



Proposed Cottrell Farm Park Steering Committee Meeting No. 2 October 17, 2018



Project Progress

- ☐ Preliminary Meeting with Middlesex County Planning and Engineering Department
- ☐ Preliminary Meeting with OBMUA
- ☐ Meeting with Conservation Officer/ Forrester and Shade Tree Commission member
- ☐ Coordination with Office of Emergency Management and Fire Marshal and Construction Code Official
- ☐ Compiled and addressed Steering Committee Comments
- ☐ Investigation of Funding Opportunities with Middlesex County and State
- ☐ Internal Design Meetings and Conceptual Design Refinement

Committee Comments Architectural

- ❑ Farm House to be limited to 50 person occupancy 1st floor, Office 2nd Floor
- ❑ CMU Garage to be used as Office/ Community Room(s) (Four Seasons): Rehab restroom & provide internal ADA ramp, remove door on east side of bldg, remove front windows and replace with doors, replace both garage doors for insulation purposes, demo existing internal wall & add partition for use as multi-purpose space when required.
- ❑ Pool Cottage to be used for Storage (Two Season) Refurbish building and replace doors
- ❑ Prefabricated Restroom Building



Garage/ Storage Bldg.



Farm House – South Side



Masonry Building No. 1



Corn Crib



Farm House – South Side



Barn – South Side



Greenhouse Remains



Farm House – North Side



Masonry Building No. 2

Revised Recommended Building Uses

The Cottrell Farm House (Main House - 3,469 SF) - Four Seasons

- Meeting Hall, Lecture Hall, Warming Kitchen, and Administrative Offices.

The Barn (Barn - 1,375 SF) - Three Seasons

- Large event space with option for a Mezzanine.

The Stone Garage (Stone Garage - 947 SF) - Three Seasons

- Events space.

The Shop Building (CMU Garage - 1,890 SF) - Three Seasons

- Medium size events space, Community/Meeting Room(s)
- Overflow space for large events in conjunction with large events in the Barn.

The Pool Cottage (Rear Garage - 720 SF) - Two Seasons

- Storage Building

Farm House – 1st Floor

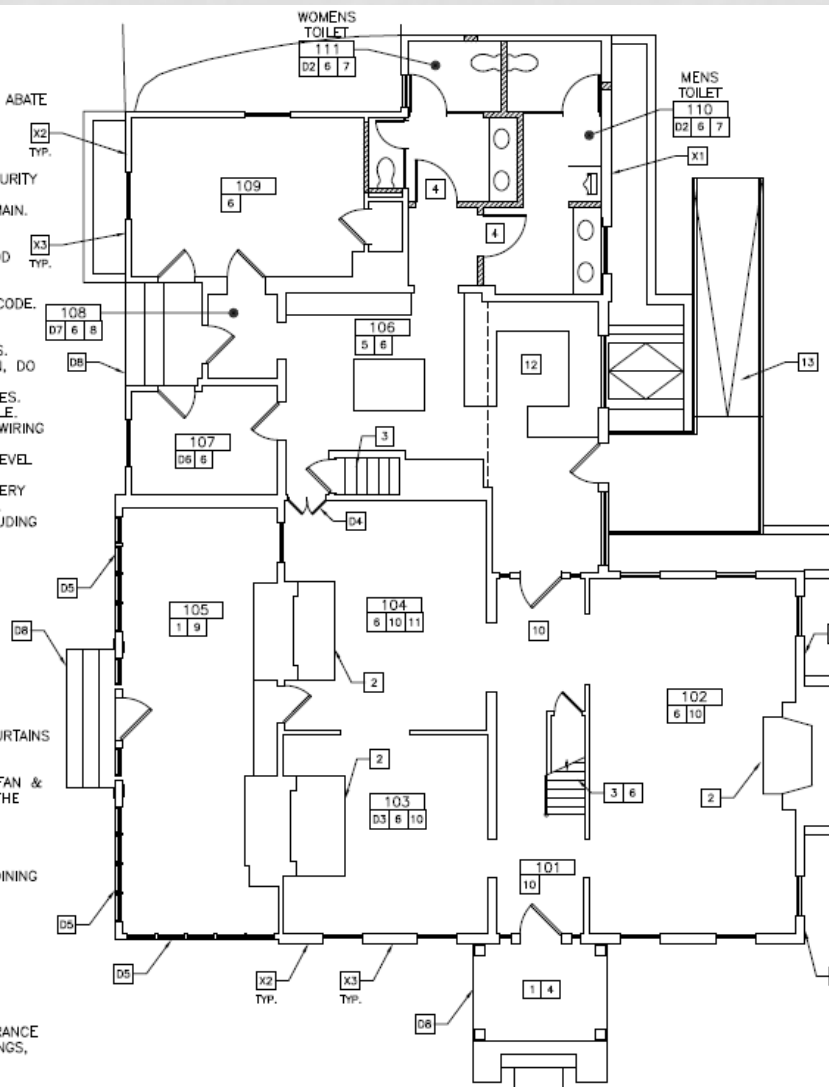
GENERAL COMMENTS:

1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
2. PEST CONTROL/REMOVAL REQUIRED.
3. PROVIDE SIGNAGE AT INTERIOR AND EXTERIOR.
4. PROVIDE FURNISHINGS, APPLIANCES.
5. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
6. MAINTAIN EXISTING DOORS AND WINDOWS TO REMAIN. REGLAZE, PREP FOR PAINTING, MAKE MINOR ADJUSTMENTS AS NEEDED.
7. REMEDIATE AND REPAINT DAMAGED INTERIOR WOOD MOLDING THROUGHOUT BUILDING.
8. PAINT ALL CEILINGS THROUGHOUT BUILDING.
9. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
10. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY.
11. REPLACE EXISTING LIGHT BULBS WITH LED BULBS.
12. EXISTING LIGHT SWITCH LOCATIONS SHALL REMAIN, DO NOT RELOCATE.
13. REMOVE EXISTING SURFACE MOUNTED RECEPTACLES. REMOVE KNOB AND TUBE WIRING WHERE POSSIBLE. REMOVE UNUSED OR ABANDONED LOW VOLTAGE WIRING THROUGHOUT BUILDING.
14. PROVIDE EMERGENCY LIGHT FIXTURES AT EACH LEVEL TO PROVIDE LIGHT ALONG PATHS OF EGRESS.
15. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
16. PROVIDE FIRE ALARM SYSTEM THROUGHOUT INCLUDING SMOKE DETECTORS, HORN-STROBE COMBINATION ANNUNCIATORS, STROBES IN TOILET ROOMS, AND MANUAL PULL STATIONS AT EGRESS DOORS.

