

# **SWARTZ CREEK MIDDLE SCHOOL**



**8230 Crapo Street, Swartz Creek, Michigan**

## **SWARTZ CREEK MIDDLE SCHOOL**

8230 Crapo Street, Swartz Creek

### **General Information:**

- Instructional, Grade 6<sup>th</sup> through Grade 8<sup>th</sup>
  - o (42) Classrooms
  - o Athletics - Gymnasium
  - o Athletics – Wrestling Practice Room
  - o Swimming Pool
  - o Instrumental Music / Vocal Music
  - o Multi-media Center
  - o Art Room
  - o (4) Computer Labs
- Student Population: 850 (157.9 sq feet per student)
- Staff: 65
- Year Built: 1968
- Building Size: 134,223 square feet (excludes lower boiler room and tunnel to pool)
- Site Size: 34 acres
- Utilities:
  - o Natural Gas: Consumers Energy
  - o Electricity: Consumers Energy
  - o Water: City of Swartz Creek
  - o Sanitary: City of Swartz Creek

### **Site Information / Condition:** See site map included.

- Site Entrance: Building fronts on Crapo Street which dead ends at the school. The buildings rear is off Fairchild Street. A gravel drive on the buildings west side connects the front parking area with the rear parking areas.
- Staff Parking: 138 spaces on north side of building.
- Visitor Parking: 108 spaces on south side of building.
- Bus Drop Off Area: Yes, integral with parking lots.
- Asphalt Pavement: Overall in poor condition. All parking lots and drives should be pulverized and re-paved with additional drainage catch basins added where possible.
- Concrete Sidewalks: Overall in fairly good condition with most areas showing some surface spalding. Areas that are broken and uneven need to be replaced.
- Site Lighting: North staff parking lot has five (2) headed poles located along the north edge of the parking lot. South visitor parking lot has no site lighting.

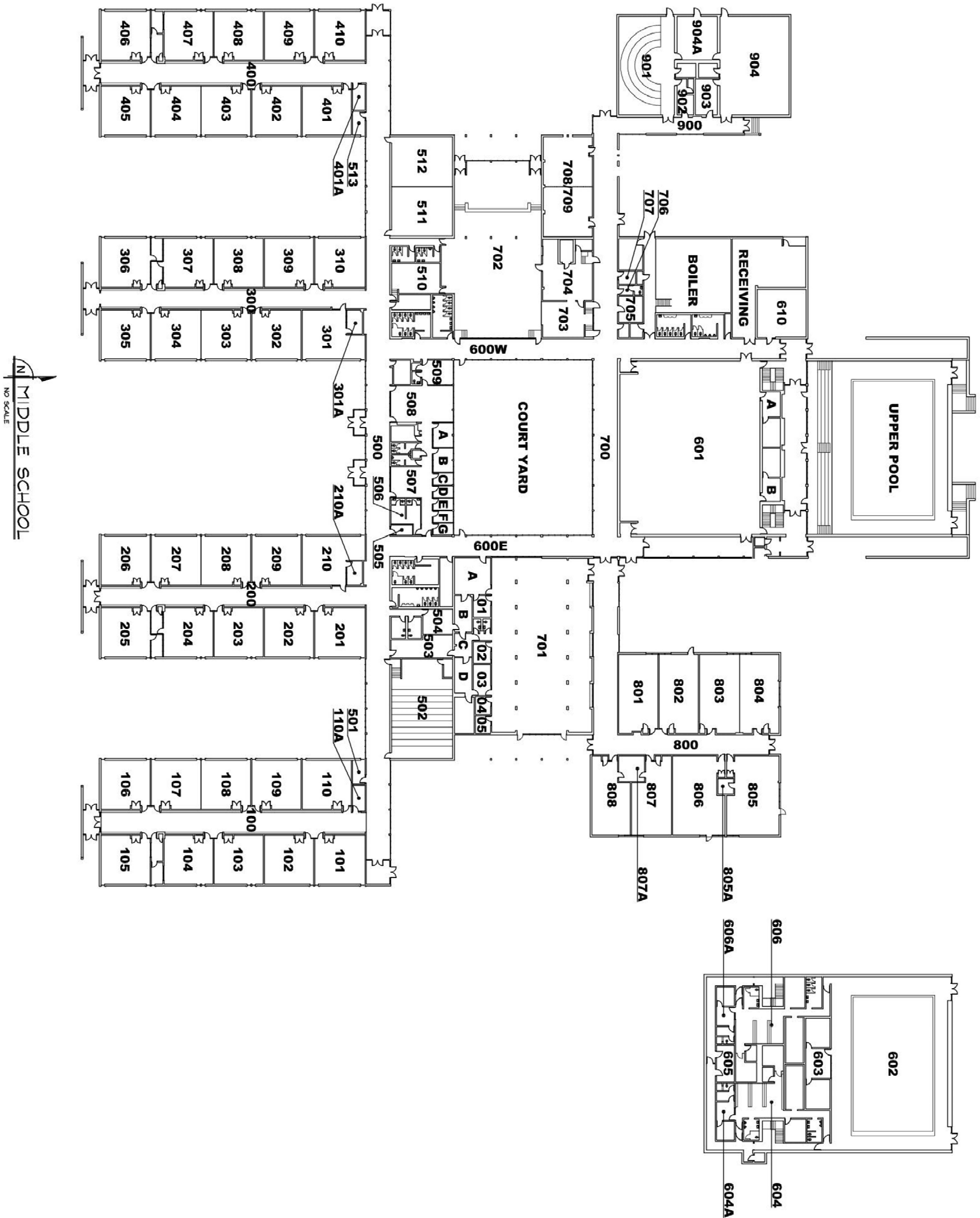
- Landscaping: Generally consists of lawn area with major trees. Tree branches overhanging roof areas should be trimmed back.

