	336 Ticefawn Rd.	732-591-1966

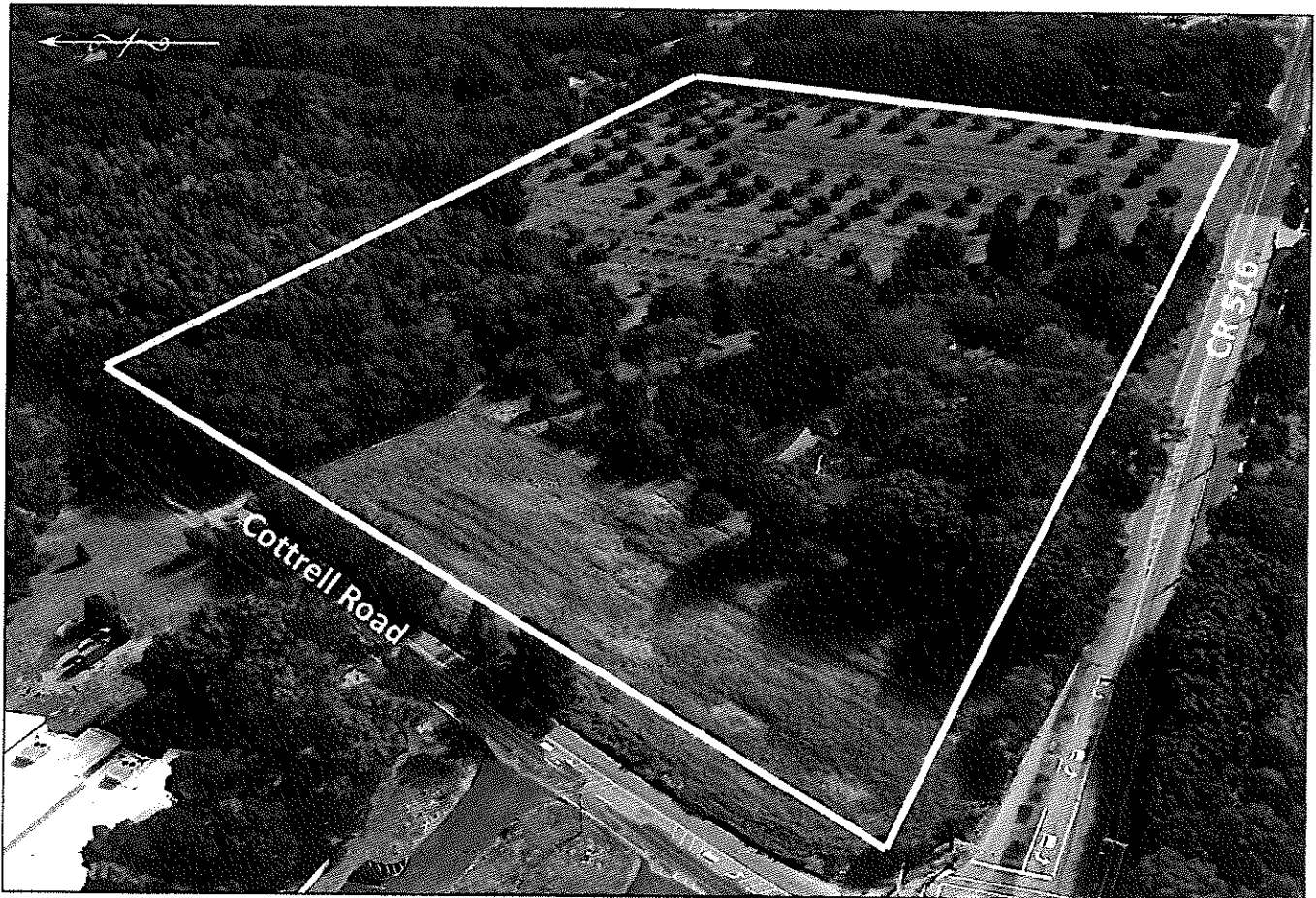
GREEN ACRES
DEVELOPMENT APPLICATION
ATTACHMENTS CHECKLIST #13
PHOTOGRAPH OF THE SITE - 1

Existing Conditions

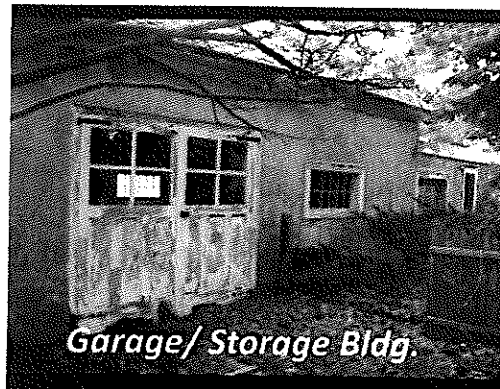


GREEN ACRES
DEVELOPMENT APPLICATION
ATTACHMENTS CHECKLIST #13
PHOTOGRAPH OF THE SITE - 2

Existing Conditions



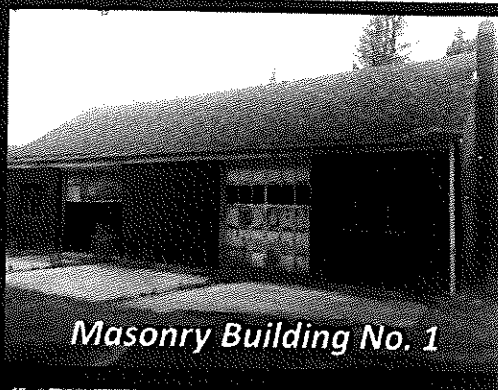
GREEN ACRES
DEVELOPMENT APPLICATION
ATTACHMENTS CHECKLIST #13
PHOTOGRAPHS OF THE SITE - 3



Garage/Storage Bldg.



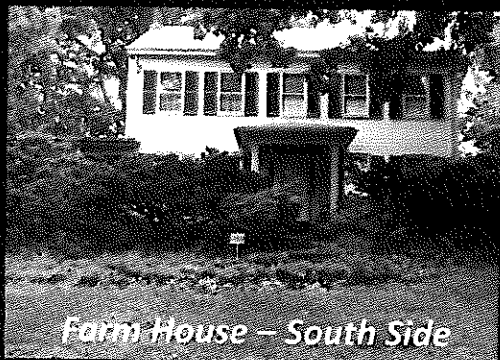
Farm House - South Side



Masonry Building No. 1



Corn Crib



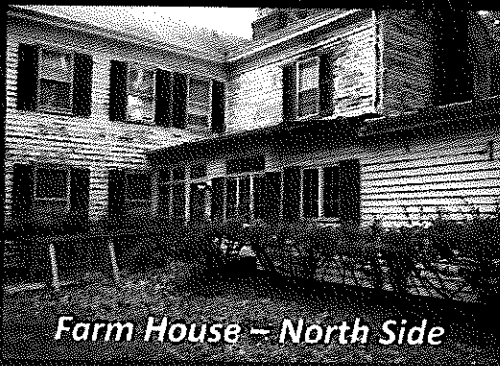
Farm House - South Side



Barn - South Side



Greenhouse Remains

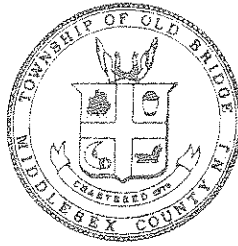


Farm House - North Side



Masonry Building No. 2

OWEN HENRY
MAYOR



MIDDLESEX COUNTY, N.J.



TOWNSHIP OF OLD BRIDGE

March 22, 2019

NJDEP Green Acres Program
Mail Code 501-01
P.O. Box 420
Trenton, NJ 08625-0420

Attention: Cecile Murphy, Program Specialist

Dear Ms. Murphy:

As the Mayor of Old Bridge Township, Middlesex County, please accept this Letter of Support for our Cottrell Farm Park Project and the recognized need for funding so the actual physical work and improvements can now begin.

Following our approved Conservation Management Agreement between Middlesex County and Old Bridge Township (April 6, 2017), our first Public Hearing (October 26, 2018), and our first two Steering Committee Meetings (July 26, 2018 & October 24, 2018), we are now more than ready to begin to activate our approved Concept Plan summarizing the proposed improvements designed to enhance numerous recreational, as well as historical opportunities, at the southeastern section of our county.

That being said, I encourage you and your NJDEP team to select our **2019 GREEN ACRES PROGRAM LOCAL GOVERNMENT ASSISTANCE APPLICATION FOR PARK DEVELOPMENT VIA URBAN AID** as one of your funding recipients for this round.

If you do, we will now be able to complete the project we have planned: creating a Parking Lot; Stormwater Management Facilities; Walking Trail; Fitness Trail ("Parcours"); Great Lawn with Water Fountain feature ("Splash Pad"); Gazebo/Picnic Grove; Decorative Perimeter Fencing; Amphitheatre; Playground; and Community Garden; along with park furniture, sidewalk and lighting and refurbishment of the site area around the existing buildings for event venues and public access as a Historic Museum.

Hopefully, this application prepared by our Township Planning, Engineering and Community Development staff will thoroughly prove that this project is an excellent and efficient example of the Green Acres Mission Statement... ***To achieve, in partnership with others, a system of interconnected open spaces the protection of which will preserve and enhance New Jersey's natural environment and its historic, scenic, and recreational resources for public use and enjoyment.***

Sincerely,

Mayor Owen Henry
Old Bridge Township

cc: Nicole S. Shapiro, PE, PP, CME, Director of Community Development & Township Engineer
Cottrell Farm Park Project Director

PARKS, RECREATION &
SOCIAL SERVICES

732-721-5600 ext. 4999



MIDDLESEX COUNTY, NJ

TOWNSHIP OF OLD BRIDGE

March 22, 2019

NJDEP Green Acres Program
Mail Code 501-01
P.O. Box 420
Trenton, NJ 08625-0420

Attention: Cecile Murphy, Program Specialist

Dear Cecile –

As Old Bridge Township's Director of Parks, Recreation and Social Services, I am pleased to support our Green Acres (Urban Aid) application to secure funding needed to make our Cottrell Farm Park Project come to life.

With already more than a dozen Parks and Open Space areas throughout our township that successfully supply both residents and visitors with lots of sports fields, playground areas and walking trails that continually advance Health & Fitness, it is exciting to once again partner with Middlesex County to now further enhance our recreational opportunities in this southeastern part of the county.

I am proud and excited to be an active member of the Township's Steering Committee for this project since it enables me and my department to learn from as well as inform our other Steering Team members some of the best ways to make our new planned event venues and play areas safe, secure and exciting to take part in.

While you will no doubt receive many requests for this round of Green Acres funding, I strongly encourage you and your review team to select our Cottrell Farm Park project as one truly ready for funding since so many will then be served for decades to come via lots of family and fun activities.

Sincerely,

Matt Mecurio
Director of Parks, Recreation and Social Services

cc: Nicole S. Shapiro, PE, PP, CME, Director of Community Development & Township Engineer
Cottrell Farm Park Project Director

Ronald G. Rios
Freeholder Director

Charles E. Tomaro
Deputy Director

Kenneth Armwood
Charles Kenny
Leslie Koppel
Shanti Narra
Blanquita B. Valenti
Freeholders



DEPARTMENT OF INFRASTRUCTURE MANAGEMENT

Office of Planning

March 20, 2019

Ms. Nicole S. Shapiro, P.E., P.P., C.M.E.
Director of Community Development and Township Engineer
Township of Old Bridge
Department of Engineering
One Old Bridge Plaza
Old Bridge, NJ 08857

Re: Green Acres Application for Grant Funding
Proposed Cottrell Farm Park

Dear Nicole:


This letter serves as Middlesex County's support for Old Bridge's application to the Green Acres Program for funding for the proposed development of Cottrell Farm Park located at the northeast corner of Cottrell Road and County Route 516.