RECOMMENDATIONS:

DEMOLITION

- D1 REMOVE EXISTING CARPETING, VINYL FLOORING, CURTAINS THROUGHOUT THE BUILDING.
- D2 REMOVE EXISTING PLUMBING FIXTURES, EXHAUST FAN & DUCTWORK, CABINETRY, WALLS AND FINISHES AT THE FIRST FLOOR BATHROOM.
- D3 REMOVE EXISTING WOOD PANELING AT ROOM 103
- D4 REMOVE BUTLER DOORS BETWEEN KITCHEN AND DINING ROOM
- D5 REMOVE AWNINGS AT ENCLOSED PORCH
- D6 REMOVE SANITARY PIPE, WATER LINES AND DRYER EXHAUST AT ROOM 107.
- D7 REMOVE VESTIBULE 108 SINK AND PIPING.
- D8 REMOVE EXISTING CONCRETE STEPS AT MAIN ENTRANCE AND WEST EXTERIOR STAIRS. PROVIDE NEW LANDINGS, STAIRS AND HANDRAILS.



RECOMMENDATIONS:

BUILDING EXTERIOR

- X1 CAREFULLY REMOVE EXISTING SIDING FROM EAST GABLE END AND EAST ELEVATION OF REAR BL. INSPECT FRAMING AND REINSTALL SIDING. REPLACE DAMAGED OR MISSING PIECES TO MATCH EXISTING. PROVIDE NEW TRIM AND FLASHING AT GAP BETWEEN CHIMNEY AND SIDING.
- X2 REMOVE EXISTING EXTERIOR WINDOW SHUTTERS. REPLACE IF BUDGET ALLOWS.
- X3 EXISTING EXTERIOR OF BUILDING REQUIRES PROFESSIONAL REMEDIATION OF EXISTING LEAD-BASED PAINT. REPAINT ALL BUILDING EXTERIOR INCLUDING TRIM WORK AND GUTTERS/LEADERS AT FRONT PORCH.

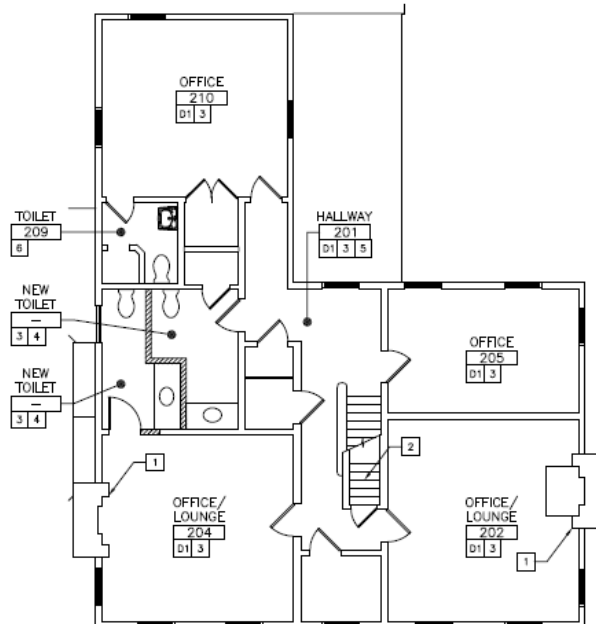
NEW WORK

- 1 PROVIDE NEW REINFORCED CONCRETE SLAB AT FRONT PORCH.
- 2 MAKE ALL OPERABLE FIREPLACES INOPERABLE/DECORATIVE.
- 3 INSPECT AND RESTORE STAIR TREADS AND RISERS, HANDRAILS AND GUARDS.
- 4 PROVIDE NEW BARRIER FREE ACCESSIBLE HARDWARE AT SELECTED LOCATIONS FOR ACCESSIBLE ENTRANCE AND PRIMARY USE SPACES.
- 5 WASH EXISTING UPPER AND LOWER KITCHEN CABINETRY. SAND AND REFINISH BASE CABINETS AT COOKTOP/SINK AREAS. REMOVE COOKTOP. PROVIDE NEW SOLID SURFACE COUNTERTOP.
- 6 REFINISH EXISTING HARDWOOD FLOORS TO REMAIN. PROVIDE NEW VINYL PLANK FLOORING AT KITCHEN. PROVIDE NEW TILE FLOORING AT NEW TOILET ROOMS. PROVIDE NON-SLIP CARPET TREADS OVER WOOD STAIRS.
- 7 PROVIDE NEW TOILET ROOMS AS SHOWN, INCLUDE NEW PLUMBING FIXTURES, EXHAUST FANS, TOILET COMPARTMENTS AND ACCESSORIES, AND FLOOR DRAINS.
- 8 REPAIR OR REPLACE EXISTING FINNED TUBE AND COVER UNDER SINK AT VESTIBULE.
- 9 REPLACE EXISTING THERMOSTATS WITH NEW. PROVIDE ADDITIONAL THERMOSTAT AT ENCLOSED PORCH.
- 10 ADJUST CHANDELIER FIXTURES TO BE ABOVE 7'-0" AFF.
- 11 REMOVE EXISTING GRASS-CLOTH WALL-COVERING.
- 12 REMOVE AND REPLACE DAMAGED/STAINED COUNTER.
- X13 NEW EXTERIOR ACCESSIBLE RAMP.

