

# SYRING ELEMENTARY



**5300 Oakview Drive, Swartz Creek, Michigan**

## **SYRING ELEMENTARY SCHOOL**

5300 Oakwood Drive, Swartz Creek

### **General Information:**

- Instructional, Kindergarten through Grade 5<sup>th</sup>
  - o (2) Kindergarten classrooms 55 students
  - o (2) 1<sup>st</sup> Grade classrooms 47 students
  - o (2) 2<sup>nd</sup> Grade classrooms 46 students
  - o (2) 3<sup>rd</sup> Grade classrooms 49 students
  - o (2) 4<sup>th</sup> Grade classrooms 48 students
  - o (2) 5<sup>th</sup> Grade classrooms 60 students
  - o (2) MTSS classrooms used for student individual instruction
  - o Library
  - o Art Room
  - o Music Room
  - o Computer Lab
- Student Population: 295 (110 sq feet per student) Maximum Student Population: 350
- Staff: 40
- Year Built: 1959
- Building Size: 32,662 square feet (excludes tunnel)
- Fire Suppression: None.
- Site Size: 6 acres
- Utilities:
  - o Natural Gas: Consumers Energy
  - o Electricity: Consumers Energy
  - o Water: City of Swartz Creek
  - o Sanitary: City of Swartz Creek

### **Site Information / Condition:** See site map included.

- Site Entrance: Visitor parking is from Helmsley Drive with staff parking off Oakview Drive.
- Staff Parking: 33 spaces on north side of building.
- Visitor Parking: 14 spaces on west side of building.
- Bus Drop Off Area: Along Oakview Drive, two buses.
- Playgrounds:
  - o Newer play equipment surrounded with wood fiber mulch and cushioned mats under exit points of equipment. Overall in fair condition with poor drainage. Additional wood fiber mulch is required.

- Asphalt paved basketball court area is in very poor condition. It should be pulverized, re-graded and re-paved.
- (2) ballfields with fenced backstops. Ballfield located next to staff parking is in poor condition. Area is low and ponds water. Other ballfield is in fair condition.
- Asphalt Pavement: Visitor parking lot is in good condition with some patching required at the catch basin. Staff parking lot is in poor condition and should be pulverized and re-paved. If possible drainage catch basins should be installed.
- Concrete Sidewalks: Overall in good condition with some areas showing some surface spalding. Areas that are broken and uneven need to be replaced.
- Site Lighting: Light fixtures mounted on the building.
- Landscaping: Generally consists of lawn area with some major trees.