The development of Cottrell Farm Park will greatly enhance the area and add to recreation opportunities which include the nearby Old Bridge ice rink and provide access to residential development around the park. Public facilities such as the Old Bridge Municipal complex and public library are also in the vicinity. The development of the Park will also serve to enhance the nearby newly built downtown business center located on County Route 516.

The proposed project is wholly consistent with the regional planning goals of Middlesex County. Therefore, the County wholeheartedly supports Old Bridge's Green Acres application for the Cottrell Farm Park.

Thank you for offering us the opportunity to comment. If you have any questions, please do not hesitate to call.

Sincerely,
MIDDLESEX COUNTY
DEPARTMENT OF INFRASTRUCTURE MANAGEMENT
Office of Planning


George M. Ververides
Director

c: Honorable Owen Henry, Mayor
Mr. Himanshu Shah, Municipal Administrator
Mr. John Pulomena, County Administrator
Mr. Khalid Anjum, County Department Head
Mr. John Carroll, Director, County Office of Governmental Affairs
Mr. Richard Lear, County Division Head, Parks
Mr. Louis Greenwell, Director, Comprehensive Planning

p/gmv/open space/032019 Shapiro Cottrell Farm Park green acres endorsement ltr

Charles Kenny
Chairperson,
Infrastructure Management

John A. Pulomena
County Administrator

Khalid Anjum
Department Head

Matthew Vaughn
Chairman, Planning Board

Steven D. Cahn, Esq.
Counsel, Planning Board

Brenda L. Bleacher
Secretary, Planning Board

George M. Ververides, P.P., A.I.C.P.
Director

Louis Greenwell GISP, CFM
Director, Comprehensive Planning



Township of Old Bridge
Department of Community Development



Veena Sawant, AICP, PP
Township Planner
vsawant@oldbridge.com

March 21, 2019

Attn: #Ms. Cecile Murphy
NJDEP Green Acres Program
Mail Code 501-01
P.O. Box 420
Trenton, NJ 08625-0420

Dear Ms. Cecile Murphy,

On May 1, 2018, the Director of Community Development/Township Engineer made a presentation to the Planning Board regarding the development plan for the Cottrell Farm property. Cottrell Farm was acquired using funding from Middlesex County, NJDEP Green Acres, and Old Bridge Township Open Space Trust Fund. Subsequently a plan was prepared for the farm property. The plan envisions the historic farm property to be developed as a passive and active park. The proposal includes adaptive reuse of the five existing structures on the property, preservation of the existing apple orchard, and addition of recreational elements such as walking trails, splash pad, playground, and potential botanical/memorial garden, rain garden.

The Planning Board offers its full support to the project as the Cottrell Farm project and the proposed improvements will offer an array of recreational opportunities to the residents of Old Bridge Township. The project is consistent with Old Bridge's overall Master Plan's goal of preserving farmland and creating adequate recreational amenities for its residents.

Very Truly Yours,

A handwritten signature in cursive script that reads 'Barbara Cannon'.

Barbara Cannon,
Chairwoman of the Old Bridge
Township Planning Board

List of Required Permits

The following permits are required to construct the proposed Cottrell Farm Park:

1. New Jersey Department of Environmental Protection Freshwater Wetlands Letter of Interpretation (LOI) (N.J.A.C. 7:7A) **received 1/31/19**
2. New Jersey Department of Environmental Protection Freshwater Wetlands General Permit No. 6 for nontributary wetlands (N.J.A.C. 7:7A) **pending: submitted 3/11/19**
3. Freehold Conservation District Soil Erosion and Sediment Control Certification, **pending**



OLD BRIDGE TOWNSHIP
ENGINEERING DEPARTMENT

PROJECT NAME : COTTRELL FARM PARK

PROJECT NUMBER :

CALCULATED BY: KH

DATE: 3/27/19

CHECKED BY: NSS

DATE: 3/28/19

REVISED BY: NSS

DATE: 3/28/19

PRELIMINARY OPERATING COST ESTIMATE

PERSONNEL

Item No.	Employee	*Salary
1	Laborer A	\$ 84,765.12
2	Seasonal Laborer	\$ 15,793.00
3	Building Maintenance Mechanic (5 hours per week)	\$ 12,935.60
4	Splash Park Attendant 45 hours (Monday through Thursday 11AM to 5PM, Friday through Sunday 10AM to 5PM) 10 weeks	\$ 4,844.25
*Total Salary		\$ 118,337.97

*includes all payroll taxes, health benefits and pension

GROUND MAINTENANCE

5	Landscaping Supplies	\$ 7,500.00
6	Snow Removal	\$ 3,500.00
7	Splash Pad/Playground Maintenance	\$ 5,000.00
8	Walking Trail Maintenance	\$ 2,500.00
9	Tree Maintenance and Removal	\$ 8,500.00
10	Debt Service for Equipment	\$ 3,200.00
11	Small Equipment/ Tools	\$ 1,500.00
Total Grounds Maintenance		\$ 31,700.00

BUILDING MAINTENANCE

12	Mechanical Systems Contract	\$ 5,000.00
13	Building Supplies	\$ 5,000.00
14	Contracted Services	\$ 5,000.00
Total Building Maintenance		\$ 15,000.00

UTILITIES

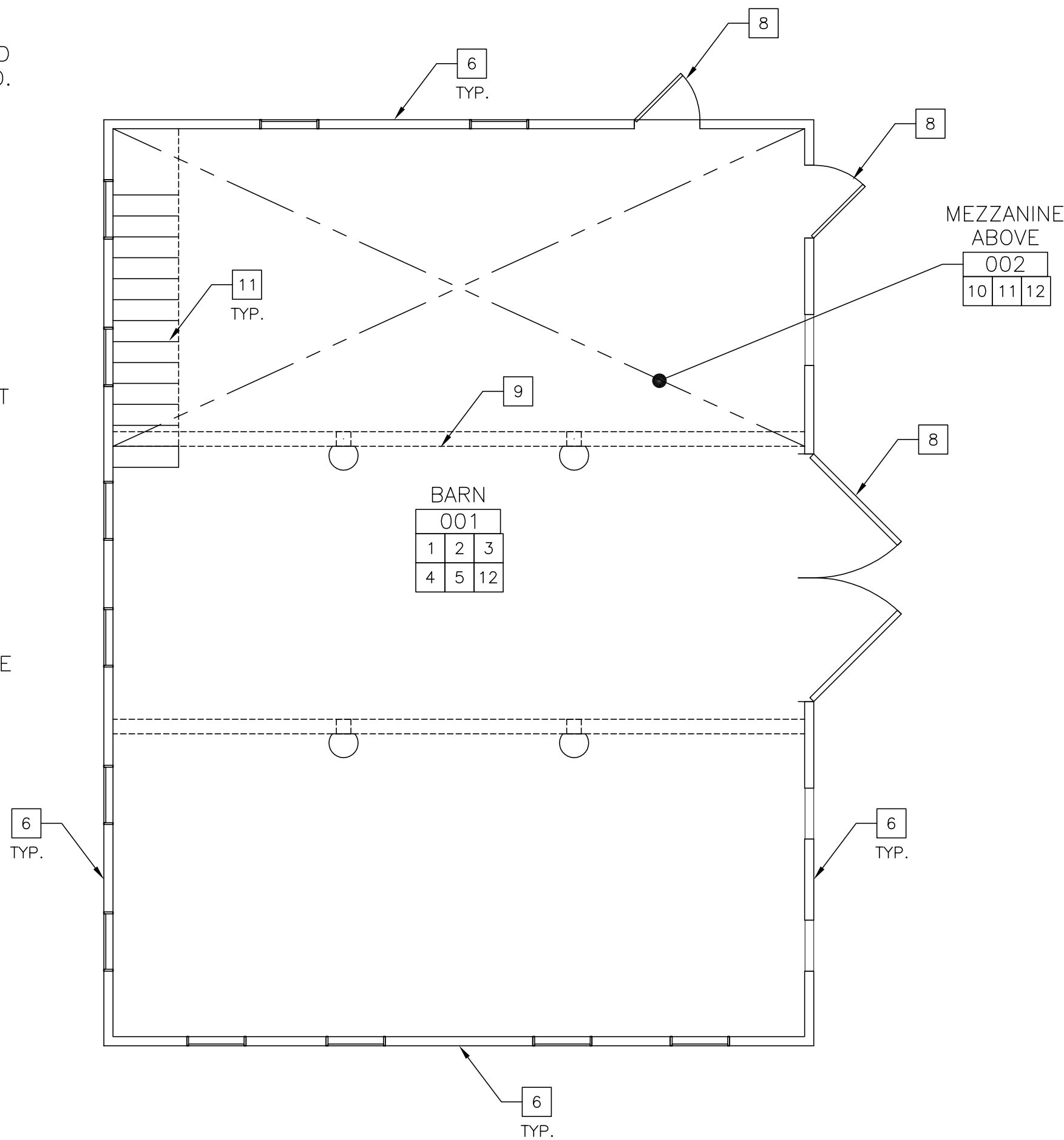
15	Water/Sewer	\$ 15,000.00
16	Electric	\$ 12,000.00
17	Heating Oil	\$ 6,500.00
Total Utilities		\$ 33,500.00

Total Annual Operational Budget Cost (2019) \$ 198,537.97

Total Annual Operational Budget Cost Projected at Completion of Four Phases at 3% per year (2022) \$ 223,456.23

GENERAL COMMENTS:

1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
2. PEST CONTROL/REMOVAL REQUIRED.
3. PROVIDE SIGNAGE AT INTERIOR AND EXTERIOR.
4. PROVIDE FURNISHINGS, APPLIANCES.
5. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
6. MAINTAIN EXISTING DOORS AND WINDOWS TO REMAIN. REGLAZE, PREP FOR PAINTING, MAKE MINOR ADJUSTMENTS AS NEEDED.
7. REMEDIATE AND REPAINT DAMAGED INTERIOR WOOD MOLDING THROUGHOUT BUILDING.
8. PAINT ALL CEILINGS THROUGHOUT BUILDING.
9. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
10. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY AT FOUNDATION.
11. REPAIR EXISTING CONCRETE SLABS, FILL CRACKS.
12. MAINTAIN EXISTING ROOF, REPAIR SHINGLES AS REQUIRED.
13. PROVIDE LED LIGHT FIXTURES AND LIGHT SWITCHES.
14. PROVIDE DUPLEX RECEPTACLES FOR INTENDED ITEMS ON MAIN FLOOR, REGULAR DUPLEX RECEPTACLES AT MEZZANINE.
15. PROVIDE EMERGENCY LIGHT FIXTURES AT EACH LEVEL TO PROVIDE LIGHT ALONG PATHS OF EGRESS.
16. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
17. PROVIDE FIRE ALARM SYSTEM THROUGHOUT INCLUDING SMOKE DETECTORS, HORN/STROBE COMBINATION ANNUNCIATORS, STROBES IN TOILET ROOMS, AND MANUAL PULL STATIONS AT EGRESS DOORS.
18. PROVIDE NEW 60-AMP PANEL MINIMUM, 100-AMP PANEL RECOMMENDED. PROVIDE CONDUIT FROM BARN TO MAIN BUILDING FOR FUTURE INSTALLATION OF VOICE/DATA CABLES BY OTHERS.
19. PROVIDE 3-SEASON HEATING FOR THIS BUILDING. EXISTING NATURAL VENTILATION SHALL REMAIN. PROVIDE LARGE DE-STRATIFICATION FANS.
20. PROVIDE AIR CONDITIONING (AS AN OPTION). SPLIT DIRECT SYSTEM; DX COOLING PACKAGE WITH DUCTWORK; VRF OR MINI-SPLIT SYSTEM.