Farm House – 2nd Floor

GENERAL COMMENTS:

1. PROVIDE TESTING FOR ASBESTOS & LEAD PAINT. ABATE AREAS AS REQUIRED.
2. PEST CONTROL/REMOVAL REQUIRED.
3. PROVIDE SIGNAGE AT INTERIOR AND EXTERIOR.
4. PROVIDE FURNISHINGS, APPLIANCES.
5. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
6. MAINTAIN EXISTING DOORS AND WINDOWS TO REMAIN. REGLAZE, PREP FOR PAINTING, MAKE MINOR ADJUSTMENTS AS NEEDED.
7. REMEDIATE AND REPAINT DAMAGED INTERIOR WOOD MOLDING THROUGHOUT BUILDING.
8. PAINT ALL CEILINGS THROUGHOUT BUILDING.
9. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
10. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY.
11. REPLACE EXISTING LIGHT BULBS WITH LED BULBS.
12. EXISTING LIGHT SWITCH LOCATIONS SHALL REMAIN, DO NOT RELOCATE.
13. REMOVE EXISTING SURFACE MOUNTED RECEPTACLES. REMOVE KNOB AND TUBE WIRING WHERE POSSIBLE. REMOVE UNUSED OR ABANDONED LOW VOLTAGE WIRING THROUGHOUT BUILDING.
14. PROVIDE EMERGENCY LIGHT FIXTURES AT EACH LEVEL TO PROVIDE LIGHT ALONG PATHS OF EGRESS.
15. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
16. PROVIDE FIRE ALARM SYSTEM THROUGHOUT INCLUDING SMOKE DETECTORS, HORN/STROBE COMBINATION ANNUNCIATORS, STROBES IN TOILET ROOMS, AND MANUAL PULL STATIONS AT EGRESS DOORS.



RECOMMENDATIONS:

DEMOLITION

- D1 REMOVE EXISTING CARPETING, VINYL FLOORING, CURTAINS THROUGHOUT THE BUILDING.
- D2 REMOVE EXISTING PLUMBING FIXTURES, EXHAUST FAN & DUCTWORK, CABINETRY, WALLS AND FINISHES AT THE SECOND FLOOR BATHROOM ACCESSED FROM THE HALLWAY.
- D3 REMOVE EXISTING SURFACE MOUNTED RECEPTACLES. REMOVE KNOB AND TUBE WIRING WHERE POSSIBLE. REMOVE UNUSED OR ABANDONED LOW VOLTAGE WIRING.

NEW WORK

- 1 MAKE ALL OPERABLE FIREPLACES INOPERABLE/DECORATIVE.
- 2 INSPECT AND RESTORE STAIR TREADS AND RISERS, HANDRAILS AND GUARDS AT STAIR TO ATTIC.
- 3 REFINISH EXISTING HARDWOOD FLOORS TO REMAIN. PROVIDE NEW TILE FLOORING AT NEW TOILET ROOMS.
- 4 RECONFIGURE EXISTING BATHROOM INTO TWO NEW TOILET ROOMS AS SHOWN, INCLUDE NEW PLUMBING FIXTURES, EXHAUST FANS, ACCESSORIES, AND FLOOR DRAINS.
- 5 ADJUST CHANDELIER FIXTURES TO BE ABOVE 7'-0" AFF.
- 6 REPAIR/REGROUT EXISTING TILE FLOOR/WALLS.

COTTRELL FARMS
OLD BRIDGE, NEW JERSEY

Farm House - Proposed Second Floor Plan
NOTE: ROOM DIMENSIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.

SCALE: 3/16" = 1'-0"

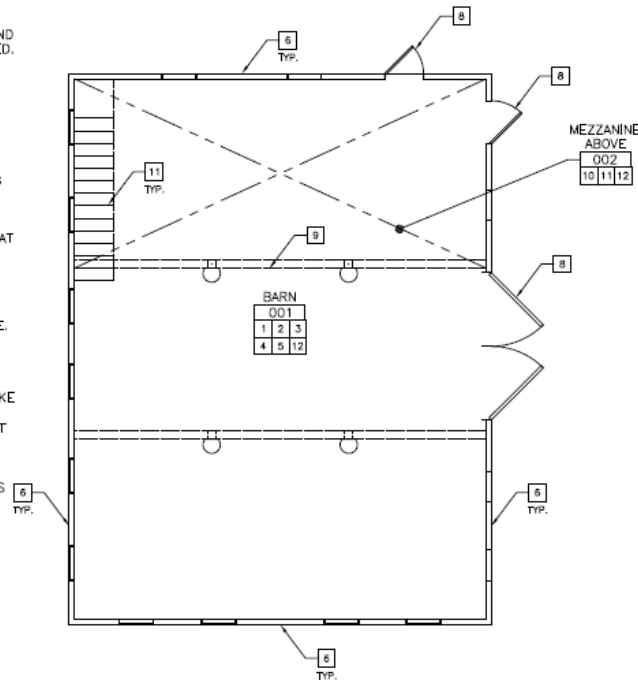
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Barn

GENERAL COMMENTS:

1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
2. PEST CONTROL/REMOVAL REQUIRED.
3. PROVIDE SIGNAGE AT INTERIOR AND EXTERIOR.
4. PROVIDE FURNISHINGS, APPLIANCES.
5. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
6. MAINTAIN EXISTING DOORS AND WINDOWS TO REMAIN. REGLAZE, PREP FOR PAINTING, MAKE MINOR ADJUSTMENTS AS NEEDED.
7. REMEDIATE AND REPAINT DAMAGED INTERIOR WOOD MOLDING THROUGHOUT BUILDING.
8. PAINT ALL CEILINGS THROUGHOUT BUILDING.
9. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
10. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY AT FOUNDATION.
11. REPAIR EXISTING CONCRETE SLABS, FILL CRACKS.
12. MAINTAIN EXISTING ROOF, REPAIR SHINGLES AS REQUIRED.
13. PROVIDE LED LIGHT FIXTURES AND LIGHT SWITCHES.
14. PROVIDE DUPLEX RECEPTACLES FOR INTENDED ITEMS ON MAIN FLOOR, REGULAR DUPLEX RECEPTACLES AT MEZZANINE.
15. PROVIDE EMERGENCY LIGHT FIXTURES AT EACH LEVEL TO PROVIDE LIGHT ALONG PATHS OF EGRESS.
16. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
17. PROVIDE FIRE ALARM SYSTEM THROUGHOUT INCLUDING SMOKE DETECTORS, HORN/STROBE COMBINATION ANNUNCIATORS, STROBES IN TOILET ROOMS, AND MANUAL PULL STATIONS AT EGRESS DOORS.
18. PROVIDE NEW 60-AMP PANEL MINIMUM, 100-AMP PANEL RECOMMENDED. PROVIDE CONDUIT FROM BARN TO MAIN BUILDING FOR FUTURE INSTALLATION OF VOICE/DATA CABLES BY OTHERS.
19. PROVIDE 3-SEASON HEATING FOR THIS BUILDING. EXISTING NATURAL VENTILATION SHALL REMAIN. PROVIDE LARGE DE-STRATIFICATION FANS.
20. PROVIDE AIR CONDITIONING (AS AN OPTION). SPLIT DIRECT SYSTEM; DX COOLING PACKAGE WITH DUCTWORK; VRF OR MINI-SPLIT SYSTEM.



RECOMMENDATIONS:

NEW WORK

1. CLEAN EXISTING FLOOR SLAB.
2. CABLES/TENSION DEVICES WILL BE ENGINEERED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING NORTH AND SOUTH WALLS, AND WOOD COLUMNS SUPPORTING ROOF TRUSSES.
3. PROVIDE COLLAR TIES AT EXISTING ROOF TRUSSES.
4. TIMBER DEFECTS WILL BE ENGINEERED AND GRADED PROPERLY FOR STRUCTURAL INTEGRITY.
5. REPLACE DAMAGED MILLWORK, PREP AND REPAINT.
6. STRIP AND REFINISH WOOD SHAKES AT EXTERIOR WALLS.
7. MAIN EXISTING ROOF, INSTALL HALF-ROUND GUTTERS AT EAST AND WEST ELEVATIONS.
8. REPAINT EXISTING DOORS, FRAMES, AND WINDOWS. REGLAZE WINDOWS AS REQUIRED.
9. MODIFY EXISTING GUARDRAILS.
10. ENCLOSE MEZZANINE FLOOR JOISTS WITH GYPSUM BOARD CEILING.
11. PROVIDE NEW RESILIENT FLOORING OVER MEZZANINE SUBFLOOR. PROVIDE NON-SUP RESILIENT TREADS AND NEW HANDRAILS ON MEZZANINE STAIR.
12. SEAL EXISTING EXPOSED WOOD STRUCTURE.

COTTRELL FARMS
CLINTON, NEW JERSEY

Barn (and Corn Crib) - Proposed Floor Plan
NOTES: ROOM DIMENSIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.

SCALE: 3/16" = 1'-0"

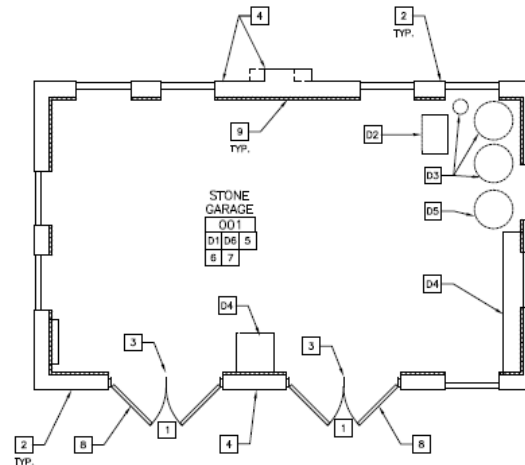
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Stone Garage

GENERAL COMMENTS:

1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
2. PEST CONTROL/REMOVAL REQUIRED.
3. PROVIDE SIGNAGE AT INTERIOR AND EXTERIOR.
4. PROVIDE FURNISHINGS, APPLIANCES.
5. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
6. REMEDIATE EXISTING STONE WORK AFTER PLASTER/LATH IS REMOVED.
7. MAINTAIN EXISTING DOORS AND WINDOWS TO REMAIN. REGLAZE, PREP FOR PAINTING, MAKE MINOR ADJUSTMENTS AS NEEDED.
8. REMEDIATE AND REPAINT DAMAGED WOOD MOLDING THROUGHOUT BUILDING.
9. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
10. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY.
11. REPAIR EXISTING CONCRETE SLABS, FILL CRACKS, PROVIDE NEW LEVELING COMPOUND AS REQUIRED.
12. MAINTAIN EXISTING ROOF, REPAIR SHINGLES AS REQUIRED.
13. PROVIDE LED LIGHT FIXTURES AND LIGHT SWITCHES.
14. PROVIDE DUPLEX RECEPTACLES FOR INTENDED ITEMS ON MAIN FLOOR, REGULAR DUPLEX RECEPTACLES AT MEZZANINE.
15. PROVIDE EMERGENCY LIGHT FIXTURES AT EACH LEVEL TO PROVIDE LIGHT ALONG PATHS OF EGRESS.
16. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
17. PROVIDE FIRE ALARM SYSTEM THROUGHOUT INCLUDING SMOKE DETECTORS, HORN/STROBE COMBINATION ANNUNCIATORS, STROBES IN TOILET ROOMS, AND MANUAL PULL STATIONS.
18. PROVIDE NEW 60-AMP PANEL MINIMUM, 100-AMP PANEL RECOMMENDED. PROVIDE CONDUIT TO MAIN BUILDING FOR FUTURE INSTALLATION OF VOICE/DATA CABLES BY OTHERS.
19. PROVIDE 3-SEASON HEATING FOR THIS BUILDING. EXISTING NATURAL VENTILATION SHALL REMAIN. PROVIDE LARGE DE-STRATIFICATION FANS.
20. PROVIDE AIR CONDITIONING (AS AN OPTION). SPLIT DIRECT SYSTEM; DX COOLING PACKAGE WITH DUCTWORK; VRF OR MINI-SPLIT SYSTEM.