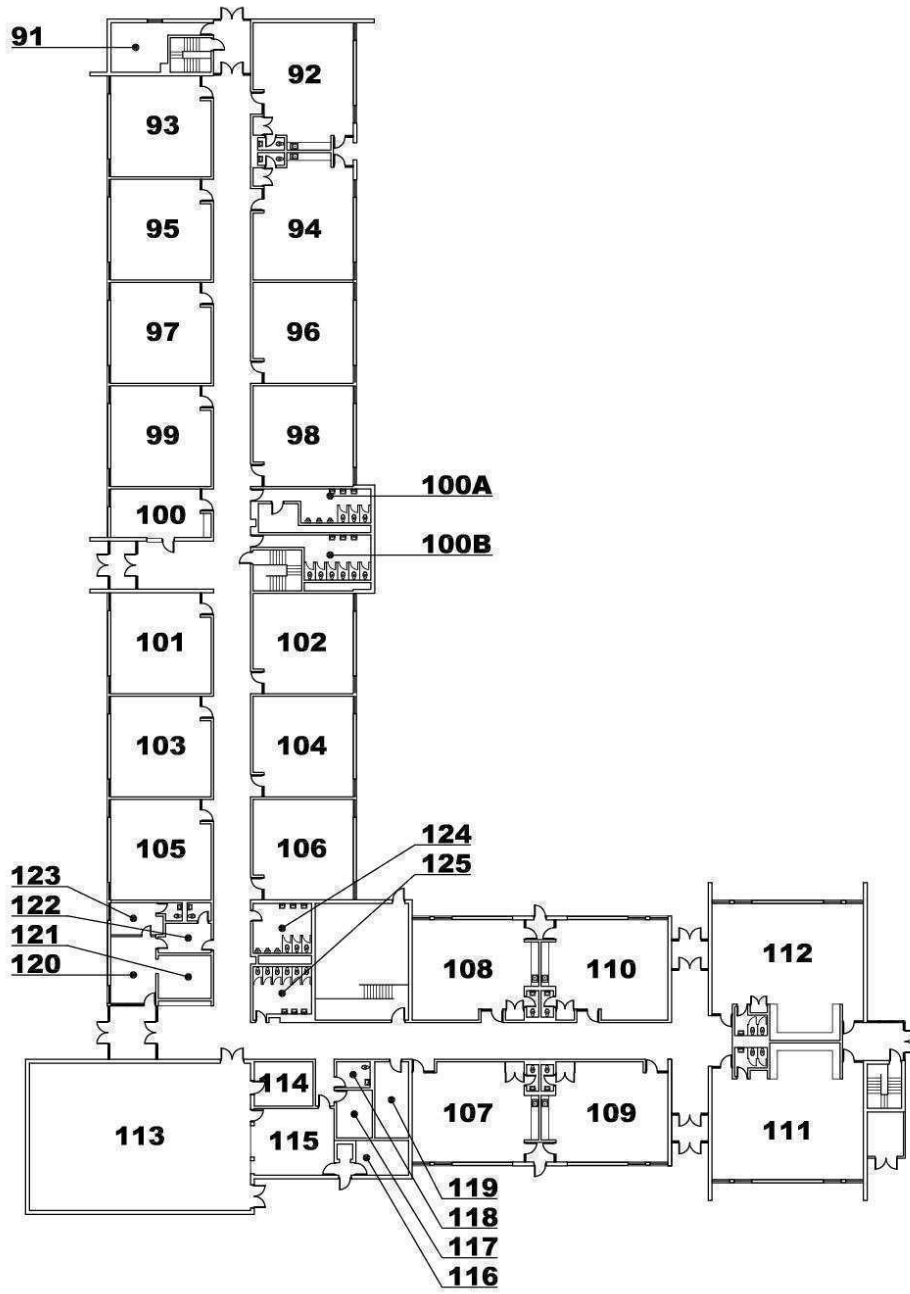
**Building Information / Condition:**

- Number of Stories: One with walk able service tunnel.
- Construction Type:
  - Steel frame with masonry (brick and cmu) infill
  - Steel bar joist roof structure with PVC roofing membrane
  - Concrete slab on grade
  - Windows: Aluminum casement windows with insulating glazing.
- Exterior Walls: Are in very good condition with only some minor brick tuckpointing required. Metal fascia panels required some repair in several areas and are faded on the north and west elevations. All areas of dark brown EIFS have faded and could use a new color coating.
- Window Sash: The original sashes have been removed and the openings infilled with insulated stud framing and aluminum casement windows glazed with insulating glazing. Windows are in good operating condition, no broken seals were observed on the glass units. Some insect screens need replacing.
- Entry Doors: Most entry doors are the original wood or hollow metal doors in hollow metal frames and are in fair to poor condition. Two pair of main entry doors have been replaced with FRP doors in aluminum frames.
- Roof Membrane: Mechanically attached single-ply PVC membrane over ¼" rigid insulation over two layers of built-up roofing with on Tectum deck. Roof membrane is approximately 10 years old and is leaking. It is recommended that the roof(s) be removed complete and the building re-roofed.
  - Existing R-Value of Roof Insulation – R9.5    Required R-Value – R20
- Interior Walls: Are of masonry construction (brick, painted cmu or glazed structural tile) and have been well maintained. Corridor walls contain a 20" high glass borrowlite

between the corridor and classrooms. All borrowlites should be removed and infilled with 1 hour rated stud construction to comply with current building codes.

- Interior Doors: Majority of assemblies are the original solid core wood doors in hollow metal frames.
  - o Doors: Condition is fair, with most having some veneer missing and worn finish from years of use. Doors could be re-surfaced with plastic laminate or painted for a fresh appearance.
  - o Door and Sidelites: Are glazed with wire and non-wire glass. These should be re-glazed with fire-rated glazing to comply with current building codes.
  - o Hardware: All knob handles should be replaced with lever handles and keyed alike throughout the building. Classroom doors must have closers installed.
- Terrazzo Floors: Are in very good condition given the age of the floors.
- Ceramic Tile Floors: Are overall in good condition, but show some staining and minor chipping.
- Carpet Flooring: Condition varies with the age of the carpet. Generally the life expectancy is 10 to 12 years for a classroom. Carpet appears to have been laid over the original 9x9 asbestos tile flooring to encapsulate it.
- Vinyl Tile Flooring: Some rooms still have the original 9x9 asbestos tile flooring exposed. Should consider flooring over to encapsulate it.
- Acoustical Ceilings: Majority of ceilings throughout the building are 2x4 suspended acoustical tile. The grid appears to be original and is rusting and has discolored over time. Condition of tiles varies, but replacing the ceiling system throughout the building would greatly improve the buildings overall appearance.
- Plaster Ceilings: Overall are in good condition with only minor areas needing some patch work and painting.
- Lighting: The majority of the building lighting consists of 2x4 lay-in fluorescent fixtures that have been re-lamped with T8 bulbs. All major rooms have occupancy sensors to control lighting.
- Emergency Lighting: Emergency lighting should be installed throughout the building to comply with current codes.
- Fire Alarm System: Is original and is grandfathered for continued use, however it does not comply with current codes and should be replaced with an audible / visual system.
- Plumbing Fixture Count: Based on gang style toilet rooms and current student population. Note: Individual classroom toilet rooms are not included in the following.
  - o Staff Toilets: Currently one Unisex toilet room.
    - Women – 1 water closet required
    - Men – 1 water closet required

- Student Toilets:
  - Girls – 3 water closets required, 12 currently
  - Boys – 3 water closets required, 12 currently
- Mechanical: Existing HVAC system for this building consists of a central hot water heating system served by two newer mid-efficiency natural gas boilers. The boiler's supply perimeter hot water fin tube radiation for all classrooms, with hot water cabinet heaters and convectors serving the entry vestibules, stairways and corridors. A small hot water air handling unit supplies the cafeteria/gymnasium. Ventilation for the school is via operable windows with no mechanical means of supplying ventilation air to the building. The only air conditioned spaces in the building are the Office area and Computer Lab 106.
- Electrical: Majority of the lighting fixtures were installed during the original construction and have been converted from T12 fluorescent lamps to T8 fluorescent lamps. The lens of the fixtures are showing their age and many are damaged, yellowed or sagging down out of the fixture frames. Lighting controls in the form of occupancy sensors have been added in classrooms and storage rooms, but not in the corridors. Emergency exit lighting is minimal and provides poor coverage for marking the path of egress.



SYRING ELEMENTARY  
NO SCALE

**Inventory of Existing Building Finishes / Conditions:**

Condition of finishes is subjective and based on the following criteria:

**Good:** The finish material appears similar to its original condition and with continued maintenance should last its intended life expectancy. Example: Carpeting rated Good – Surface shows little wear and has an expected remaining life of 8 to 10 years of a 10 to 12 year life.

**Fair:** The finish material shows some wear or condition issues that need maintenance. Example: Carpeting rated Fair – Surface shows wear and/or staining, seams may be showing, and has an expected remaining life of 3 to 4 years.