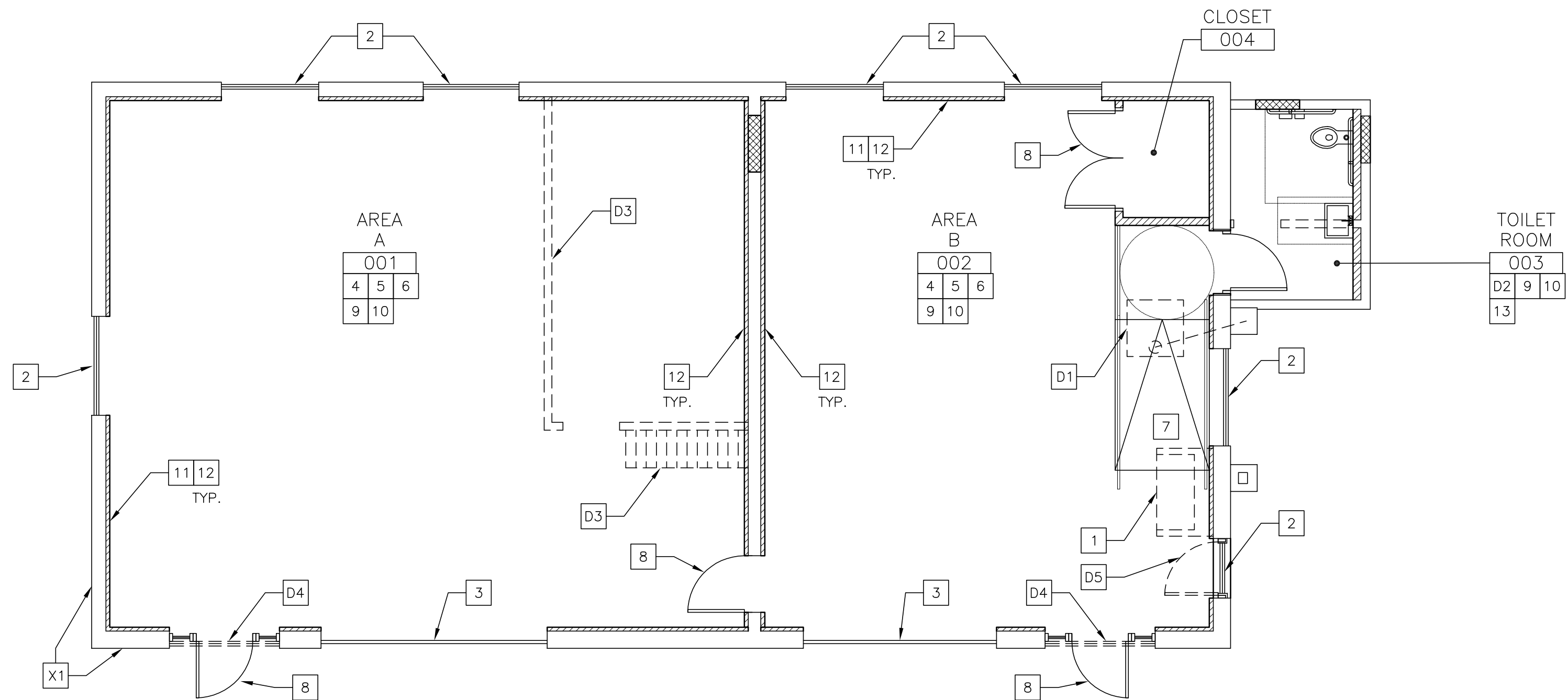


RECOMMENDATIONS:

NEW WORK

1. CLEAN EXISTING FLOOR SLAB.
2. CABLES/TENSION DEVICES WILL BE ENGINEERED TO MAIN STRUCTURAL INTEGRITY OF EXISTING NORTH AND SOUTH WALLS, AND WOOD COLUMNS SUPPORTING ROOF TRUSSES.
3. PROVIDE COLLAR TIES AT EXISTING ROOF TRUSSES.
4. TIMBER DEFECTS WILL BE ENGINEERED AND GRADED PROPERLY FOR STRUCTURAL INTEGRITY.
5. REPLACE DAMAGED MILLWORK, PREP AND REPAINT.
6. STRIP AND REFINISH WOOD SHAKES AT EXTERIOR WALLS.
7. MAIN EXISTING ROOF, INSTALL HALF-ROUND GUTTERS AT EAST AND WEST ELEVATIONS.
8. REPAINT EXISTING DOORS, FRAMES, AND WINDOWS. REGLAZE WINDOWS AS REQUIRED.
9. MODIFY EXISTING GUARDRAILS.
10. ENCLOSE MEZZANINE FLOOR JOISTS WITH GYPSUM BOARD CEILING.
11. PROVIDE NEW RESILIENT FLOORING OVER MEZZANINE SUBFLOOR. PROVIDE NON-SLIP RESILIENT TREADS AND NEW HANDRAILS ON MEZZANINE STAIR.
12. SEAL EXISTING EXPOSED WOOD STRUCTURE.





GENERAL COMMENTS:

1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
2. PEST CONTROL/REMOVAL REQUIRED.
3. PROVIDE SIGNAGE AT INTERIOR AND EXTERIOR.
4. PROVIDE FURNISHINGS, APPLIANCES.
5. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
6. PROVIDE DUPLEX OUTLETS FOR INTENDED ITEMS.
7. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
8. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
9. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY, PATCH EXTERIOR STUCCO AND REPAINT.
10. REPAIR EXISTING CONCRETE SLABS.
11. REMOVE EXISTING DOMESTIC WATER SERVICE.
12. PROVIDE 4-SEASON HEATING THROUGHOUT THE BUILDING.
13. PROVIDE AIR CONDITIONING (AS AN OPTION). SPLIT DIRECT SYSTEM; DX COOLING PACKAGE WITH DUCTWORK; VRF OR MINI-SPLIT SYSTEM.

RECOMMENDATIONS:

DEMOLITION

- D1** REMOVE EXISTING OIL FIRED WARM AIR FURNACE
- D2** REMOVE EXISTING TOILET ROOM PLUMBING FIXTURES AND PIPING.
- D3** REMOVE EXISTING WOOD FRAMED PARTITIONS AND WOOD STAIRS
- D4** REMOVE EXISTING GLAZING AND PORTION OF WALL FOR NEW DOOR AND FRAME
- D5** REMOVE EXISTING DOOR AND FRAME

RECOMMENDATIONS:

NEW WORK

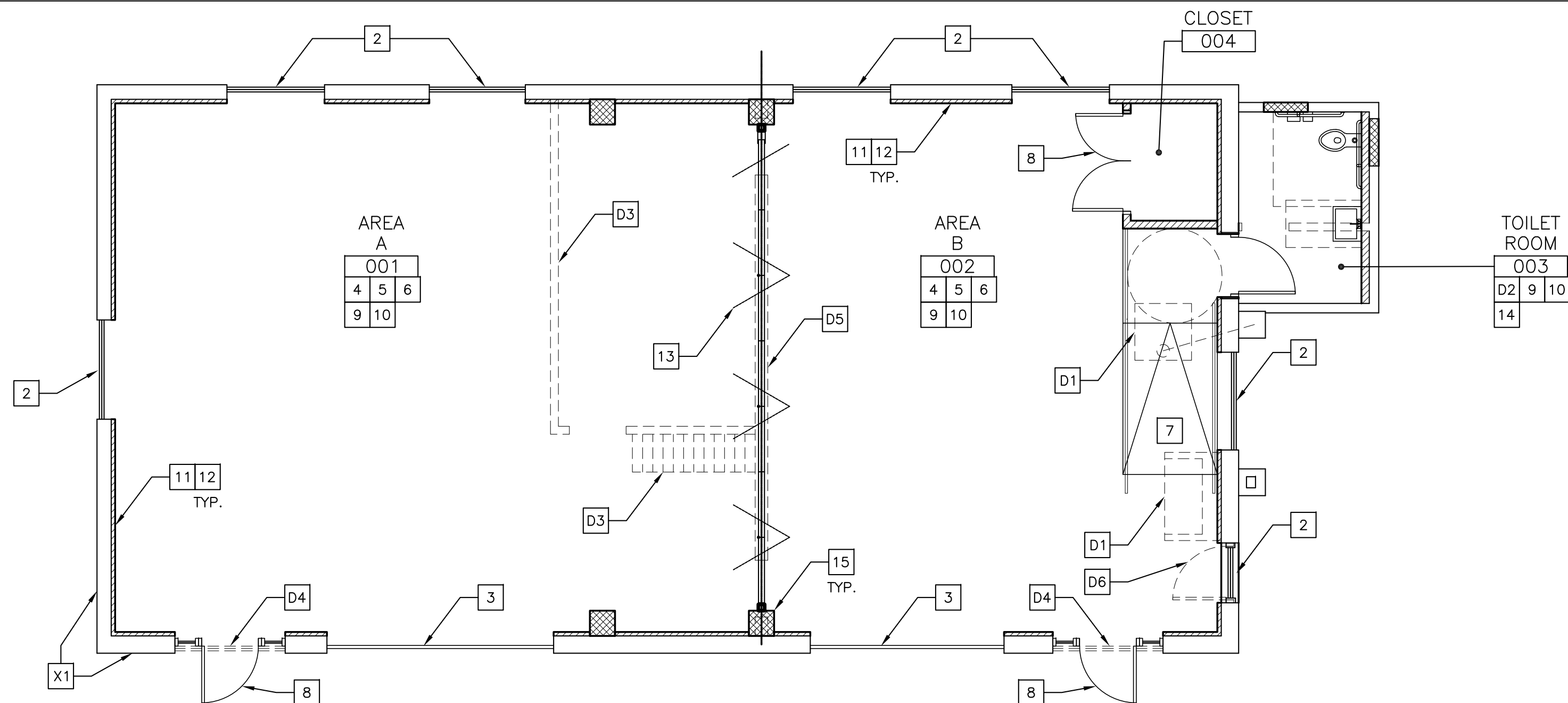
- 1** PARTIALLY CLOSE EXISTING DOOR OPENING – COORDINATE HEIGHT WITH NEW WINDOW
- 2** PROVIDE NEW WINDOW WITH INSULATED GLAZING IN EXISTING OPENING
- 3** REPLACE EXISTING GARAGE DOORS WITH NEW INSULATED DOORS
- 4** PROVIDE NEW SEALED CONCRETE SLAB OVER EXISTING
- 5** PROVIDE THERMAL BATT INSULATION BETWEEN EXISTING CEILING JOISTS
- 6** PROVIDE NEW GYPSUM BOARD SHEATHING BELOW CEILING JOISTS
- 7** PROVIDE NEW RAMP, LANDING AND HANDRAILS
- 8** PROVIDE NEW DECORATIVE DOORS AND SIDELIGHTS AS INDICATED
- 9** PROVIDE NEW LIGHTING FIXTURES
- 10** PROVIDE FIRE ALARMS SYSTEM; SMOKE DETECTORS, HORN STROBES, PULL STATIONS, CARBON MONOXIDE DETECTION AS REQUIRED BY CODE
- 11** PROVIDE 2" RIGID INSULATION BETWEEN METAL FURRING
- 12** FURR-OUT INTERIOR OF EXISTING EXTERIOR WALLS WITH GYPSUM BOARD OVER METAL FURRING & PAINT FINISH
- 13** RENOVATE TOILET ROOM; NEW FIXTURES, ACCESSORIES, FINISHES

RECOMMENDATIONS:

EXTERIOR

- X1** UNDERPIN FOUNDATION AT EXTERIOR WALL
- X2** REPLACE UNDERGROUND GUTTER WITH SURFACE DRAIN
- X3** MAINTAIN EXISTING ROOFING (PROVIDE NEW HISTORIC ASPHALT SHINGLED ROOF SYSTEM AS AN ALTERNATE)
- X4** PROVIDE NEW ELECTRICAL SERVICE
- X5** REPLACE EXISTING UTILITY METER WITH NEW METER
- X6** PROVIDE UNDERGROUND CONDUIT FROM STONE GARAGE FOR FUTURE VOICE/DATA





GENERAL COMMENTS:

1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
2. PEST CONTROL/REMOVAL REQUIRED.
3. PROVIDE SIGNAGE AT INTERIOR AND EXTERIOR.
4. PROVIDE FURNISHINGS, APPLIANCES.
5. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
6. PROVIDE DUPLEX RECEPTACLES FOR INTENDED ITEMS.
7. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
8. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
9. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY, PATCH EXTERIOR STUCCO AND REPAINT.
10. REPAIR EXISTING CONCRETE SLABS.
11. REMOVE EXISTING DOMESTIC WATER SERVICE.
12. PROVIDE 4-SEASON HEATING THROUGHOUT THE BUILDING.
13. PROVIDE AIR CONDITIONING (AS AN OPTION). SPLIT DIRECT SYSTEM; DX COOLING PACKAGE WITH DUCTWORK; VRF OR MINI-SPLIT SYSTEM.