RECOMMENDATIONS:

DEMOLITION

- 01 REMOVE PLASTER/LATH AT INTERIOR OF STONE GARAGE.
- 02 REMOVE EXISTING OIL-FIRED BOILER, FLUE, EXHAUST FAN AND ASSOCIATED PIPING.
- 03 REMOVE EXISTING PUMP AND TWO FARM PROCESS TANKS.
- 04 REMOVE EXISTING FLOOR MOUNTED FARM EQUIPMENT.
- 05 REMOVE HYDRORATE FILTER.
- 06 REMOVE INCOMING DOMESTIC WATER SERVICE AND CAP BACK AT MAIN.

NEW WORK

- 1 INSTALL NEW CONCRETE APRONS AT GARAGE DOORS.
- 2 INSTALL PERIMETER GRADE DRAINS AROUND BUILDING.
- 3 REPAIR CRACKS OVER GARAGE DOORS.
- 4 REPLACE FASCIA AND CROWN MOLDING AT NORTH AND SOUTH EXTERIOR FACES OF BUILDING. PROVIDE METAL DRIP EDGE ABOVE CROWN MOLDINGS TO MITIGATE INADEQUATE SLAT OVERHANG. REPAIR SOFFIT, REPLACE FLASHING AT CHIMNEY AT NORTH SIDE.
- 5 REMOVE PORTIONS OF INTERIOR WOOD TRIM FOR INSTALLATION OF NEW INTERIOR FURRING. REINSTALL/REPLACE ELEMENTS REMOVED DURING CONSTRUCTION. REMEDIATE AND REPAINT DAMAGED AREAS.
- 6 BRUSH/POWER WASH UNDERSIDE OF CEILING/FLOOR BOARDS AND BEAMS, DRY AND SEAL. REPAIR/REPLACE LOOSE BOARDS.
- 7 REMOVE HIP SLATES AT ROOF AND PROVIDE NEW FLASHING. INSPECT FLAT ROOF AREA. PROVIDE GUTTER AT SOUTH ELEVATION.
- 8 RESTORE/PAINT EXISTING DOORS, FRAMES, AND WINDOWS. REGLAZE WINDOWS AS REQUIRED.
- 9 PROVIDE NEW PAINTED GYPSUM BOARD OVER METAL STUD FURRING ON THE INTERIOR OF THE BUILDING.

COTTRELL FARMS

Stone Garage - Proposed Floor Plan

OLD BRIDGE, NEW JERSEY

NOTE: ROOM DIMENSIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.



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SCALE: 1/8" = 1'-0"

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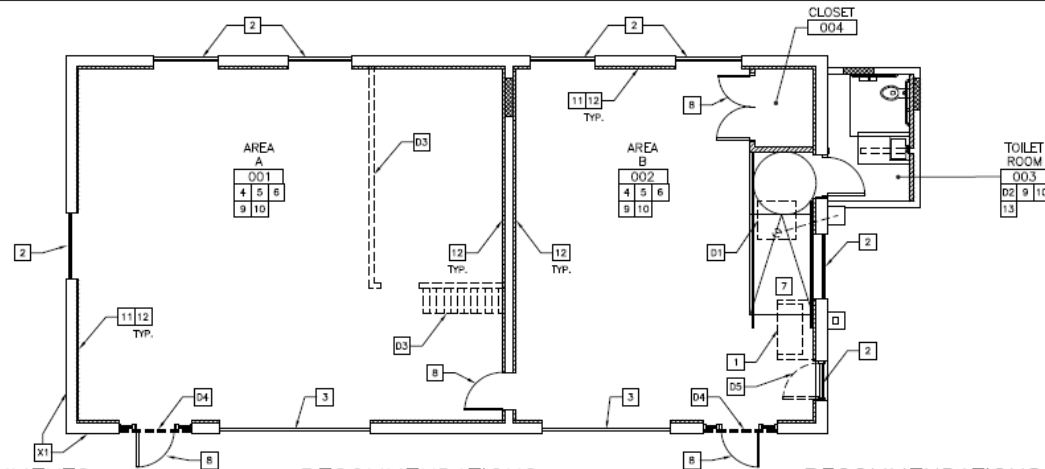
CMU Garage Existing Exterior



CMU Garage Proposed Exterior



CMU Garage Proposed Interior



GENERAL COMMENTS:

1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
2. PEST CONTROL/REMOVAL REQUIRED.
3. PROVIDE SIGNAGE AT INTERIOR AND EXTERIOR.
4. PROVIDE FURNISHINGS, APPLIANCES.
5. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
6. PROVIDE DUPLEX OUTLETS FOR INTENDED ITEMS.
7. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
8. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
9. REPAIR EXTERIOR WALLS; FILL CRACKS, REPOINT MASONRY, PATCH EXTERIOR STUCCO AND REPAINT.
10. REPAIR EXISTING CONCRETE SLABS.
11. REMOVE EXISTING DOMESTIC WATER SERVICE.
12. PROVIDE 4-SEASON HEATING THROUGHOUT THE BUILDING.
13. PROVIDE AIR CONDITIONING (AS AN OPTION). SPLIT DIRECT SYSTEM; DX COOLING PACKAGE WITH DUCTWORK; VRF OR MINI-SPLIT SYSTEM.