**Bad:** The finish material is at the end of its life expectancy and needs to be replaced.

91 Mindful Room	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	Glazed Masonry Brick	X		
Ceiling	Plaster		X	
Lighting	(3) 1x4 Surface Mounted / (2) T8 Lamps (have broken lens)			X

92 Classroom Stem Lab	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet		X	
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Lever door handles			
<b>Adjoining Vestibule</b>	With Classroom 94			
Walls	Painted CMU	X		
Floor	Carpet	X		
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	2x4 Recessed / (2) T8 Lamps	X		
Exterior Door	Wood Door in Hollow Metal Frame			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		

Base	Glazed Masonry Tile, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	1x4 Surface Mounted / (1) T8 Lamp	X		
Water Closet	Floor Mounted Flush Valve, no sensor	X		
Lavatory	Wall Mounted with handles, no pipe wrap	X		
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

93 Music Room	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet			X
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate - Replaced Lever door handle		X	

94 Art Room	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate - Replaced Lever door handles		X	
<b>Adjoining Vestibule</b>	See Classroom 92			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	1x4 Surface Mounted / (1) T8 Lamp (needs lens)		X	
Water Closet	Floor Mounted Flush Valve, no sensor	X		
Lavatory	Wall Mounted with handles, no pipe wrap	X		
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

95 Classroom 5 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet	X		
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate - Replaced		X	
	Knob door handle			

96 Classroom 4 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet			X
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handle			

97 Classroom 5 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet	X		
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate - Replaced		X	
	Knob door handle			

98 Library	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood		X	
	Knob door handle			

99 Classroom 4 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet			X
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handle			

100 Facility	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(6) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate			
	Knob door handles			

100A Boys Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Painted CMU - stained		X	
Floor	1x1 Ceramic Tile			X
Base	Glazed CMU Base, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (2) T8 Lamps		X	
Stall Partitions	Metal, Floor Mounted			X
Water Closets	Wall Hung Flush Valve with and without sensors		X	
Lavatories	Wall Mounted with push handles, no pipe wrap		X	
Urinals	Wall Mounted with sensors	X		
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

100B Girls Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Painted CMU – needs tuckpointing		X	
Floor	1x1 Ceramic Tile		X	
Base	Glazed CMU Base, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(4) 2x4 Lay-in / (2) T8 Lamps		X	

Stall Partitions	Metal, Floor Mounted			X
Water Closets	Wall Hung Flush Valve with sensors		X	
Lavatories	Wall Mounted with push handles and pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

101 Classroom 3 <sup>rd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	12x12 Vinyl Tile	X		
Base	Glazed Masonry Brick with 4" Coved Vinyl over	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handle			

102 Classroom 3 <sup>rd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet Tile	X		
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handle			

103 Classroom MTSS Room	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet Tile			X
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handle			

104 Classroom MTSS Room	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet			X
Base	Glazed Masonry Brick	X		

Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handle			

105 Classroom Special Education	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handle			

106 Classroom Computer Lab	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
	Knob door handle			

107 Classroom 2 <sup>nd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	12x12 Vinyl Tile	X		
Base	Glazed Masonry Brick with 4" Coved Vinyl over	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	With Classroom 109			
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	2x4 Lay-in / (2) T8 Lamps		X	
Exterior Door	Wood Door in Hollow Metal Frame			X
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile Painted CMU	X		

Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	1x4 Surface Mounted, (1) T8 Lamp	X		
Water Closet	Wall Hung Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
	Wall Heating Grille			X
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

108 Classroom 1 <sup>st</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet Tile	X		
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>				
	With Classroom 110			
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	2x4 Lay-in / (2) T8 Lamps		X	
Exterior Door	Wood Door in Hollow Metal Frame			X
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	1x4 Surface Mounted, (1) T8 Lamp – needs lens		X	
Water Closet	Wall Hung Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

109 Classroom 2 <sup>nd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Brick	X		

Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate - Replaced Knob door handles		X	
<b>Adjoining Vestibule</b>	See Classroom 107			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	1x4 Surface Mounted / (1) T8 Lamp (needs lens)	X		
Water Closet	Wall Hung Flush Valve, no sensor	X		
Lavatory	Wall Mounted with push handles, no pipe wrap Wall Heating Grille	X		X
<b>Comments:</b> 1. Restroom is not ADA Compliant				

110 Classroom 1 <sup>st</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet Tile			X
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate - Replaced Knob door handles		X	
<b>Adjoining Vestibule</b>	See Classroom 108			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	1x4 Surface Mounted / (1) T8 Lamp - needs lens		X	
Water Closet	Wall Hung Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b> 1. Restroom is not ADA Compliant				

111 Classroom Kindergarten	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet	X		
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(17) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	With Classroom 112			
Walls	Brick	X		
Floor	Terrazzo	X		
Base	Brick	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(2) 2x4 Recessed / (2) T8 Lamps	X		
Exterior Door	Wood Door in Hollow Metal Frame			X
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	1x4 Surface Mounted, (2) T8 Lamp – needs lens		X	
Stall Partitions	Metal, Floor Mounted			X
Water Closet	Wall Hung Flush Valve, no sensor	X		
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

112 Classroom Kindergarten	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet	X		
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(17) 2x4 Lay-in / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	See Classroom 111			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		

Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	1x4 Surface Mounted / (1) T8 Lamp - needs lens		X	
Stall Partitions	Metal, Floor Mounted			X
Water Closet	Wall Hung Flush Valve, no sensor	X		
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

113 Multi-Purpose Cafeteria / Gym	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	12x12 Vinyl Tile		X	
Base	Glazed Masonry Base	X		
Ceiling	Painted Steel Joist with Tectum Deck - dirty		X	
Lighting	(15) 2x4 Chain Hung / (4) T5 Lamps	X		