**Building Information / Condition:**

- Number of Stories: One with locker rooms located below gymnasium.
- Construction Type:
  - o Masonry bearing and steel frame with masonry (brick and cmu) infill
  - o Steel bar joist roof structure with PVC, EPDM and coal tar pitch roofing membranes
  - o Concrete slab on grade
  - o Windows: Aluminum storefront with single pane glazing.
- Fire Suppression: None.
- Exterior Walls: Are in very good condition with only some minor brick tuckpointing required. The copper fascia is in very good condition with only a few areas that require repairing. The cement plaster soffit is also in very good condition with minor patching required, typically at the interior or exterior corners.
- Window Sash: Is original and consists of non-thermally broken aluminum framing with single glass glazing. The sash are drafty and allow a great deal of heat gain from the sun. These sash should be replaced with new windows and wall infill.
- Entry Doors: Most entry doors are the original hollow metal door and frames and are in fair to poor condition. Two pair of main entry doors have been replaced with FRP doors in aluminum frames. All remaining hollow metal doors and frames should be replaced.
- Roof Membrane: The building has several roofing types of varying conditions:
  - o Roof areas covered with mechanically attached single ply PVC membranes are in fair condition and are approximately 10 years old. These roofs were applied over existing roof membranes and have minimum insulation. Estimated life of a PVC roof is 20 plus years.
  - o Roof areas covered with single ply EPDM (rubber) membranes are in fair condition and are approximately 10 years old. Some of these membranes were applied over existing roof membranes and some over new insulation on the metal deck. Some areas of wet insulation were identified. Estimated life of an EPDM roof is 15 years.
  - o Roof areas with coal tar pitch with aggregate surfacing are in fair condition and approximately 15 to 20 years old. These roofs typically consist of the aggregate surfacing in coal tar pitch over 1 ½" perlite insulation board on metal deck. Some areas of wet insulation were identified.
  - o Existing R-Value of Roof Insulation – R11 (average) Required R-Value – R20