RECOMMENDATIONS:

DEMOLITION

- D1 REMOVE EXISTING OIL FIRED WARM AIR FURNACE
- D2 REMOVE EXISTING TOILET ROOM PLUMBING FIXTURES AND PIPING.
- D3 REMOVE EXISTING WOOD FRAMED PARTITIONS AND WOOD STAIRS
- D4 REMOVE EXISTING GLAZING AND PORTION OF WALL FOR NEW DOOR AND FRAME
- D5 REMOVE EXISTING DOOR AND FRAME

RECOMMENDATIONS:

NEW WORK

- 1 PARTIALLY CLOSE EXISTING DOOR OPENING - COORDINATE HEIGHT WITH NEW WINDOW
- 2 PROVIDE NEW WINDOW WITH INSULATED GLAZING IN EXISTING OPENING
- 3 REPLACE EXISTING GARAGE DOORS WITH NEW INSULATED DOORS
- 4 PROVIDE NEW SEALED CONCRETE SLAB OVER EXISTING
- 5 PROVIDE THERMAL BATT INSULATION BETWEEN EXISTING CEILING JOISTS
- 6 PROVIDE NEW GYPSUM BOARD SHEATHING BELOW CEILING JOISTS
- 7 PROVIDE NEW RAMP, LANDING AND HANDRAILS
- 8 PROVIDE NEW DECORATIVE DOORS AND SIDELIGHTS AS INDICATED
- 9 PROVIDE NEW LIGHTING FIXTURES
- 10 PROVIDE FIRE ALARMS SYSTEM; SMOKE DETECTORS, HORN STROBES, PULL STATIONS, CARBON MONOXIDE DETECTION AS REQUIRED BY CODE
- 11 PROVIDE 2" RIGID INSULATION BETWEEN METAL FURRING
- 12 FURR-OUT INTERIOR OF EXISTING EXTERIOR WALLS WITH GYPSUM BOARD OVER METAL FURRING & PAINT FINISH
- 13 RENOVATE TOILET ROOM; NEW FIXTURES, ACCESSORIES, FINISHES

RECOMMENDATIONS:

EXTERIOR

- X1 UNDERPIN FOUNDATION AT EXTERIOR WALL
- X2 REPLACE UNDERGROUND GUTTER WITH SURFACE DRAIN
- X3 MAINTAIN EXISTING ROOFING (PROVIDE NEW HISTORIC ASPHALT SHINGLED ROOF SYSTEM AS AN ALTERNATE)
- X4 PROVIDE NEW ELECTRICAL SERVICE
- X5 REPLACE EXISTING UTILITY METER WITH NEW METER
- X6 PROVIDE UNDERGROUND CONDUIT FROM STONE GARAGE FOR FUTURE VOICE/DATA

COTTRELL FARMS

Shop Building (CMU Garage) - Proposed Floor Plan

OLD BRIDGE, NEW JERSEY

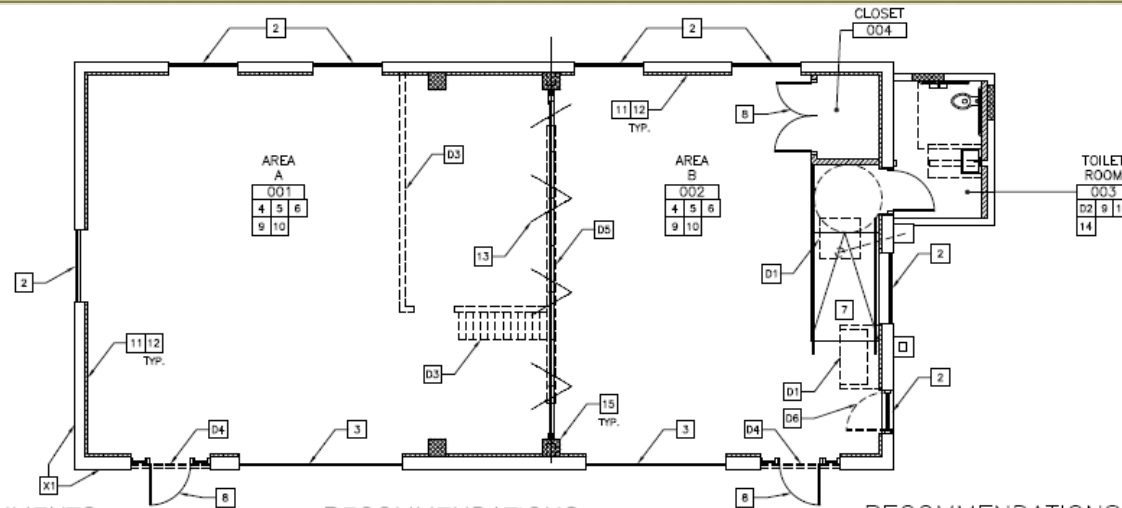
NOTES: ROOM DIMENSIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.