114 Gym PE Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU		X	
Floor	Painted Concrete		X	
Base	Glazed Masonry Brick	X		
Ceiling	Plaster	X		
Lighting	(2) 1x4 Recessed / (2) T8 Lamps	X		
	Knob door handle			

115 Kitchen	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry / Painted CMU	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Base	X		
Ceiling	Plaster	X		
Lighting	(6) 1x4 Surface Mounted / (2) T8 Lamps		X	
Kitchen Equipment			X	
	Knob door handles			

116 Storage				
Walls	Painted CMU	X		
Floors	Painted Concrete			X
Base	Glazed Masonry Brick	X		

Ceiling	Plaster – patch work required		X	
Lighting	(2) Surface Mounted 1x4 / (2) T8 Lamps – room dim		X	

117 Janitor Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor			X	
Base	Glazed Masonry Brick	X		
Ceiling	Plaster			
Lighting				

118 Staff Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(1) 2x4 Lay-in / (2) T8 Lamps		X	
Water Closet	Wall Hung Flush Valve with sensor	X		
Lavatories	Wall Mounted with handles, no pipe wrap	X		
	?? door handle			

**Comments:**

- Restroom is partially ADA Compliant

119 Social Worker Office	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	Carpet		X	
Base	Glazed Masonry Tile, Coved / 6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(3) 2x4 Lay-in / (2) T8 Lamps		X	
	Knob door handle			

120 Main Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet	X		
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(4) 2x4 Lay-in / (4) T8 Lamps	X		
	Lever door handle			

121 Vault General Storage	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9 x 9 Vinyl Tile		X	
Base	Glazed Masonry Brick	X		
Ceiling	Plaster	X		
Lighting	(2) 1x4 Recessed / (2) T8 Lamps	X		

122 Clinic	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet	X		
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(2) 2x4 Lay-in / (2) T8 Lamps Lever door handle	X		
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	1x4 Surface Mounted / (2) T8 Lamps	X		
Water Closet	Wall Hung Flush Valve, no sensor		X	
Lavatory	Wall Mounted with blade handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

123 Principal	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Vinyl covered gypsum board infill	X		
Floor	Carpet	X		
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (2) T8 Lamps Lever door handles	X		
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	1x4 Surface Mounted / (2) T8 Lamps		X	
Water Closet	Wall Hung Flush Valve, no sensor		X	

Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

124 Boy's Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Base, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(2) 1x4 Surface Mounted / (2) T8 Lamps		X	
Stall Partitions	Metal, Floor Mounted			X
Water Closets	Wall Hung Flush Valve with and without sensors		X	
Lavatories	Wall Mounted with push handles, no pipe wrap		X	
Urinals	Wall Mounted with sensors	X		
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

125 Girl's Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(4) 2x4 Lay-in / (2) T8 Lamps		X	
Stall Partitions	Metal, Floor Mounted			X
Water Closets	Wall Hung Flush Valve with sensors		X	
Lavatories	Wall Mounted with push handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

Corridors	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	Terrazzo	X		
Base	Brick	X		
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	2x4 Lay-in / (2) T8 Lamps		X	
Borrowlites	Non-rated glazing			

## Swartz Creek Syring Elementary School

1959 Original Construction

32,662 sf

### **Mechanical Systems**

Existing heating ventilation and air conditioning (HVAC) system description:

The existing HVAC system for this building consists of a central hot water heating system served by (1) older mid-efficiency 84-85% natural gas Lochinvar copper fin boiler rated at 1,200,000 btuh, and (1) newer high-efficiency 94-95% Lochinver Knoght boiler rated at 800,000 btuh for a total heating capacity of 2,000,000 buth.

The boiler's supply perimeter hot water fin tube radiation for all the classrooms and hot water cabinet heaters and convectors serve the entry vestibules, stairways and the corridors. A small hot water air handling unit supplies the gymnasium.

Ventilation for the school is via operable windows and there is no mechanical means of supplying ventilation air to the building. The only air conditioning for this school is in the Office area and Computer Lab Room 106. Ductless split air conditioning systems serve those rooms.

In general this school has no air conditioning and no mechanical means of provided outside air ventilation.

### **Electrical Systems**

#### Electrical Service/Power Distribution

The main distribution is from original construction and consists of an overhead utility feed to a 400 Amp 120/240 volt disconnect and GE QMR-2 fusible located in the boiler room. An "X" panel is feed ahead of the main disconnect which feeds exit lighting. Branch circuit panel boards, wiring, and general purpose receptacles are from original construction. Classrooms have some surface raceway and computer rooms have power poles to feed the dense receptacle loads.

*Recommendation:*

- 1. Replace the obsolete electrical distribution.*
- 2. Add new emergency power via:*

- a. *Individual battery units within the fixtures*
3. *Replace branch circuit breaker panel boards with new.*

## Lighting

### Interior:

A majority of the lighting fixtures are from original construction which have been converted from T12 fluorescent lamps to T8 fluorescent lamps. The lenses of the fixtures are showing their age and many are damaged, yellowed or sagging down out of the fixture frames.

Some exit lights have been replaced and added over the years but provide poor coverage for marking the path of egress. They are typically equipped with two emergency lighting heads which appear to be the only emergency egress lighting source.

Lighting controls in the form of occupancy sensors have been added in storage rooms etc. but were not seen in the corridors or classrooms

### Exterior:

Exterior lighting is very limited with one wood pole and flood lighting. There are also building mounted lights that are aged. Some, but not all, exit doors are equipped with light fixtures. In general the exterior lighting is inadequate and is past its useful life.