RECOMMENDATIONS:

NEW WORK

1. PARTIALLY CLOSE EXISTING DOOR OPENING – COORDINATE HEIGHT WITH NEW WINDOW
2. PROVIDE NEW WINDOW WITH INSULATED GLAZING IN EXISTING OPENING
3. REPLACE EXISTING GARAGE DOORS WITH NEW INSULATED DOORS
4. PROVIDE NEW SEALED CONCRETE SLAB OVER EXISTING
5. PROVIDE THERMAL BATT INSULATION BETWEEN EXISTING CEILING JOISTS
6. PROVIDE NEW GYPSUM BOARD SHEATHING BELOW CEILING JOISTS
7. PROVIDE NEW RAMP, LANDING AND HANDRAILS
8. PROVIDE NEW DOORS AND HM FRAMES AS INDICATED
9. PROVIDE NEW LIGHTING FIXTURES
10. PROVIDE FIRE ALARMS SYSTEM; SMOKE DETECTORS, HORN STROBES, PULL STATIONS, CARBON MONOXIDE DETECTION AS REQUIRED BY CODE
11. PROVIDE 2" RIGID INSULATION BETWEEN METAL FURRING
12. FURR-OUT INTERIOR OF EXISTING EXTERIOR WALLS WITH GYPSUM BOARD, PAINT FINISH
13. NEW MOVEABLE PANEL PARTITION
14. RENOVATE TOILET ROOM; NEW FIXTURES, ACCESSORIES, FINISHES
15. PROVIDE NEW FULL HEIGHT MASONRY PIERS

RECOMMENDATIONS:

DEMOLITION

- D1 REMOVE EXISTING OIL FIRED WARM AIR FURNACE
- D2 REMOVE EXISTING TOILET ROOM PLUMBING FIXTURES AND PIPING.
- D3 REMOVE EXISTING WOOD FRAMED PARTITIONS AND WOOD STAIRS
- D4 REMOVE EXISTING GLAZING AND PORTION OF WALL FOR NEW DOOR AND FRAME
- D5 REMOVE EXISTING MASONRY PARTITION
- D6 REMOVE EXISTING DOOR AND FRAME

RECOMMENDATIONS:

EXTERIOR

- X1 UNDERPIN FOUNDATION AT EXTERIOR WALL
- X2 REPLACE UNDERGROUND GUTTER WITH SURFACE DRAIN
- X3 MAINTAIN EXISTING ROOFING, NEW HISTORIC ASPHALT SHINGLED ROOF SYSTEM
- X4 PROVIDE NEW ELECTRICAL SERVICE
- X5 REPLACE EXISTING UTILITY METER WITH NEW METER
- X6 PROVIDE UNDERGROUND CONDUIT FROM STONE GARAGE TO BUILDING FOR FUTURE VOICE/DATA

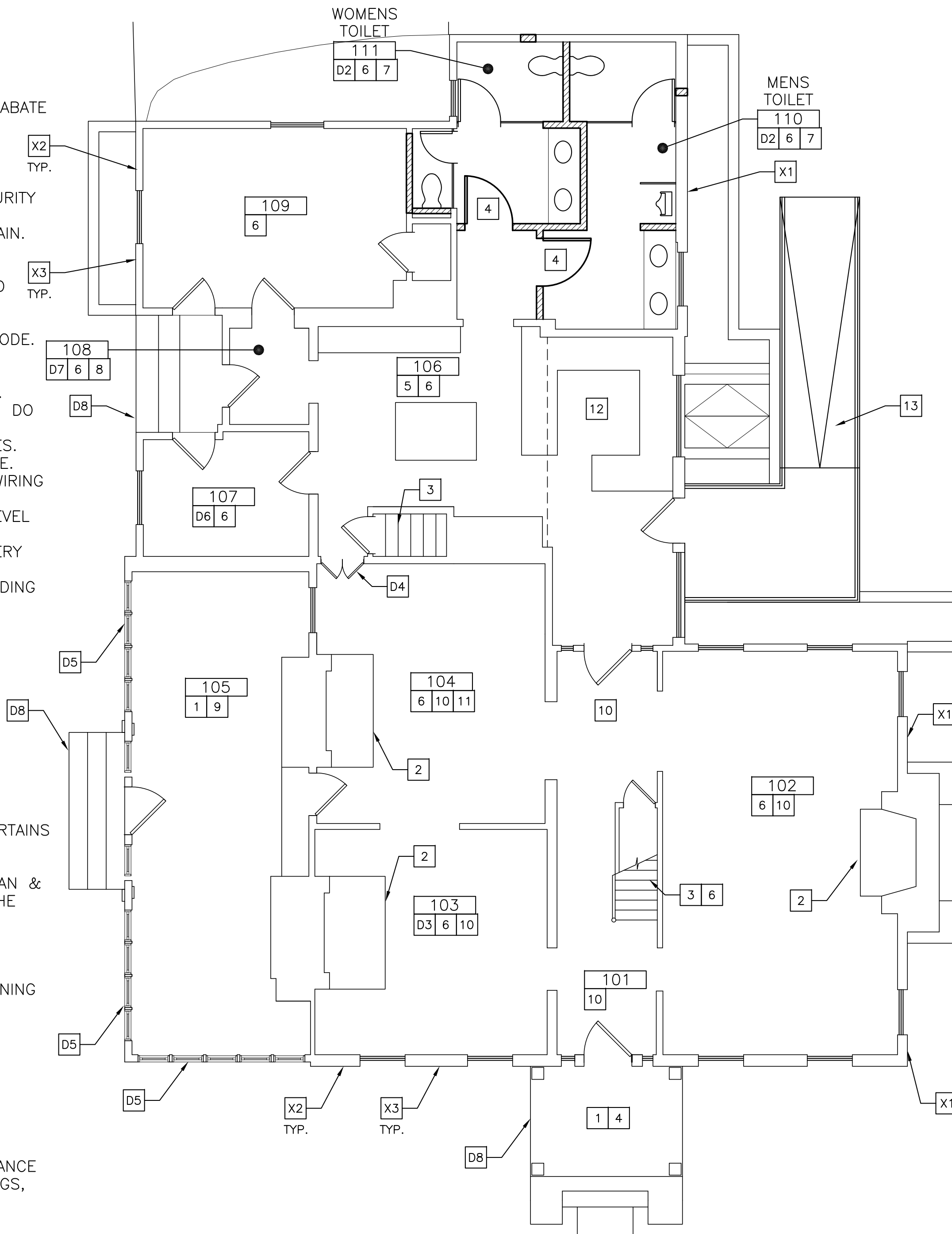
GENERAL COMMENTS:

- 1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
- 2. PEST CONTROL/REMOVAL REQUIRED.
- 3. PROVIDE SIGNAGE AT INTERIOR AND EXTERIOR.
- 4. PROVIDE FURNISHINGS, APPLIANCES.
- 5. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
- 6. MAINTAIN EXISTING DOORS AND WINDOWS TO REMAIN. REGLAZE, PREP FOR PAINTING, MAKE MINOR ADJUSTMENTS AS NEEDED.
- 7. REMEDIATE AND REPAINT DAMAGED INTERIOR WOOD MOLDING THROUGHOUT BUILDING.
- 8. PAINT ALL CEILINGS THROUGHOUT BUILDING.
- 9. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
- 10. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY.
- 11. REPLACE EXISTING LIGHT BULBS WITH LED BULBS.
- 12. EXISTING LIGHT SWITCH LOCATIONS SHALL REMAIN, DO NOT RELOCATE.
- 13. REMOVE EXISTING SURFACE MOUNTED RECEPTACLES. REMOVE KNOB AND TUBE WIRING WHERE POSSIBLE. REMOVE UNUSED OR ABANDONED LOW VOLTAGE WIRING THROUGHOUT BUILDING.
- 14. PROVIDE EMERGENCY LIGHT FIXTURES AT EACH LEVEL TO PROVIDE LIGHT ALONG PATHS OF EGRESS.
- 15. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
- 16. PROVIDE FIRE ALARM SYSTEM THROUGHOUT INCLUDING SMOKE DETECTORS, HORN-STROBE COMBINATION ANNUNCIATORS, STROBES IN TOILET ROOMS, AND MANUAL PULL STATIONS AT EGRESS DOORS.

RECOMMENDATIONS:

DEMOLITION

- D1 REMOVE EXISTING CARPETING, VINYL FLOORING, CURTAINS THROUGHOUT THE BUILDING.
- D2 REMOVE EXISTING PLUMBING FIXTURES, EXHAUST FAN & DUCTWORK, CABINETRY, WALLS AND FINISHES AT THE FIRST FLOOR BATHROOM.
- D3 REMOVE EXISTING WOOD PANELING AT ROOM 103
- D4 REMOVE BUTLER DOORS BETWEEN KITCHEN AND DINING ROOM
- D5 REMOVE AWNINGS AT ENCLOSED PORCH
- D6 REMOVE SANITARY PIPE, WATER LINES AND DRYER EXHAUST AT ROOM 107.
- D7 REMOVE VESTIBULE 108 SINK AND PIPING.
- D8 REMOVE EXISTING CONCRETE STEPS AT MAIN ENTRANCE AND WEST EXTERIOR STAIRS. PROVIDE NEW LANDINGS, STAIRS AND HANDRAILS.



RECOMMENDATIONS:

BUILDING EXTERIOR

- X1 CAREFULLY REMOVE EXISTING SIDING FROM EAST GABLE END AND EAST ELEVATION OF REAR ELL. INSPECT FRAMING AND REINSTALL SIDING. REPLACE DAMAGED OR MISSING PIECES TO MATCH EXISTING. PROVIDE NEW TRIM AND FLASHING AT GAP BETWEEN CHIMNEY AND SIDING.
- X2 REMOVE EXISTING EXTERIOR WINDOW SHUTTERS. REPLACE IF BUDGET ALLOWS.
- X3 EXISTING EXTERIOR OF BUILDING REQUIRES PROFESSIONAL REMEDIATION OF EXISTING LEAD-BASED PAINT. REPAINT ALL BUILDING EXTERIOR INCLUDING TRIM WORK AND GUTTERS/LEADERS AT FRONT PORCH.