SCALE: 3/16" = 1'-0"

18 OCTOBER 2018

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CMU Garage Proposed Alt. Interior



GENERAL COMMENTS:

1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
2. PEST CONTROL/REMOVAL REQUIRED.
3. PROVIDE SIGNAGE AT INTERIOR AND EXTERIOR.
4. PROVIDE FURNISHINGS, APPLIANCES.
5. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
6. PROVIDE DUPLEX RECEPTACLES FOR INTENDED ITEMS.
7. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
8. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
9. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY, PATCH EXTERIOR STUCCO AND REPAINT.
10. REPAIR EXISTING CONCRETE SLABS.
11. REMOVE EXISTING DOMESTIC WATER SERVICE.
12. PROVIDE 4-SEASON HEATING THROUGHOUT THE BUILDING.
13. PROVIDE AIR CONDITIONING (AS AN OPTION). SPLIT DIRECT SYSTEM; DX COOLING PACKAGE WITH DUCTWORK; VRF OR MINI-SPLIT SYSTEM.

RECOMMENDATIONS:

NEW WORK

- 1 PARTIALLY CLOSE EXISTING DOOR OPENING — COORDINATE HEIGHT WITH NEW WINDOW
- 2 PROVIDE NEW WINDOW WITH INSULATED GLAZING IN EXISTING OPENING
- 3 REPLACE EXISTING GARAGE DOORS WITH NEW INSULATED DOORS
- 4 PROVIDE NEW SEALED CONCRETE SLAB OVER EXISTING
- 5 PROVIDE THERMAL BATT INSULATION BETWEEN EXISTING CEILING JOISTS
- 6 PROVIDE NEW GYPSUM BOARD SHEATHING BELOW CEILING JOISTS
- 7 PROVIDE NEW RAMP, LANDING AND HANDRAILS
- 8 PROVIDE NEW DOORS AND HM FRAMES AS INDICATED
- 9 PROVIDE NEW LIGHTING FIXTURES
- 10 PROVIDE FIRE ALARMS SYSTEM; SMOKE DETECTORS, HORN STROBES, PULL STATIONS, CARBON MONOXIDE DETECTION AS REQUIRED BY CODE
- 11 PROVIDE 2" RIGID INSULATION BETWEEN METAL FURRING
- 12 FURR—OUT INTERIOR OF EXISTING EXTERIOR WALLS WITH GYPSUM BOARD, PAINT FINISH
- 13 NEW MOVEABLE PANEL PARTITION
- 14 RENOVATE TOILET ROOM; NEW FIXTURES, ACCESSORIES, FINISHES
- 15 PROVIDE NEW FULL HEIGHT MASONRY PIERS

RECOMMENDATIONS:

DEMOLITION

- | | |
|----|--|
| 01 | REMOVE EXISTING OIL FIRED WARM AIR FURNACE |
| 02 | REMOVE EXISTING TOILET ROOM PLUMBING FIXTURES AND PIPING. |
| 03 | REMOVE EXISTING WOOD FRAMED PARTITIONS AND WOOD STAIRS |
| 04 | REMOVE EXISTING GLAZING AND PORTION OF WALL FOR NEW DOOR AND FRAME |
| 05 | REMOVE EXISTING MASONRY PARTITION |
| 06 | REMOVE EXISTING DOOR AND FRAME |

RECOMMENDATIONS:

EXTERIOR

- X1 UNDERPIN FOUNDATION AT EXTERIOR WALL
- X2 REPLACE UNDERGROUND GUTTER WITH SURFACE DRAIN
- X3 MAINTAIN EXISTING ROOFING, NEW HISTORIC ASPHALT SHINGLED ROOF SYSTEM
- X4 PROVIDE NEW ELECTRICAL SERVICE
- X5 REPLACE EXISTING UTILITY METER WITH NEW METER
- X6 PROVIDE UNDERGROUND CONDUIT FROM STONE GARAGE TO BUILDING FOR FUTURE VOICE/DATA

COTTRELL FARMS

Shop Building (CMU Garage) - Proposed Floor Plan - ALTERNATE

OLD BRIDGE, NEW JERSEY

SCALE: 3/16" = 1'-0"

15 OCTOBER 2011

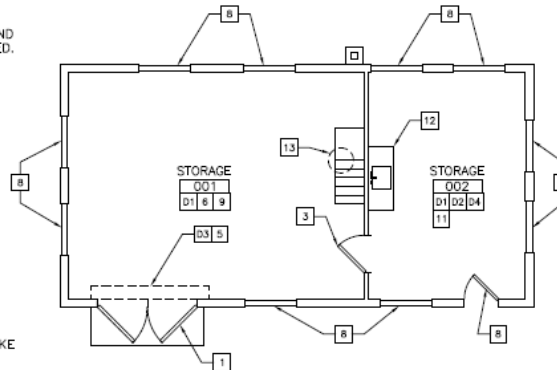


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Pool Cottage

GENERAL COMMENTS:

1. PROVIDE TESTING FOR ASBESTOS, LEAD PAINT, UNDERGROUND HEATING OIL TANKS AT BUILDING. ABATE AREAS AS REQUIRED.
2. PEST CONTROL/REMOVAL REQUIRED.
3. PROVIDE LOW VOLTAGE TELECOMMUNICATION, SECURITY SYSTEMS.
4. MAINTAIN EXISTING DOORS AND WINDOWS TO REMAIN. REGLAZE, PREP FOR PAINTING, MAKE MINOR ADJUSTMENTS AS NEEDED.
5. REMEDIATE AND REPAINT DAMAGED WOOD MOLDING THROUGHOUT BUILDING.
6. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
7. REPAIR EXTERIOR WALLS, FILL CRACKS, REPOINT MASONRY.
8. REPAIR EXISTING CONCRETE SLABS, FILL CRACKS, PROVIDE NEW LEVELING COMPOUND AS REQUIRED.
9. MAINTAIN EXISTING ROOF, REPAIR SHINGLES AND POWER WASH AS REQUIRED.
10. PROVIDE LED LIGHT FIXTURES AND LIGHT SWITCHES.
11. PROVIDE DUPLEX RECEPTACLES ON MAIN FLOOR.
12. PROVIDE EMERGENCY LIGHT FIXTURES TO PROVIDE LIGHT ALONG PATHS OF EGRESS.
13. PROVIDE SELF-CONTAINED EXIT SIGNS WITH BATTERY BACK-UP AT EACH EGRESS DOOR AND PATHWAY.
14. PROVIDE FIRE ALARM SYSTEM THROUGHOUT INCLUDING SMOKE DETECTORS, HORN/STROBE COMBINATION ANNUNCIATORS, STROBES IN TOILET ROOMS, AND MANUAL PULL STATIONS.
15. PROVIDE NEW 60-AMP PANEL MINIMUM, 100-AMP PANEL RECOMMENDED.
16. SINK AND HOT WATER HEATER SHALL BE MODIFIED AS REQUIRED FOR WINTERIZATION.