### *Recommendation:*

1. *Lighting upgrades should be considered to be replaced with new high efficient LED lighting with added controls to meet current Michigan energy code requirements.*
2. *Emergency egress lighting is deficient and needs to be added throughout the building's interior egress and exit to discharge areas.*
3. *Exterior lighting including building mounted and parking lot lighting should be replaced and added.*
5. *Replace exit and emergency lighting with new and associated wiring to meet current Life Safety and building codes.*

## Fire Alarm

The Fire Alarm system is an original National Time and Signal system. The fire alarm system is deficient in most areas and does not meet current Life Safety and building codes.

*Recommendation:*

1. *Replace the fire alarm system with new.*

Systems

**Public Address system** is aged. It appears to be functional but based on its age is most likely limited in its maintainability and expansion options. Speakers are located in the walls of the classrooms and in the ceiling of the corridors. There are push buttons for communications typically adjacent to a phone for communication.

There was a Lathem brand **Master Clock** system but most locations have been replaced with stand alone clocks.

**Data** systems appear to be up to date with data outlets at the teachers desk in each classrooms and Cisco wireless access points (wi fi) throughout the corridors and common spaces surface mounted in the lay in ceilings

*Recommendation:*

1. *Replace PA system*
2. *Replace master clock system*

### **Code Deficiencies:**

- Insufficient mulch cushioning on playground.
- Classroom corridor doors lack closers.
- Some classroom corridor doors have knob handles in lieu of levers.
- Corridor borrowlites not glazed with fire rated glazing.
- Classroom doors and sidelights not glazed with fire rated glazing.
- Corridor walls do not extended to underside of roof deck.
- Toilet rooms are not ADA compliant.
- Men and Women staff toilet rooms required. Currently one unisex.
- Emergency lighting insufficient throughout building.
- Fire alarm is not an audio/visual system.

### **Suggested Facility Upgrades:**

- Provide additional staff / event parking – 80 to 90 parking spaces.
- Provide additional parent drop off / pick up lane.
- Provide additional site lighting.
- Install security cameras covering playground area.
- Repave hard surface playground area.
- Increase building security at main entrance.
- Replace windows in kitchen.
- Provide storage space for cafeteria tables.
- Provide new classroom furniture throughout.
- Provide space for individual student teaching. Currently done in corridors.
- Provide additional storage within classrooms.
- Add student lockers within main corridors.
- Replace ceilings and lighting.
- Air condition building.
- Replace public address system.
- Replace master clock system.
- Upgrade electrical distribution system.
- Upgrade technology.