- Interior Walls: Are of masonry construction (brick, painted cmu or glazed structural tile) and have been well maintained. Corridor walls contain a 20" high glass borrowlite between the corridor and classrooms. All borrowlites should be removed and infilled with 1 hour rated stud construction to comply with current building codes.
- Interior Doors: Majority of assemblies are the original solid core wood doors in hollow metal frames.
  - o Doors: Condition is fair, with most having some veneer missing and worn finish from years of use. Doors could be re-surfaced with plastic laminate or painted for a fresh appearance.
  - o Door and Sidelites: Are glazed with wire and non-wire glass. These should be re-glazed with fire-rated glazing to comply with current building codes.
  - o Hardware: All knob handles should be replaced with lever handles and keyed alike throughout the building. Classroom doors need to have closers installed.
- Terrazzo Floors: Are in very good condition given the age of the floors.
- Ceramic Tile Floors: Are overall in good condition, but show some staining.
- Carpet Flooring: Condition varies with the age of the carpet. Generally the life expectance is 10 to 12 years for a classroom. Carpet appears to have been laid over the original 9x9 asbestos tile flooring to encapsulate it.
- Vinyl Tile Flooring: Some rooms still have the original 9x9 asbestos tile flooring exposed. Should consider flooring over to encapsulate it.
- Acoustical Ceilings: Majority of ceilings throughout the building are 2x4 suspended acoustical tile. The grid appears to be original and is discolored over time. Condition of tiles varies, but replacing the ceiling system throughout the building would greatly improve the buildings overall appearance.
- Plaster Ceilings: Overall are in good condition with only minor areas needing some patch work and painting.
- Lighting: The majority of the building lighting consists of 2x4 lay-in fluorescent fixtures that have been re-lamed with T8 bulbs. All major rooms have occupancy sensors to control lighting.
- Emergency Lighting: Emergency lighting should be installed throughout the building to comply with current codes.
- Fire Alarm System: Is original and is grandfathered for continued use, however it does not comply with current codes and should be replaced with an audible and visual system.
- Plumbing Fixture Count: Based on gang style toilet rooms and current student population. Note: Gang toilets in locker rooms are not included in the following.
  - o Staff Toilets:
    - Women - 1 water closets required, 5 currently

- Men - 1 water closets required, 6 currently
- Student Toilets:
  - Girls - 9 water closets required, 19 currently
  - Boys - 9 water closet required, 20 currently
- Mechanical: Existing HVAC system for this building consists of a central hot water heating system served by six (6) newer high-efficiency condensing gas boilers. The boilers supply heat to classrooms via vertical unit ventilators. Vestibules and corridors are served by horizontal unit ventilators. Glass storefront walls of corridors are heated with perimeter hot water fin tube radiation. Gymnasium is heated by mezzanine mounted air handling units with hot water heat. Choir and Band Rooms are served by a hot water heating only air handling unit. Administration, Cafeteria, Multi-Media Center and Computer Labs 801, 803 and 804 currently are air conditioned. Ventilation of all other areas of the building is provided by the unit ventilators.
- Electrical: Majority of the lighting fixtures were installed during the original construction and have been converted from T12 fluorescent lamps to T8 fluorescent lamps. The lens of the fixtures are showing their age and many are damaged, yellowed or sagging down out of the fixture frames. Lighting controls in the form of occupancy sensors have been added in classrooms and storage rooms, but not in the corridors. Emergency exit lighting is adequate and provides good coverage for marking the path of egress.



**Inventory of Existing Building Finishes / Conditions:**

Condition of finishes is subjective and based on the following criteria:

**Good:** The finish material appears similar to its original condition and with continued maintenance should last its intended life expectancy. Example: Carpeting rated Good – Surface shows little wear and has an expected remaining life of 8 to 10 years of a 10 to 12 year life.

**Fair:** The finish material shows some wear or condition issues that need maintenance. Example: Carpeting rated Fair – Surface shows wear and/or staining, seams may be showing, and has an expected remaining life of 3 to 4 years.