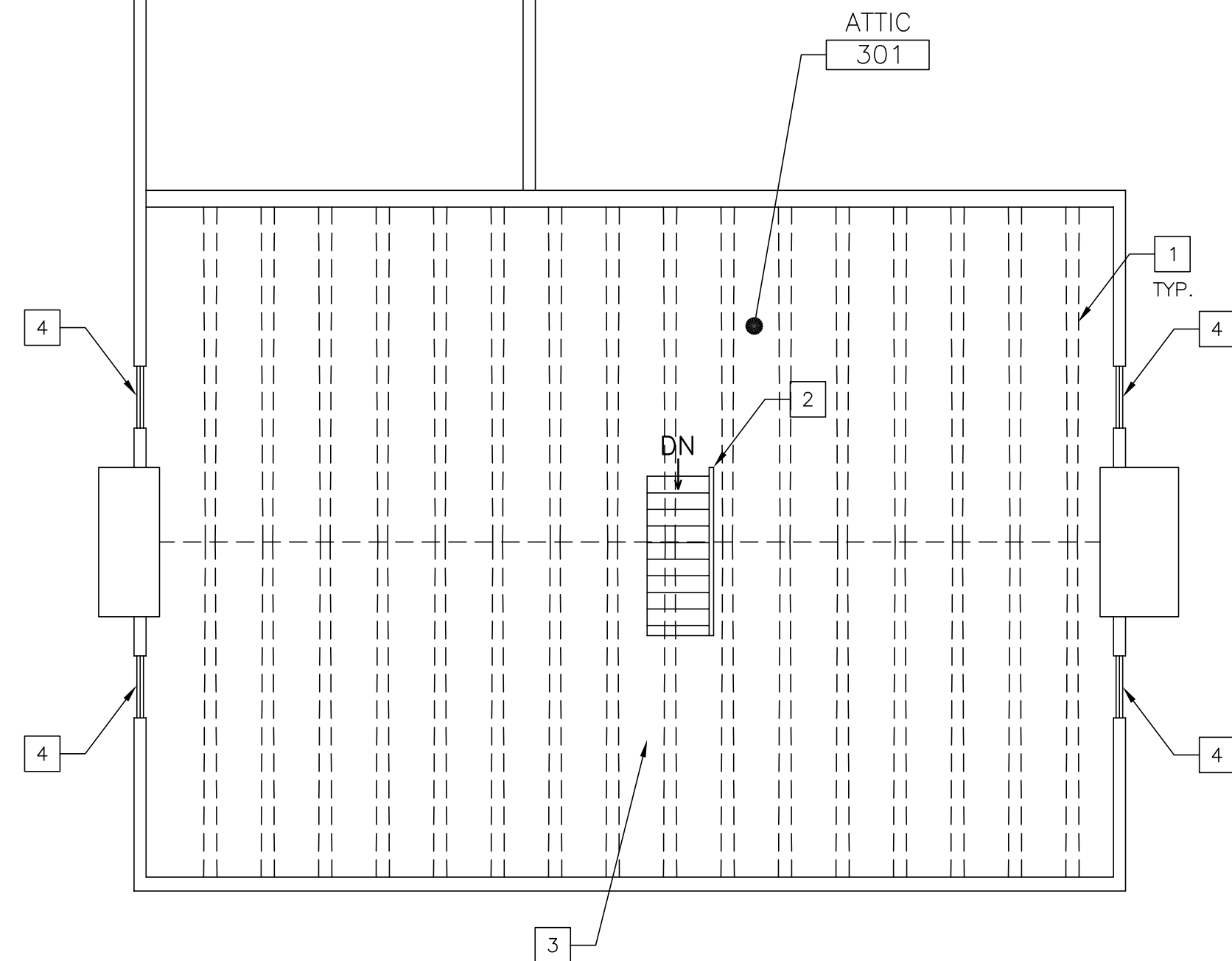
NEW WORK

- 1 PROVIDE NEW REINFORCED CONCRETE SLAB AT FRONT PORCH.
- 2 MAKE ALL OPERABLE FIREPLACES INOPERABLE/DECORATIVE.
- 3 INSPECT AND RESTORE STAIR TREADS AND RISERS, HANDRAILS AND GUARDS.
- 4 PROVIDE NEW BARRIER FREE ACCESSIBLE HARDWARE AT SELECTED LOCATIONS FOR ACCESSIBLE ENTRANCE AND PRIMARY USE SPACES.
- 5 WASH EXISTING UPPER AND LOWER KITCHEN CABINETRY. SAND AND REFINISH BASE CABINETS AT COOKTOP/SINK AREAS. REMOVE COOKTOP. PROVIDE NEW SOLID SURFACE COUNTERTOP.
- 6 REFINISH EXISTING HARDWOOD FLOORS TO REMAIN. PROVIDE NEW VINYL PLANK FLOORING AT KITCHEN. PROVIDE NEW TILE FLOORING AT NEW TOILET ROOMS. PROVIDE NON-SLIP CARPET TREADS OVER WOOD STAIRS.
- 7 PROVIDE NEW TOILET ROOMS AS SHOWN, INCLUDE NEW PLUMBING FIXTURES, EXHAUST FANS, TOILET COMPARTMENTS AND ACCESSORIES, AND FLOOR DRAINS.
- 8 REPAIR OR REPLACE EXISTING FINNED TUBE AND COVER UNDER SINK AT VESTIBULE.
- 9 REPLACE EXISTING THERMOSTATS WITH NEW. PROVIDE ADDITIONAL THERMOSTAT AT ENCLOSED PORCH.
- 10 ADJUST CHANDELIER FIXTURES TO BE ABOVE 7'-0" AFF.
- 11 REMOVE EXISTING GRASS-CLOTH WALL-COVERING.
- 12 REMOVE AND REPLACE DAMAGED/STAINED COUNTER.
- 13 NEW EXTERIOR ACCESSIBLE RAMP.



GENERAL COMMENTS:

- 1. PROVIDE TESTING FOR ASBESTOS & LEAD PAINT. ABATE AREAS AS REQUIRED.
- 2. PEST CONTROL/REMOVAL REQUIRED.
- 3. REPAIR CHIMNEYS, FILL CRACKS, REPOINT MASONRY.
- 4. MAINTAIN EXISTING LOWER ROOF, REPAIR AS REQUIRED.
- 5. REPLACE EXISTING LIGHT BULBS WITH LED BULBS.
- 6. EXISTING LIGHT SWITCH LOCATIONS SHALL REMAIN, DO NOT RELOCATE.
- 7. REMOVE EXISTING SURFACE MOUNTED RECEPTACLES. REMOVE KNOB AND TUBE WIRING WHERE POSSIBLE. REMOVE UNUSED OR ABANDONED LOW VOLTAGE WIRING THROUGHOUT BUILDING.
- 8. PROVIDE EMERGENCY LIGHT FIXTURES AT EACH LEVEL TO PROVIDE LIGHT ALONG PATHS OF EGRESS.
- 9. PROVIDE FIRE ALARM SYSTEM THROUGHOUT INCLUDING SMOKE DETECTORS, HORN/STROBE COMBINATION ANNUNCIATORS, STROBES IN TOILET ROOMS, AND MANUAL PULL STATIONS AT EGRESS DOORS.



RECOMMENDATIONS:

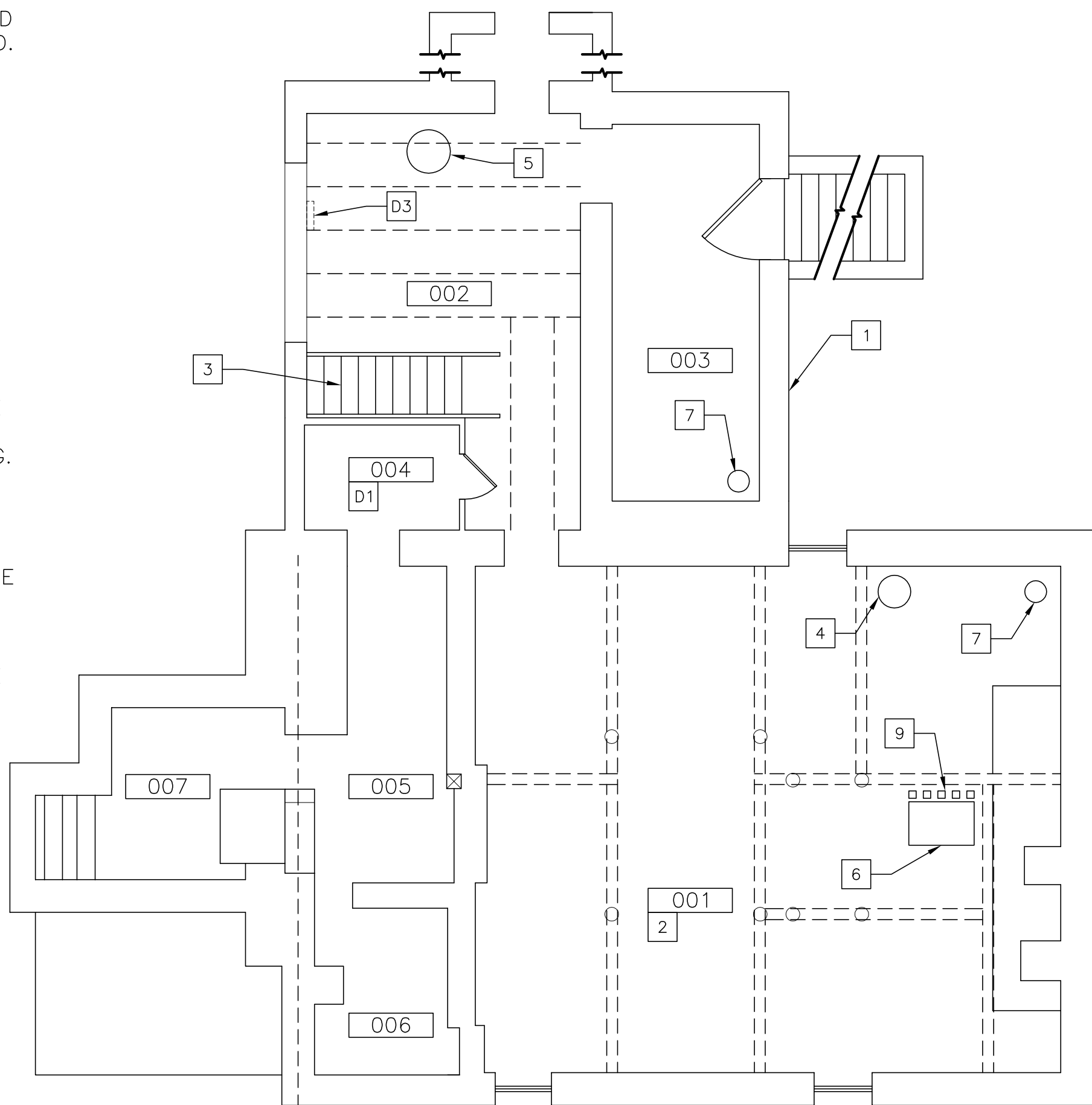
NEW WORK

- 1. PROVIDE COLLAR TIES AT EXISTING ATTIC RAFTERS.
- 2. INSPECT AND RESTORE STAIR TREADS AND RISERS, HANDRAILS AND GUARDS.
- 3. CAREFULLY REMOVE EXISTING WOOD PLANK ATTIC FLOOR, RE-INSULATE ENTIRE ATTIC FLOOR, AND REINSTALL ATTIC FLOOR.
- 4. REPLACE EAST ATTIC WINDOWS WITH WOOD WINDOWS TO MATCH EXISTING. RE-GLAZE AND PAINT WEST AND NORTH ATTIC WINDOWS.