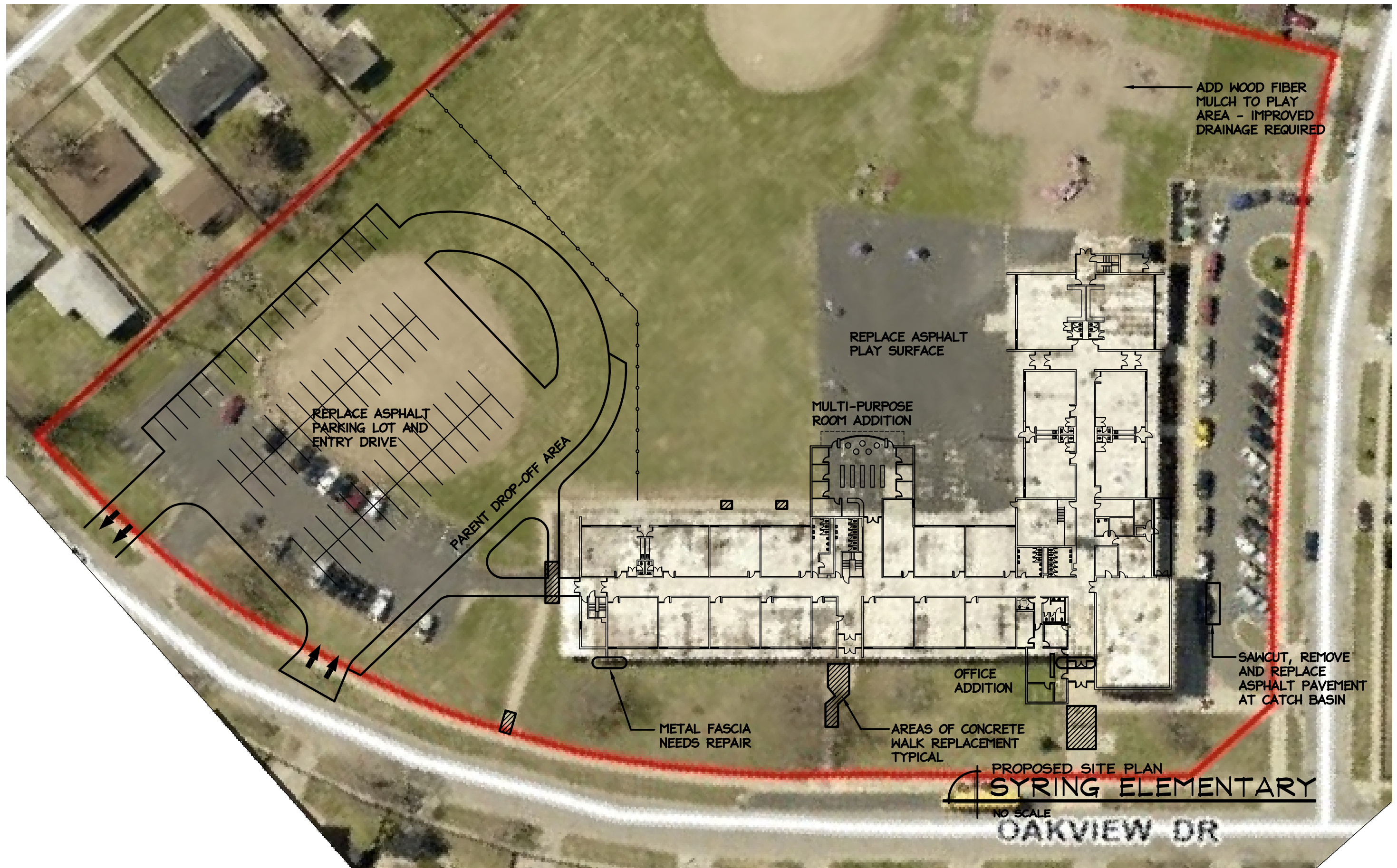
## **SYRING ELEMENTARY SCHOOL**

<b>Proposed Site Work:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Concrete Walk Replacement	1000 sq feet	\$ 12,000.00
Asphalt Pavement Repair	180 sq feet	\$ 1,500.00
East Lot Pavement Sealcoating	11,200 sq feet	\$ 11,200.00
East Lot Pavement Striping	Lump Sum	\$ 1,000.00
Construct New 80 Space Parking Lot	38,000 sq feet	\$ 225,420.00
New Concrete Walk at New Parking Lot	3,600 sq feet	\$ 40,600.00
New Chainlink Fencing	280 linear feet	\$ 6,200.00
Install Site Lighting	6 poles / 20 building	\$ 50,000.00
Reconstruct Paved Play Area	17,200 sq feet	\$ 59,000.00
Add Mulch to Playground	260 cubic yards	\$ 11,700.00
<b>Total Opinion of Probable Cost of Site Work:</b>		<b>\$ 418,620.00</b>

<b>Proposed Code Upgrades:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Install Closers on Classroom Doors	40 units	\$ 18,600.00
Install Lever Handles on Doors	30 units	\$ 15,000.00
Replace Borrowlites with Rated Wall	370 linear feet	\$ 49,000.00
Install Fire-rated Glazing in Classroom Doors	22 units (32 sq feet each plus 100 sq feet)	\$ 67,760.00
Renovate Student Gang Toilet Rooms	920 sq feet	\$ 92,000.00
Upgrade Emergency Lighting	Lump Sum	\$ 30,000.00
Replace Fire Alarm System	Lump Sum	\$ 110,000.00
<b>Total Opinion of Probable Cost of Code Deficiencies:</b>		<b>\$ 382,360.00</b>

<b>Proposed Building Renovation Work:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Replace Windows	50 units	\$ 30,000.00
Repair and Paint Metal Fascia	2400 sq feet	\$ 10,800.00
Recoat EIFS Wall Areas	3200 sq feet	\$ 28,800.00
Replace Main Entry Doors	5 double leaf	\$ 45,000.00
Replace Exit Doors	4 single leaf	\$ 12,000.00
Refurbish Interior Doors	40 leaves	\$ 12,000.00
Replace / Install Carpet Flooring	560 yards	\$ 16,800.00
Replace Corridor Ceilings	6000 sq feet	\$ 36,000.00
Replace Corridor Lighting Fixtures		\$ 36,000.00
Replace Classroom Ceilings	16,500 sq feet	\$ 99,000.00
Replace Classroom Lighting Fixtures		\$ 117,000.00
Replace and Add Classroom Cabinetry	20 rooms	\$ 140,000.00
Replace Chalkboards with Whiteboards	10 rooms (24 ft length)	\$ 24,000.00
New Classroom Furniture	All classrooms	\$ 209,000.00
Replace Master Clock System	Lump Sum	\$ 20,000.00
Replace Electrical Distribution System	Lump Sum	\$ 25,000.00
Air Condition Building	Lump Sum	\$ 550,000.00
Reroof Building	36,200 sq feet	\$ 235,300.00
<b>Technology Upgrades</b>		
Replace Public Address System	Lump Sum	\$ 55,000.00
Electronic Door Access System	26 doors	\$ 40,000.00
Security Camera System	12 cameras	\$ 24,000.00
Chrome Books and Carts	190 units / 6 carts	\$ 53,100.00
Smart Boards	8 units	\$ 60,000.00
<b>Total Opinion of Probable Cost of Building Renovation Work:</b>		<b>\$1,878,800.00</b>

<b>Proposed Building Additions:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Construct New Office	960 sq feet	\$ 211,200.00
Renovate Existing Office Area	750 sq feet	\$ 97,500.00
Construct Gym / Kitchen Storage	420 sq feet	\$ 42,000.00
Construct Media/Maker Center	2600 sq feet	\$ 572,000.00
Renovate Existing Classroom for Media/Maker Connection	730 sq feet	\$ 58,400.00
<b>Total Opinion of Probable Cost of Building Additions:</b>		<b>\$ 981,100.00</b>