**Bad:** The finish material is at the end of its life expectancy and needs to be replaced.

100 Corridor	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, stained and some chipped		X	
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Lockers	Metal, 12x12x60			
Borrowlites	Hollow Metal Frame with Wire Glass			
<b>Adjoining Vestibule</b>				
Walls	Brick	X		
Floor	Terrazzo / Recessed Walk-off Matt		X	
Base	Glazed Masonry Tile		X	
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps		X	
Interior Doors	Hollow Metal Doors and Frame		X	
Exterior Doors	Hollow Metal Doors and Frames		X	

101 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Lever door handle			

102 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Base	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Lever door handle			

103 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Base	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Recessed / (2) T8 Lamps		X	
Closet Doors	Wood		X	
	Lever door handle			

104 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet	X		
Base	Glazed CMU Base	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps	X		
Closet Doors	Wood		X	
	Lever door handle			

105A	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Hollow Metal and Glass Lite	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed CMU Base	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps		X	
	Knob door handles			

105 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile		X	
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps	X		
Closet Doors	Wood			
	Knob door handles			

106 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps	X		
Closet Doors	Wood		X	
	Knob door handles			

107 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet, seams showing		X	
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
Folding Partition	Vinyl Covered Gypsum Board, Shared with Classroom 108		X	
	Lever door handle			

108 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile, seams showing		X	
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Closet Doors	Wood		X	
Folding Partition	Vinyl Covered Gypsum Board, Shared with Classroom 107		X	
	Lever door handles			

109 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Lever door handles			

110 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Lever door handles			

110A Workroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile, seams showing		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(1) 2x4 Lay-in / (2) T8 Lamps		X	
	Knob door handles			

200 Corridor	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, stained and chipped		X	
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Lockers	Metal, 12x12x60		X	
Borrowlites	Hollow Metal Frames with Wire Glass			
<b>Adjoining Vestibule</b>				
Walls	Brick	X		
Floor	Terrazzo / Recessed Walk-off Matt	X		
Base	Glazed Masonry Tile		X	

Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(1) 12x4 Lay-in / (4) T8 Lamps		X	
Interior Doors	Hollow Metal Doors and Frame		X	
Exterior Doors	Hollow Metal Doors and Frames		X	

201 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood Lever door handle		X	

202 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood Lever door handle		X	

203 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood Lever door handle		X	

204 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Hollow Metal and Glass Lite	X		
Floor	9x9 Vinyl Tile, patched		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	

Closet Doors	Wood		X	
	Lever door handle			

205 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Hollow Metal and Glass Lite	X		
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Lever door handle			

205A Workrooms	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Hollow Metal and Glass Lite	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Knob door handle			

206 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Lever door handle			

207 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
Folding Partition	Vinyl Covered Gypsum Board, Shared with Classroom 208		X	
	Lever door handle			

208 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
Folding Partition	Vinyl Covered Gypsum Board, Shared with Classroom 207		X	
	Lever door handle			

209 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Lever door handles			

210 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile, seams showing		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(10) 2x4 Lay-in / (4) T8 Lamps		X	
	Lever door handle			
<b>210A Adjoining Workroom</b>				
Walls	Painted CMU	X		
Floors	Carpet Tile, seams showing		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps		X	
	Lever door handle			

300 Corridor	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, stained and some chipped		X	
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Lockers	Metal, 12x12x60		X	
Borrowlites	Hollow Metal Frames with Wire Glass			
<b>Adjoining Vestibule</b>				
Walls	Brick	X		
Floor	Terrazzo / Recessed Walk-off Matt	X		
Base	Glazed Masonry Tile		X	
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps		X	
Interior Doors	Hollow Metal Doors and Frame		X	
Exterior Doors	Hollow Metal Doors and Frames		X	

301 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(10) 2x4 Lay-in / (4) T8 Lamps		X	
	Lever door handle			
<b>301A Adjoining Workroom</b>				
Walls	Painted CMU	X		
Floors	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps		X	
	Knob door handle			

302 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile, patched		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	

Closet Doors	Wood		X	
	Lever door handle			

303 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile	X		
Base	4" Coved Vinyl over Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile	X	X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps	X	X	
Closet Doors	Wood		X	
Folding Partition	Vinyl Covered Gypsum Board, Shared with Classroom 304		X	
Demonstration Table	Wood / Epoxy Resin		X	
	Lever door handle			