GENERAL COMMENTS:

- 1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
- 2. PEST CONTROL/REMOVAL REQUIRED.
- 3. PROVIDE FURNISHINGS, APPLIANCES.
- 4. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
- 5. MAINTAIN EXISTING DOORS AND WINDOWS TO REMAIN. REGLAZE, PREP FOR PAINTING, MAKE MINOR ADJUSTMENTS AS NEEDED.
- 6. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
- 7. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY.
- 8. REPAIR EXISTING CONCRETE SLABS, FILL CRACKS, PROVIDE NEW LEVELING COMPOUND AS REQUIRED.
- 9. REPLACE EXISTING LIGHT BULBS WITH LED BULBS.
- 10. EXISTING LIGHT SWITCH LOCATIONS SHALL REMAIN, DO NOT RELOCATE.
- 11. REMOVE EXISTING SURFACE MOUNTED RECEPTACLES. REMOVE KNOB AND TUBE WIRING WHERE POSSIBLE. REMOVE UNUSED OR ABANDONED LOW VOLTAGE WIRING THROUGHOUT BUILDING.
- 12. PROVIDE EMERGENCY LIGHT FIXTURES AT EACH LEVEL TO PROVIDE LIGHT ALONG PATHS OF EGRESS.
- 13. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
- 14. PROVIDE FIRE ALARM SYSTEM THROUGHOUT INCLUDING SMOKE DETECTORS, HORN/STROBE COMBINATION ANNUNCIATORS, STROBES IN TOILET ROOMS, AND MANUAL PULL STATIONS AT EGRESS DOORS.
- 15. REMOVE EXISTING SURFACE MOUNTED RECEPTACLES. REMOVE KNOB AND TUBE WIRING WHERE POSSIBLE. REMOVE UNUSED OR ABANDONED LOW VOLTAGE WIRING.



RECOMMENDATIONS:

DEMOLITION

- D1 REMOVE WASHER AND DRYER PIPING FROM BASEMENT.
- D2 RELOCATE PANEL AND DISCONNECT SWITCH IN BASEMENT FROM BEHIND SANITARY LINE AND HOT WATER HEATER.

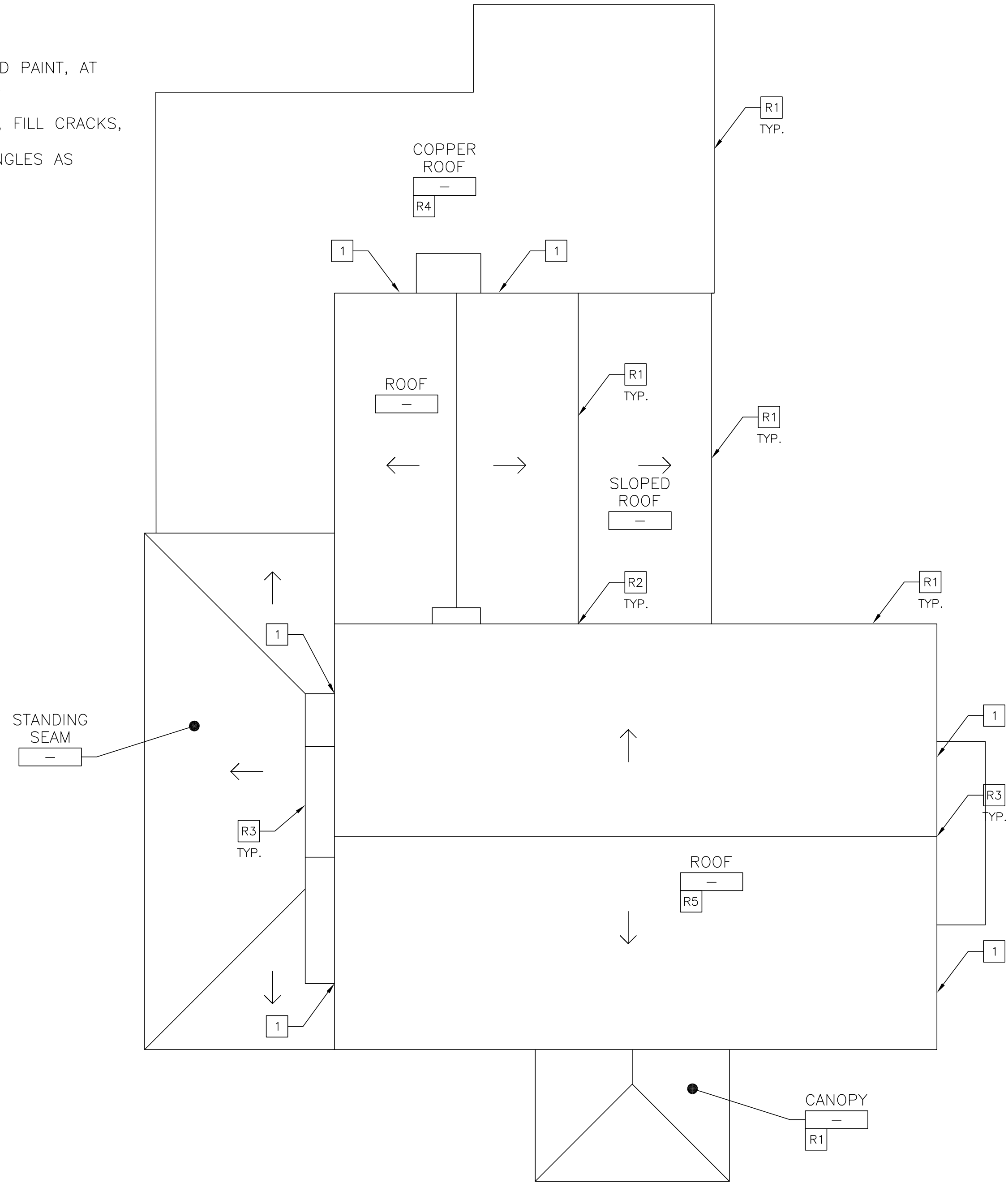
NEW WORK

- 1 REPOINT MAIN FOUNDATION IN ITS ENTIRETY.
- 2 REINFORCE EXISTING FIRST FLOOR JOISTS AND BEAMS BY ADDING ADDITIONAL LALLY COLUMNS AND NEW FOOTINGS, NEW HEADERS AND JOIST HANGERS, STRAPS, AND TIE PLATES.
- 3 INSPECT AND RESTORE STAIR TREADS AND RISERS, HANDRAILS AND GUARDS.
- 4 TEST AND INSPECT EXISTING DOMESTIC WATER BOOSTER PUMP. REPAIR OR REPLACE AS REQUIRED. CHANGE OIL FILTER.
- 5 TEST AND INSPECT EXISTING OIL FIRED DOMESTIC WATER HEATER. REPAIR OR REPLACE AS REQUIRED.
- 6 TEST AND INSPECT EXISTING BOILER. REPAIR OR REPLACE AS REQUIRED. PROVIDE NEW RPZ BACKFLOW PREVENTER. CHANGE OIL FILTER.
- 7 TEST AND INSPECT TWO EXISTING SUMP PUMPS IN BASEMENT. REPAIR OR REPLACE AS REQUIRED.
- 8 PROVIDE NEW AIR SEPARATOR AND AIR VENTS FOR HEATING HOT WATER SYSTEM.
- 9 TEST AND INSPECT (5) IN-LINE CIRCULATOR PUMPS. REPAIR OR REPLACE AS REQUIRED.



GENERAL COMMENTS:

- 1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, AT BUILDING. ABATE AREAS AS REQUIRED.
- 2. PEST CONTROL/REMOVAL REQUIRED.
- 3. REPAIR EXTERIOR WALLS & CHIMNEYS, FILL CRACKS, REPOINT MASONRY.
- 4. MAINTAIN EXISTING ROOF, REPAIR SHINGLES AS REQUIRED.



RECOMMENDATIONS:

NEW WORK

- 1 REPLACE EAST ATTIC WINDOWS WITH WOOD WINDOWS TO MATCH EXISTING. RE-GLAZE AND PAINT WEST AND NORTH ATTIC WINDOWS.

BUILDING EXTERIOR

- x1 CAREFULLY REMOVE EXISTING SIDING FROM EAST GABLE END AND EAST ELEVATION OF REAR ELL. INSPECT FRAMING AND REINSTALL SIDING. REPLACE DAMAGED OR MISSING PIECES TO MATCH EXISTING. PROVIDE NEW TRIM AND FLASHING AT GAP BETWEEN CHIMNEY AND SIDING.
- x2 REMOVE EXISTING EXTERIOR WINDOW SHUTTERS. REPLACE IF BUDGET ALLOWS.
- x3 EXISTING EXTERIOR OF BUILDING REQUIRES PROFESSIONAL REMEDIATION OF EXISTING LEAD-BASED PAINT. REPAINT ALL BUILDING EXTERIOR INCLUDING TRIM WORK AND GUTTERS/LEADERS AT FRONT PORCH.

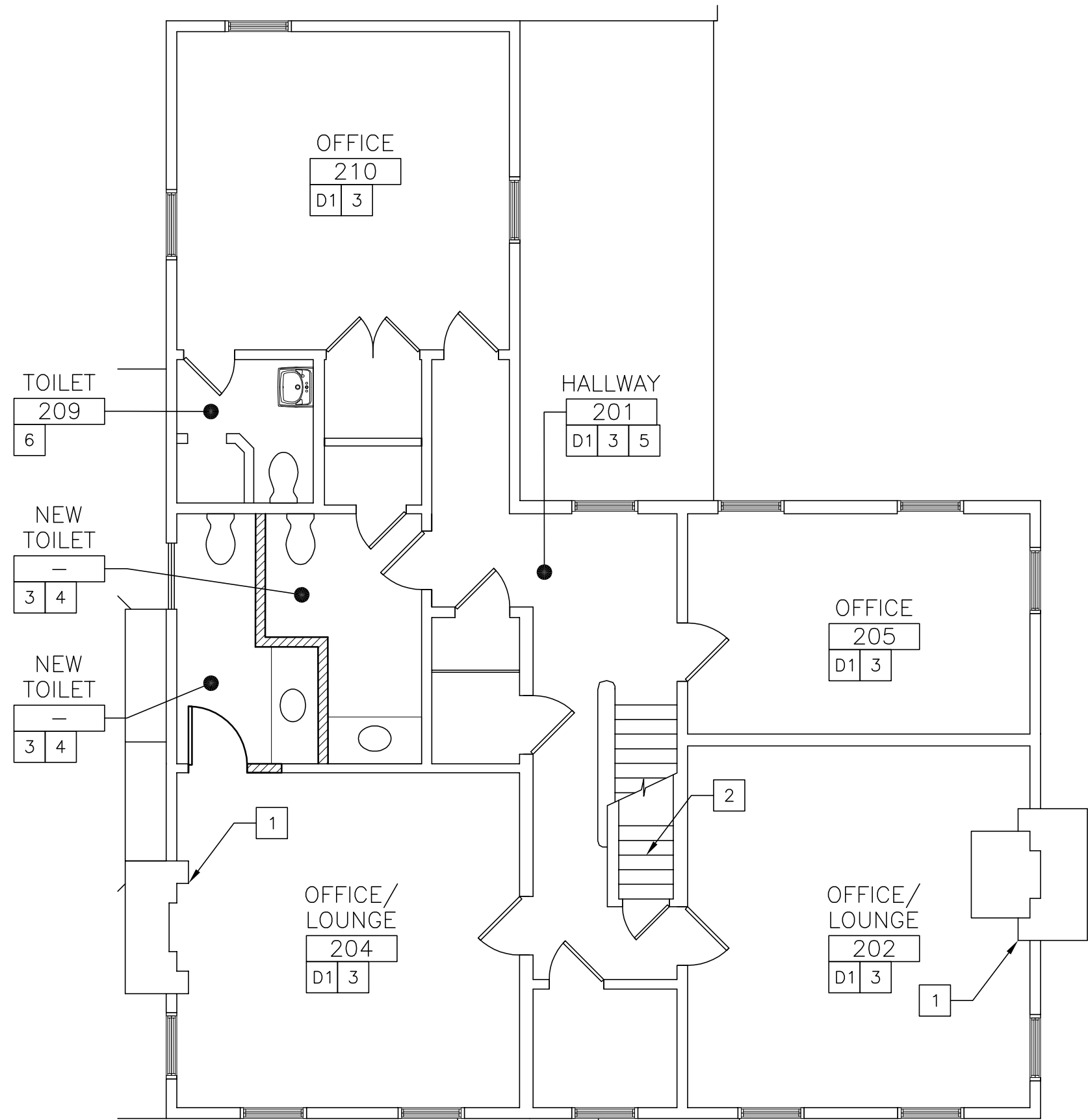
BUILDING ROOF

- R1 INSPECT BUILT-IN GUTTERS AT UPPER ROOFS, CLEAN OUT GUTTERS AND REPLACE OR REPAIR.
- R2 REPAIR DAMAGED WOODWORK AND FRAMING AT NORTHEAST JUNCTURE OF ROOFS.
- R3 REPLACE FLASHING AT ALL CHIMNEY/ROOF TRANSITIONS.
- R4 REPAIR OPEN JOINTS IN COPPER FLAT ROOF.
- R5 PROVIDE LIGHTNING PROTECTION SYSTEM.