← ADD WOOD FIBER MULCH TO PLAY AREA - IMPROVED DRAINAGE REQUIRED

REPLACE ASPHALT PARKING LOT AND ENTRY DRIVE

PARENT DROP-OFF AREA

REPLACE ASPHALT PLAY SURFACE

MULTI-PURPOSE ROOM ADDITION

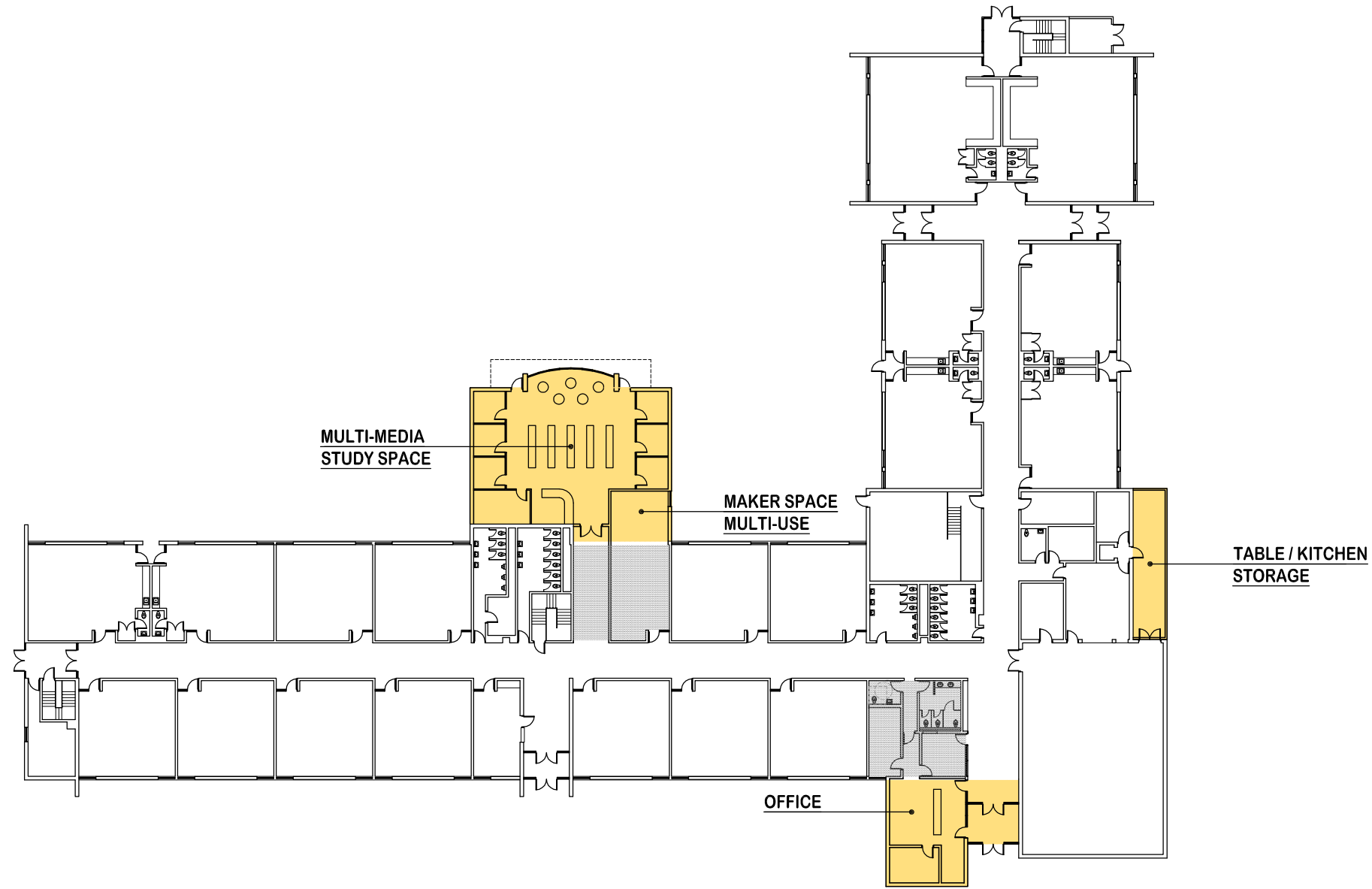
OFFICE ADDITION

SAWCUT, REMOVE AND REPLACE ASPHALT PAVEMENT AT CATCH BASIN

METAL FASCIA NEEDS REPAIR

AREAS OF CONCRETE WALK REPLACEMENT TYPICAL

PROPOSED SITE PLAN  
**SYRING ELEMENTARY**  
NO SCALE  
**OAKVIEW DR**



MULTI-MEDIA  
STUDY SPACE

MAKER SPACE  
MULTI-USE

TABLE / KITCHEN  
STORAGE

OFFICE

SYRING ELEMENTARY  
NO SCALE

- ADDITION - 3850 sq feet
- REMODELED - 380 sq feet

REVIEWED BY	LRD	SCALE	DATE
DRAWN BY	TLG	PROJECT NO.	CAD FILE
		170125	x01
			12/2017

SWARTZ CREEK COMMUNITY SCHOOLS  
**FACILITY STUDY**  
5300 OAKVIEW DRIVE, SWARTZ CREEK  
SYRING ROAD ELEMENTARY

**NJB**  
**ARCHITECTS**  
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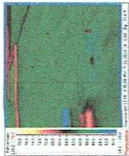
www.njb-architects.com

**SYRING ELEMENTARY  
ROOF CONDITION REPORT**

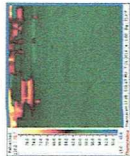
### **Syring Elementary**

The low sloped roof areas A, B, C, D, E & F are covered with mechanically attached single ply PVC (thermoplastic) membranes over insulation over gravel built-up roof membrane over insulation over another gravel built-up roof membrane on a Tectum deck. The core samples showed three (3) roof systems on the building. This is in violation of building codes. They are estimated to be 10 + years old and had two (2) reported active leak areas. They are in fair to poor condition with several ponding areas which need to be monitored. I would recommend budgeting for removal and replacement of these systems within the next 1 to 5 years.

All roof areas should be placed under a yearly inspection, preventive maintenance and reporting process to extend roof life cycles, minimize disruptions/risks, and lower facility costs. Regular inspections, preventive maintenance, repair/restoration procedures can double the life cycles of well designed and installed roof systems at 1/2 to 1/3 the cost of removal and replacement.