RECOMMENDATIONS:

DEMOLITION

- 01 REMOVE LOOSE PLASTER/LATH AT INTERIOR & STUCCO AT EXTERIOR.
- 02 REMOVE KITCHEN COUNTERS, CABINETS AND APPLIANCES AND ASSOCIATED PIPING.
- 03 REMOVE EXISTING GARAGE DOOR.
- 04 REMOVE EXISTING FLOOR FINISH IN EXISTING KITCHEN AREA.

NEW WORK

- 1 INSTALL NEW CONCRETE APRON AT GARAGE DOOR.
- 2 INSTALL PERIMETER GRADE DRAINS AROUND BUILDING.
- 3 REPAIR CRACKS OVER DOORS.
- 4 REPLACE DAMAGED FASCIA AND CROWN MOLDING AT EXTERIOR FACES OF BUILDING. PROVIDE METAL DRIP EDGE ABOVE CROWN MOLDINGS TO MITIGATE INADEQUATE SLAT OVERHANG. REPAIR SOFFIT, REPLACE FLASHING AT CHIMNEY AT NORTH SIDE.
- 5 PROVIDE NEW WOOD SECTIONAL ROLL UP DOOR.
- 6 BRUSH/POWER WASH UNDERSIDE OF CEILING/FLOOR BOARDS AND BEAMS, DRY AND SEAL. REPAIR/REPLACE LOOSE BOARDS.
- 7 INSPECT FLAT ROOF AREA. PROVIDE NEW GUTTER.
- 8 RESTORE/PAINT EXISTING DOORS, FRAMES, AND WINDOWS. REGLAZE WINDOWS AS REQUIRED.
- 9 PATCH INTERIOR PLASTER FINISH AT ALL LOOSE AREAS REMOVED DURING DEMOLITION AND REPAINT WALLS.
- 10 PATCH EXTERIOR STUCCO FINISH AT ALL LOOSE AREAS REMOVED DURING DEMOLITION AND REPAINT ALL WALLS.
- 11 PAINT EXISTING GYPSUM BOARD CEILING.
- 12 PROVIDE NEW UTILITY SINK.
- 13 EXISTING HOT WATER HEATER TO REMAIN.

COTTRELL FARMS

OLD BRIDGE, NEW JERSEY

Rear Garage - Proposed Floor Plan

NOTES: ROOM DIMENSIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.

SCALE: 3/16" = 1'-0"

15 OCTOBER 2018

HI
ASSOCIATES
ARCHITECTURE
ENGINEERING
CONSTRUCTION

Committee Comments Concept Plan

- ☐ Town Center District Standards for streetscape along CR516 & Cottrell Road
- ☐ Emergency access for ambulances & police from Bradford Drive (Old Bridge Mews)
- ☐ Additional hydrants within the site
- ☐ Realignment of internal driveway to preserve heritage trees
- ☐ Dedicated left turn lanes from Cottrell Road and CR516, no left turns from CR516 driveway
- ☐ Coordination of CR516 driveway entrance with commercial development
- ☐ Relocation of key site features closer to parking areas
- ☐ Site identification signs for historical buildings, heritage trees and nature walk

Site Features



Prefabricated Restroom Building

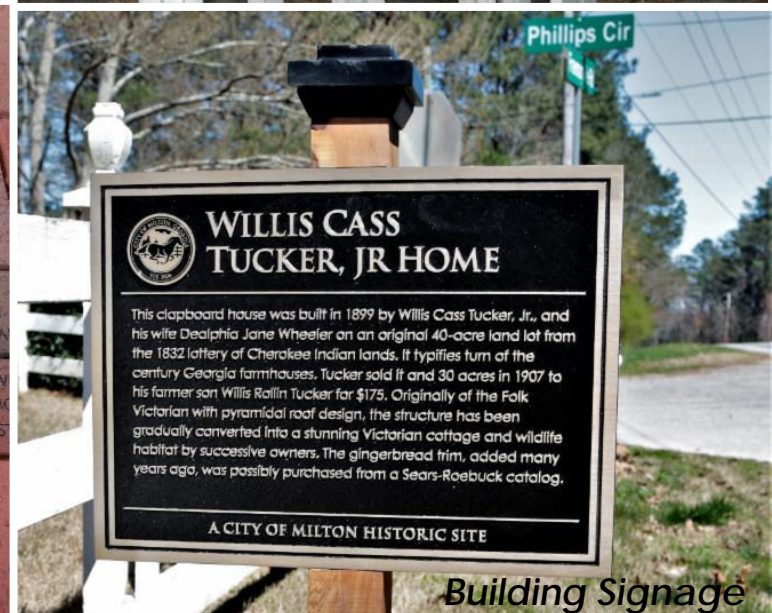


Park Pavilion



Farm Themed Playground

Site Signage



Revised Concept Plan



Next Steps

- ☐ Public Information Meeting – October 26, 2018, 7pm
Courtroom
- ☐ Pursue additional means of funding
- ☐ Determine Project Cost Estimate and Phasing
- ☐ Prepare Phased contract plans and specifications
- ☐ Phase I Public Bid and Award
- ☐ Phase I Construction Spring 2019