GENERAL COMMENTS:

- 1. PROVIDE TESTING FOR ASBESTOS & LEAD PAINT. ABATE AREAS AS REQUIRED.
- 2. PEST CONTROL/REMOVAL REQUIRED.
- 3. PROVIDE SIGNAGE AT INTERIOR AND EXTERIOR.
- 4. PROVIDE FURNISHINGS, APPLIANCES.
- 5. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
- 6. MAINTAIN EXISTING DOORS AND WINDOWS TO REMAIN. REGLAZE, PREP FOR PAINTING, MAKE MINOR ADJUSTMENTS AS NEEDED.
- 7. REMEDIATE AND REPAINT DAMAGED INTERIOR WOOD MOLDING THROUGHOUT BUILDING.
- 8. PAINT ALL CEILINGS THROUGHOUT BUILDING.
- 9. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
- 10. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY.
- 11. REPLACE EXISTING LIGHT BULBS WITH LED BULBS.
- 12. EXISTING LIGHT SWITCH LOCATIONS SHALL REMAIN, DO NOT RELOCATE.
- 13. REMOVE EXISTING SURFACE MOUNTED RECEPTACLES. REMOVE KNOB AND TUBE WIRING WHERE POSSIBLE. REMOVE UNUSED OR ABANDONED LOW VOLTAGE WIRING THROUGHOUT BUILDING.
- 14. PROVIDE EMERGENCY LIGHT FIXTURES AT EACH LEVEL TO PROVIDE LIGHT ALONG PATHS OF EGRESS.
- 15. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
- 16. PROVIDE FIRE ALARM SYSTEM THROUGHOUT INCLUDING SMOKE DETECTORS, HORN/STROBE COMBINATION ANNUNCIATORS, STROBES IN TOILET ROOMS, AND MANUAL PULL STATIONS AT EGRESS DOORS.



RECOMMENDATIONS:

DEMOLITION

- D1 REMOVE EXISTING CARPETING, VINYL FLOORING, CURTAINS THROUGHOUT THE BUILDING.
- D2 REMOVE EXISTING PLUMBING FIXTURES, EXHAUST FAN & DUCTWORK, CABINETRY, WALLS AND FINISHES AT THE SECOND FLOOR BATHROOM ACCESSED FROM THE HALLWAY.
- D3 REMOVE EXISTING SURFACE MOUNTED RECEPTACLES. REMOVE KNOB AND TUBE WIRING WHERE POSSIBLE. REMOVE UNUSED OR ABANDONED LOW VOLTAGE WIRING.

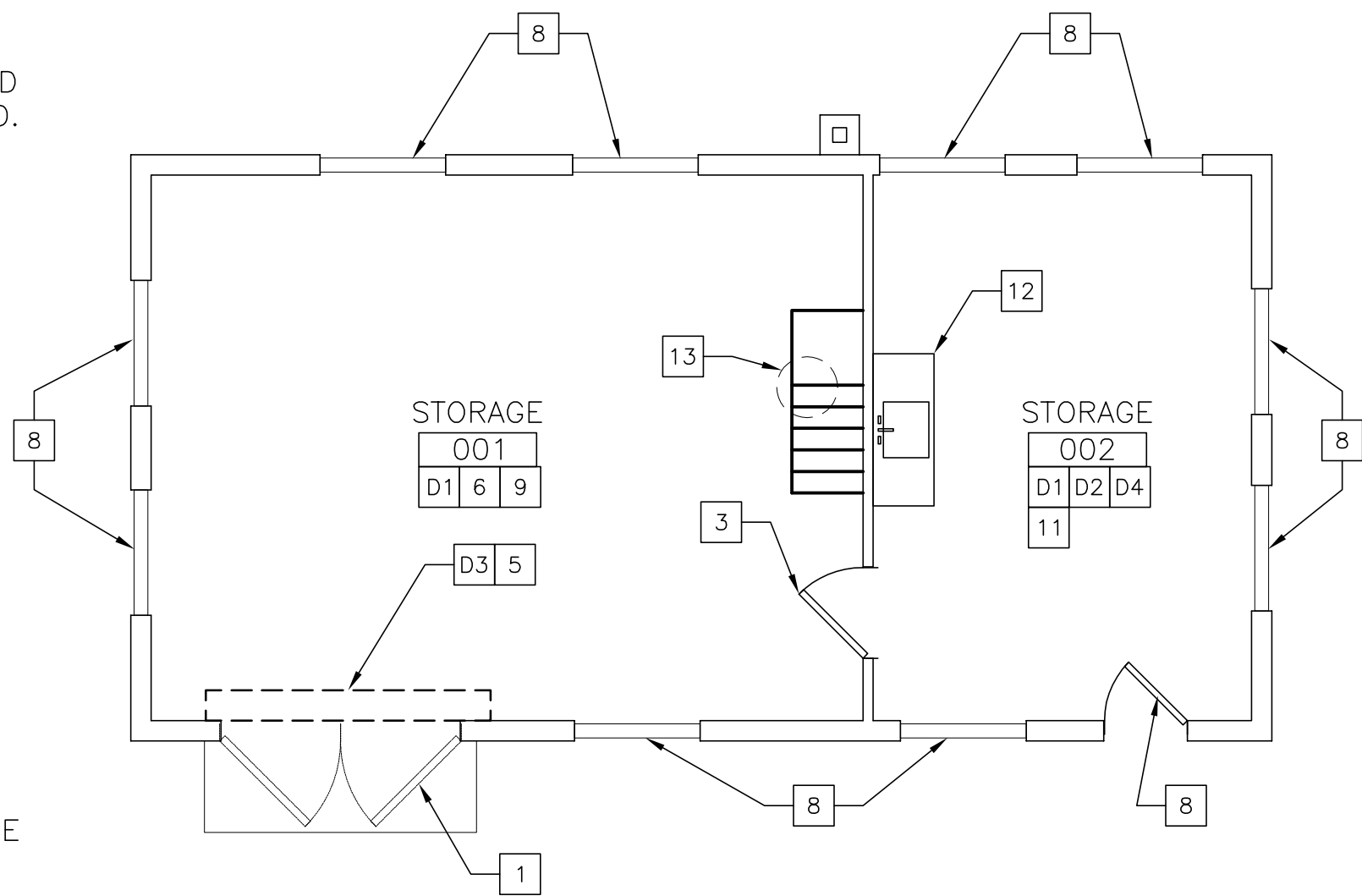
NEW WORK

- 1 MAKE ALL OPERABLE FIREPLACES INOPERABLE/DECORATIVE.
- 2 INSPECT AND RESTORE STAIR TREADS AND RISERS, HANDRAILS AND GUARDS AT STAIR TO ATTIC.
- 3 REFINISH EXISTING HARDWOOD FLOORS TO REMAIN. PROVIDE NEW TILE FLOORING AT NEW TOILET ROOMS.
- 4 RECONFIGURE EXISTING BATHROOM INTO TWO NEW TOILET ROOMS AS SHOWN, INCLUDE NEW PLUMBING FIXTURES, EXHAUST FANS, ACCESSORIES, AND FLOOR DRAINS.
- 5 ADJUST CHANDELIER FIXTURES TO BE ABOVE 7'-0" AFF.
- 6 REPAIR/REGROUT EXISTING TILE FLOOR/WALLS.



GENERAL COMMENTS:

- 1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
- 2. PEST CONTROL/REMOVAL REQUIRED.
- 3. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
- 4. MAINTAIN EXISTING DOORS AND WINDOWS TO REMAIN. REGLAZE, PREP FOR PAINTING, MAKE MINOR ADJUSTMENTS AS NEEDED.
- 5. REMEDIATE AND REPAINT DAMAGED WOOD MOLDING THROUGHOUT BUILDING.
- 6. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
- 7. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY.
- 8. REPAIR EXISTING CONCRETE SLABS, FILL CRACKS, PROVIDE NEW LEVELING COMPOUND AS REQUIRED.
- 9. MAINTAIN EXISTING ROOF, REPAIR SHINGLES AND POWER WASH AS REQUIRED.
- 10. PROVIDE LED LIGHT FIXTURES AND LIGHT SWITCHES.
- 11. PROVIDE DUPLEX RECEPTACLES ON MAIN FLOOR.
- 12. PROVIDE EMERGENCY LIGHT FIXTURES TO PROVIDE LIGHT ALONG PATHS OF EGRESS.
- 13. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
- 14. PROVIDE FIRE ALARM SYSTEM THROUGHOUT INCLUDING SMOKE DETECTORS, HORN-STROBE COMBINATION ANNUNCIATORS, STROBES IN TOILET ROOMS, AND MANUAL PULL STATIONS.
- 15. PROVIDE NEW 60-AMP PANEL MINIMUM, 100-AMP PANEL RECOMMENDED.
- 16. SINK AND HOT WATER HEATER SHALL BE MODIFIED AS REQUIRED FOR WINTERIZATION.



RECOMMENDATIONS:

DEMOLITION

- D1 REMOVE LOOSE PLASTER/LATH AT INTERIOR & STUCCO AT EXTERIOR.
- D2 REMOVE KITCHEN COUNTERS, CABINETS AND APPLIANCES AND ASSOCIATED PIPING.
- D3 REMOVE EXISTING GARAGE DOOR.
- D4 REMOVE EXISTING FLOOR FINISH IN EXISTING KITCHEN AREA.