Thermogram T-01

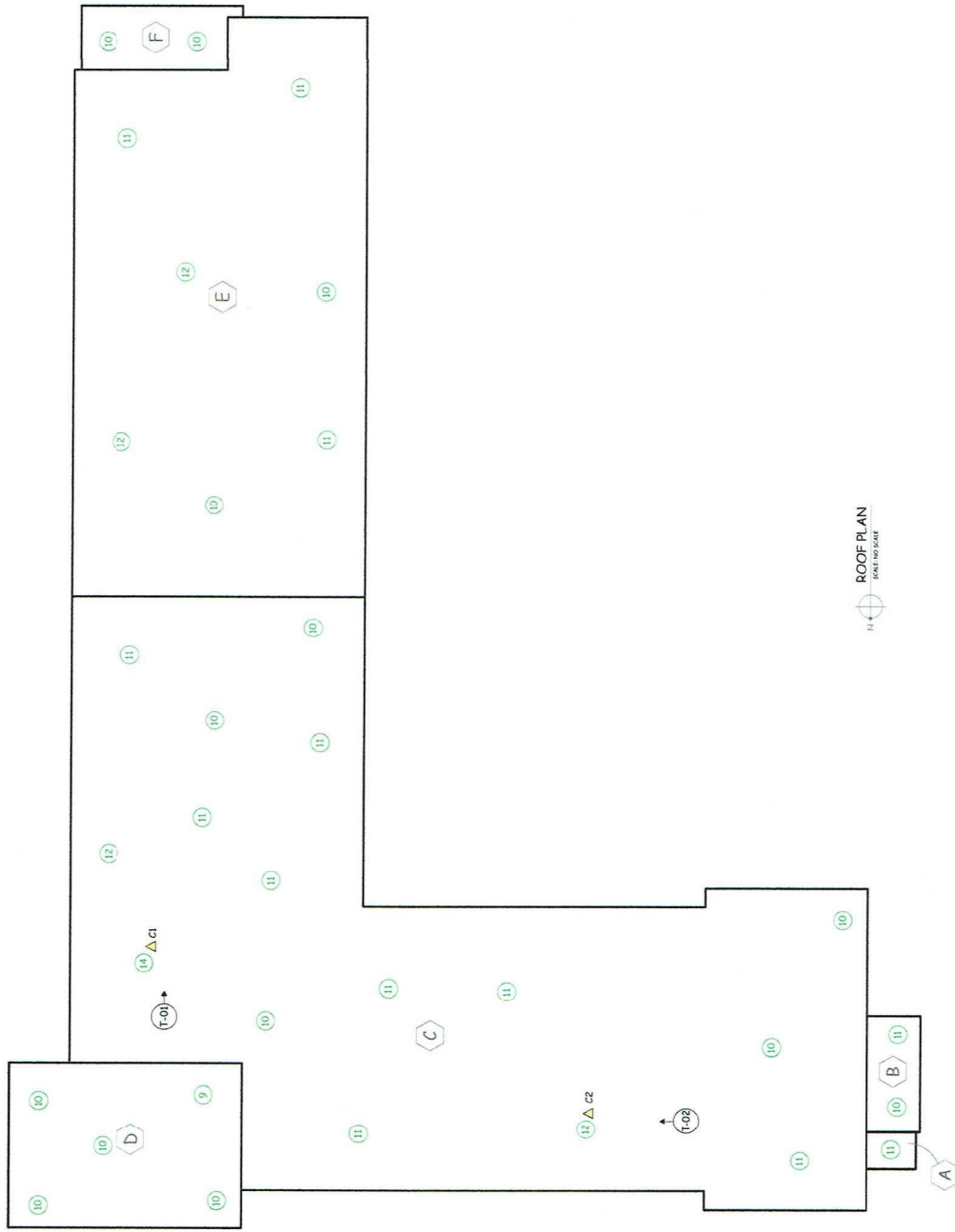


Thermogram T-02



ROOF CORE CUT		CONSTRUCTION DATA		ROOF CONSTRUCTION	
AREA NUMBER	MOISTURE READING	NA	CONSTRUCTION	NA	CONSTRUCTION
C C1	14	0%	SINGLE-PLY (WHITE) ROOF SYSTEM	0%	SINGLE-PLY (WHITE) ROOF SYSTEM
		0%	1/4" EXPANDED POLYSTYRENE INSULATION	0%	1/4" EXPANDED POLYSTYRENE INSULATION
		0%	BUILT-UP-ROOF WITH GRAVEL	0%	BUILT-UP-ROOF WITH GRAVEL
		0%	1/2" POLYISOCYANURATE INSULATION	0%	1/2" POLYISOCYANURATE INSULATION
		0%	BUILT-UP-ROOF WITH GRAVEL	0%	BUILT-UP-ROOF WITH GRAVEL
		0%	TECTUM DECK	0%	TECTUM DECK
C C2	12	0%	SINGLE-PLY (WHITE) ROOF SYSTEM	0%	SINGLE-PLY (WHITE) ROOF SYSTEM
		0%	1/4" EXPANDED POLYSTYRENE INSULATION	0%	1/4" EXPANDED POLYSTYRENE INSULATION
		0%	BUILT-UP-ROOF WITH GRAVEL	0%	BUILT-UP-ROOF WITH GRAVEL
		0%	1/2" POLYISOCYANURATE INSULATION	0%	1/2" POLYISOCYANURATE INSULATION
		0%	BUILT-UP-ROOF WITH GRAVEL	0%	BUILT-UP-ROOF WITH GRAVEL
		0%	TECTUM DECK	0%	TECTUM DECK

ROOF AREA DATA			
ROOF AREA	SIZE (S.F.)	WET (S.F.)	% WET
A	130	0	0.00%
B	434	0	0.00%
C	21,530	0	0.00%
D	2,728	0	0.00%
E	11,438	0	0.00%
F	675	0	0.00%
<b>TOTALS</b>	<b>36,935</b>	<b>0</b>	<b>0.00%</b>



		SWARTZ CREEK COMMUNITY SCHOOLS SYRING ELEMENTARY SWARTZ CREEK, MI 48473	PROJECT NO: 09-100008 DRAWING NO: E.A.M. DATE: 8/19/2004
		E	

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