304 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile		X	
Base	4" Coved Vinyl over Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
Folding Partition	Vinyl Covered Gypsum Board, Shared with Classroom 303		X	
	Lever door handle			

305 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Closet Doors	Wood		X	
	Lever door handle			

306 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Hollow Metal and Glass, wood covered	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile	X	X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps	X	X	

Closet Doors	Wood		X	
	Lever door handle			

306A Workrooms	Material	Condition		
		Good	Fair	Bad
Walls	Hollow Metal and Glass / Painted CM	X		
Floor	9x9 Vinyl Tile			X
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(?) 2x4 Lay-in / (2) T8 Lamps		X	
Closet Doors	Wood		X	
	Knob door handles			

307 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile	X		
Base	4" Coved Vinyl over Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile	X	X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps	X	X	
Closet Doors	Wood		X	
Demonstration Table	Wood / Plastic Laminate		X	
	Lever door handle			

308 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
Demonstration Table	Wood / Epoxy Resin		X	
	Lever door handle			

309 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	

Demonstration Table	Wood / Epoxy Resin		X	
	Lever door handle			

310 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
Demonstration Table	Wood / Epoxy Resin		X	
	Lever door handle			

400 Corridor	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, stained and some chipped		X	
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(19) 2x4 Lay-in / (4) T8 Lamps		X	
Lockers	Metal, 12x12x60		X	
Borrowlites	Hollow Metal Frames with Wire Glass			
<b>Adjoining Vestibule</b>				
Walls	Brick	X		
Floor	Terrazzo / Recessed Walk-off Matt		X	
Base	Glazed Masonry Tile		X	
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps			X
Interior Doors	Hollow Metal Doors and Frame		X	
Exterior Doors	Hollow Metal Doors and Frames		X	

401A Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps		X	
	Knob door handle			

401 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Knob door handle			

402 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile	X	X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps	X	X	
Closet Doors	Wood		X	
	Lever door handle			

403 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile			X
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
Folding Partition	Vinyl Covered Gypsum Board, shared with Classroom 404		X	
	Knob door handle			

404 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps	X		
Closet Doors	Wood			
Folding Partition	Vinyl Covered Gypsum Board, shared with Classroom 403			
	Knob door handle			

405 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Knob door handle			

406 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile, seams opening up		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Lever door handle			

406A Workroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps		X	
	Knob door handle			

407 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile, seams opening up			X
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Lever door handle			

408 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Lever door handle			

409 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (4) T8 Lamps		X	
Closet Doors	Wood		X	
	Knob door handles			

410 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps		X	
Closet Doors	Wood		X	
	Knob door handle			

500 Corridor	Material	Condition		
		Good	Fair	Bad
Walls	Brick / Hollow Metal Lites / Aluminum Storefront	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, stained and some chipped		X	
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(35) 2x4 Lay-in / (4) T8 Lamps		X	
<b>Adjoining Vestibules</b>				
Walls	Brick	X		
Floor	Terrazzo / Recessed Walk-off Matt		X	
Base	Glazed Masonry Tile		X	

Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps			X
Interior Doors	Hollow Metal Doors and Frame		X	
Exterior Doors	Hollow Metal Doors and Frames			X

501 Copy Room	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU		X	
Floor	Carpet, seams showing		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps		X	
	Lever door handle			

502 Drama	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Brick	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(12) 2x4 Lay-in / (2) T8 Lamps	X		
Folding Partition	Vinyl Coated Gypsum Board, shared with Classroom 512			
Demonstration Table	Wood / Epoxy Resin			
	Lever door handle			

503 Teachers Lounge	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Brick	X		
Floor	Carpet		X	
Base	6" Coved Vinyl	X		
Ceiling	Plaster	X		
Lighting	(4) 2x4 Recessed / (4) T8 Lamps	X		
Casework	Wood / Plastic Laminate		X	
	Push / Pull door handles			

504 Parents Resource Room	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Brick	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	12x12 Acoustical Tile		X	