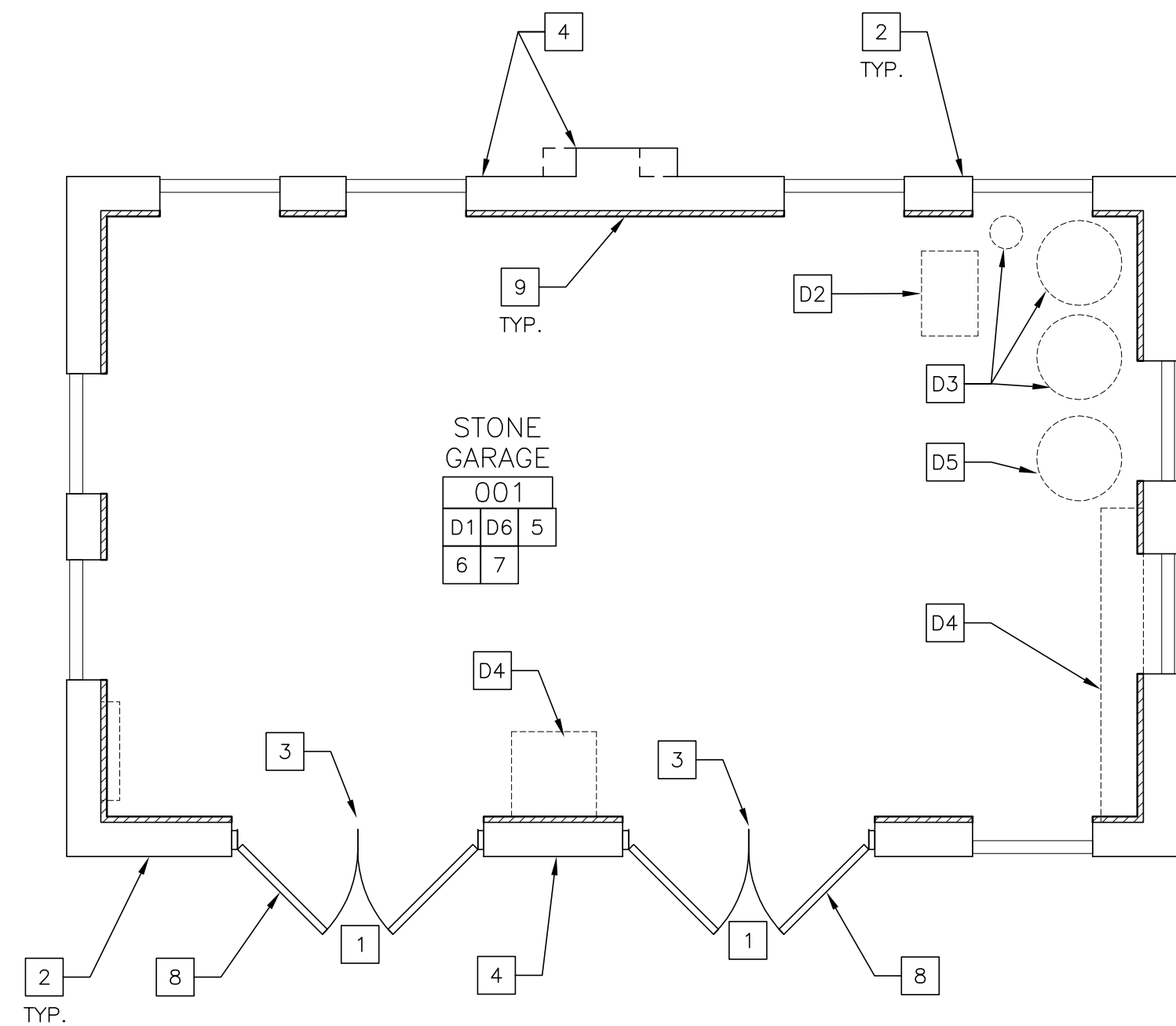
NEW WORK

- 1 INSTALL NEW CONCRETE APRON AT GARAGE DOOR.
- 2 INSTALL PERIMETER GRADE DRAINS AROUND BUILDING.
- 3 REPAIR CRACKS OVER DOORS.
- 4 REPLACE DAMAGED FASCIA AND CROWN MOLDING AT EXTERIOR FACES OF BUILDING. PROVIDE METAL DRIP EDGE ABOVE CROWN MOLDINGS TO MITIGATE INADEQUATE SLAT OVERHANG. REPAIR SOFFIT, REPLACE FLASHING AT CHIMNEY AT NORTH SIDE.
- 5 PROVIDE NEW WOOD SECTIONAL ROLL UP DOOR.
- 6 BRUSH/POWER WASH UNDERSIDE OF CEILING/FLOOR BOARDS AND BEAMS, DRY AND SEAL. REPAIR/REPLACE LOOSE BOARDS.
- 7 INSPECT FLAT ROOF AREA. PROVIDE NEW GUTTER.
- 8 RESTORE/PAINT EXISTING DOORS, FRAMES, AND WINDOWS. REGLAZE WINDOWS AS REQUIRED.
- 9 PATCH INTERIOR PLASTER FINISH AT ALL LOOSE AREAS REMOVED DURING DEMOLITION AND REPAINT WALLS.
- 10 PATCH EXTERIOR STUCCO FINISH AT ALL LOOSE AREAS REMOVED DURING DEMOLITION AND REPAINT ALL WALLS.
- 11 PAINT EXISTING GYPSUM BOARD CEILING.
- 12 PROVIDE NEW UTILITY SINK.
- 13 EXISTING HOT WATER HEATER TO REMAIN.



GENERAL COMMENTS:

- 1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
- 2. PEST CONTROL/REMOVAL REQUIRED.
- 3. PROVIDE SIGNAGE AT INTERIOR AND EXTERIOR.
- 4. PROVIDE FURNISHINGS, APPLIANCES.
- 5. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
- 6. REMEDIATE EXISTING STONE WORK AFTER PLASTER/LATH IS REMOVED.
- 7. MAINTAIN EXISTING DOORS AND WINDOWS TO REMAIN. REGLAZE, PREP FOR PAINTING, MAKE MINOR ADJUSTMENTS AS NEEDED.
- 8. REMEDIATE AND REPAINT DAMAGED WOOD MOLDING THROUGHOUT BUILDING.
- 9. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
- 10. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY.
- 11. REPAIR EXISTING CONCRETE SLABS, FILL CRACKS, PROVIDE NEW LEVELING COMPOUND AS REQUIRED.
- 12. MAINTAIN EXISTING ROOF, REPAIR SHINGLES AS REQUIRED.
- 13. PROVIDE LED LIGHT FIXTURES AND LIGHT SWITCHES.
- 14. PROVIDE DUPLEX RECEPTACLES FOR INTENDED ITEMS ON MAIN FLOOR, REGULAR DUPLEX RECEPTACLES AT MEZZANINE.
- 15. PROVIDE EMERGENCY LIGHT FIXTURES AT EACH LEVEL TO PROVIDE LIGHT ALONG PATHS OF EGRESS.
- 16. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
- 17. PROVIDE FIRE ALARM SYSTEM THROUGHOUT INCLUDING SMOKE DETECTORS, HORN/STROBE COMBINATION ANNUNCIATORS, STROBES IN TOILET ROOMS, AND MANUAL PULL STATIONS.
- 18. PROVIDE NEW 60-AMP PANEL MINIMUM, 100-AMP PANEL RECOMMENDED. PROVIDE CONDUIT TO MAIN BUILDING FOR FUTURE INSTALLATION OF VOICE/DATA CABLES BY OTHERS.
- 19. PROVIDE 3-SEASON HEATING FOR THIS BUILDING. EXISTING NATURAL VENTILATION SHALL REMAIN. PROVIDE LARGE DE-STRATIFICATION FANS.
- 20. PROVIDE AIR CONDITIONING (AS AN OPTION). SPLIT DIRECT SYSTEM; DX COOLING PACKAGE WITH DUCTWORK; VRF OR MINI-SPLIT SYSTEM.



RECOMMENDATIONS:

DEMOLITION

- D1 REMOVE PLASTER/LATH AT INTERIOR OF STONE GARAGE.
- D2 REMOVE EXISTING OIL-FIRED BOILER, FLUE, EXHAUST FAN AND ASSOCIATED PIPING.
- D3 REMOVE EXISTING PUMP AND TWO FARM PROCESS TANKS.
- D4 REMOVE EXISTING FLOOR MOUNTED FARM EQUIPMENT.
- D5 REMOVE HYDRORATE FILTER.
- D6 REMOVE INCOMING DOMESTIC WATER SERVICE AND CAP BACK AT MAIN.

NEW WORK

- 1 INSTALL NEW CONCRETE APRONS AT GARAGE DOORS.
- 2 INSTALL PERIMETER GRADE DRAINS AROUND BUILDING.
- 3 REPAIR CRACKS OVER GARAGE DOORS.
- 4 REPLACE FASCIA AND CROWN MOLDING AT NORTH AND SOUTH EXTERIOR FACES OF BUILDING. PROVIDE METAL DRIP EDGE ABOVE CROWN MOLDINGS TO MITIGATE INADEQUATE SLAT OVERHANG. REPAIR SOFFIT, REPLACE FLASHING AT CHIMNEY AT NORTH SIDE.
- 5 REMOVE PORTIONS OF INTERIOR WOOD TRIM FOR INSTALLATION OF NEW INTERIOR FURRING. REINSTALL/REPLACE ELEMENTS REMOVED DURING CONSTRUCTION. REMEDIATE AND REPAINT DAMAGED AREAS.
- 6 BRUSH/POWER WASH UNDERSIDE OF CEILING/FLOOR BOARDS AND BEAMS, DRY AND SEAL. REPAIR/REPLACE LOOSE BOARDS.
- 7 REMOVE HIP SLATES AT ROOF AND PROVIDE NEW FLASHING. INSPECT FLAT ROOF AREA. PROVIDE GUTTER AT SOUTH ELEVATION.
- 8 RESTORE/PAINT EXISTING DOORS, FRAMES, AND WINDOWS. REGLAZE WINDOWS AS REQUIRED.
- 9 PROVIDE NEW PAINTED GYPSUM BOARD OVER METAL STUD FURRING ON THE INTERIOR OF THE BUILDING.



DEVELOPMENT APPLICATION ATTACHMENTS CHECK LIST

*APPLICATION MATERIALS SHOULD BE SUBMITTED ON PAPER (ONE COPY) AND ELECTRONICALLY.
(INDIVIDUAL EMAIL CANNOT EXCEED 25 MB.)*

NOTE: This checklist should be returned with your completed application. If any items are not applicable, please indicate with 'N/A' next to that item.

1. X Application Form: Are all questions answered? Is form signed?
2. X Governing Body Resolution (the enclosed form must be used)
3. X Units and quantities cost estimate, prepared and signed by an authorized, licensed professional
4. X Project schedule. Please see attached *Things To Be Done* list and state when you anticipate addressing/completing each item.
5. X Recreation & Open Space Inventory (ROSI) submissions:
 - X a. ROSI form (Link found on Page 26.)
 - X b. Official map of local government, keyed to ROSI
 - X c. Current tax maps that show each parcel of parkland listed on local government's ROSI. Each such parcel must be clearly outlined in distinctively colored ink. (**If these maps were previously submitted and remain unchanged, please contact your Green Acres representative regarding a waiver.)
6. X Narrative description of proposal (must address, *in order*, each applicable factor contained in the enclosed Local Project Priority System.)
7. X Site specific mapping:
 - X a. Site location on legible street map
 - X b. Tax map outlining boundaries of site to be developed
 - X c. Existing property survey (if available)
8. X Environmental Assessment (instructions enclosed)
9. X Conceptual Site Plan. Plans should be prepared by an authorized, licensed professional. Site plans should clearly identify all proposed facilities, any existing facilities and improvements, and any areas of proposed tree clearing.
10. X Copy of irrevocable property lease or use agreement (if applicable). Lease term must be 25 years from anticipated date of project commencement to ensure term of public use of facilities.
11. X Proof of publication for the public hearing advertisement. Green Acres application must be mentioned in the advertisement. (See Application Requirements for more details.)
12. 4/8/19 Minutes from public hearing (*Minutes from 1st Public Hearing- 10/26/18 are attached)
13. X Photographs of the site (digital images and/or prints)
14. X Letters of support (see Priority System Factor #5)
15. X Letters from municipal **and** county planning boards describing how project is specifically consistent with appropriate Master Plan (see Priority System Factor #5).
16. X List of all applicable permits that may be required for the project. Applicants with projects requiring permits, grants, or other approvals must contact all applicable permitting agencies to secure permit information and application materials prior to the submission of a Green Acres application. Evidence of having met this requirement must be provided with the application. Technical assistance from Green Acres is available upon request.
17. N/A Letter verifying pre-application conference with the Highlands Council, Meadowlands Commission, or Pinelands Commission, if applicable, including the Council/Commission's comments on the proposed development project.
18. X Breakdown of annual operating/maintenance expenses after development of site
19. X Conceptual floor plan that indicates the proposed use of any structure to be developed. All structures must be used in support of outdoor recreation and conservation purposes.