Lighting	(3) 2x4 Recessed / (4) T8 Lamps		X	
	Knob door handle			

Men's Staff Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile		X	
Floor	1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile, stained		X	
Ceiling	Plaster with skylight, needs painting		X	
Lighting	(2) Recessed Incandescent		X	
Water Closets	Floor Mounted Flush Valve with sensor	X		
Lavatories	Wall Mounted with blade handles and pipe wrap	X		
Urinals	Floor Mounted with sensor	X		
Entry Door	Wood in Hollow Metal Frame			X
<b>Comments:</b>				
1. Restroom is partially ADA Compliant				

Women's Staff Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile, patched and stained		X	
Base	Glazed Masonry Tile, stained		X	
Ceiling	Plaster with skylight, needs painting		X	
Lighting	(2) Recessed Incandescent		X	
Water Closets	Floor Mounted Flush Valve without sensor	X		
Lavatories	Wall Mounted with blade handles and pipe wrap	X		
Entry Door	Wood in Hollow Metal Frame			X
<b>Comments:</b>				
1. Restroom is partially ADA Compliant				

Boys Restroom East of Main Office	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile, patched		X	
Floor	Terrazzo / 1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile, patched and stained		X	
Ceiling	Plaster with skylight, needs painting		X	
Lighting	(3) 1x4 Recessed / (2) T8 lamps		X	
Stall Partitions	Plastic, Floor Mounted	X		
Water Closets	Floor Mounted Flush Valve with and without sensors		X	
Lavatories	Wall Mounted with push handles and hands free operation		X	
Urinals	Floor Mounted with sensors	X		

<b>Comments:</b>				
1. Restroom is partially ADA Compliant				

Girls Restroom East of Main Office	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile, patched		X	
Floor	Terrazzo		X	
Base	Glazed Masonry Tile, patched and stained		X	
Ceiling	Plaster with skylight, needs painting		X	
Lighting	(3) 1x4 Recessed / (2) T8 lamps		X	
Stall Partitions	Plastic, Floor Mounted	X		
Water Closets	Floor Mounted Flush Valve with and without sensors		X	
Lavatories	Wall Mounted with push handles and hands free operation		X	
<b>Comments:</b>				
1. Restroom is partially ADA Compliant				

505 Attendance Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted Gypsum Board / Hollow Metal Lite	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps	X		
	Knob door handle			

506 Health Clinic	Material	Condition		
		Good	Fair	Bad
Walls	Painted Gypsum Board	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(3) 2x4 Lay-in / (4) T8 Lamps, needs lens		X	
	Knob door handles			
<b>Adjoining Restrooms</b>				
Walls	Painted Gypsum Board	X		
Floors	1x1 Ceramic Tile, Stained		X	
Base	4" High Ceramic Tile, Coved		X	
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(1) 2x4 Lay-in / (2) T8 Lamps		X	
Water Closets	Floor Mounted with sensors	X		
Lavatories	Wall Mounted with handles, no pipe wrap		X	

	Knob door handle			
<b>Comments:</b>				
1. Restrooms are not ADA Compliant				

507 Students Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted Gypsum Board / Hollow Metal Lite	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	12x12 Acoustical Tile	X		
Lighting	2x4 Lay-in / (4) T8 Lamps	X		
	Knob door handle			

507C Counseling	Material	Condition		
		Good	Fair	Bad
Walls	Painted Gypsum Board / Hollow Metal Lite	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps	X		
	Knob door handle			

507D Counseling	Material	Condition		
		Good	Fair	Bad
Walls	Painted Gypsum Board / Hollow Metal Lite	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps	X		
	Knob door handle			

507E Counseling	Material	Condition		
		Good	Fair	Bad
Walls	Painted Gypsum Board / Hollow Metal Lite	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps	X		
	Knob door handle			

507F Counseling	Material	Condition		
		Good	Fair	Bad
Walls	Painted Gypsum Board / Hollow Metal Lite	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps	X		
	Knob door handle			

507G Counseling	Material	Condition		
		Good	Fair	Bad
Walls	Painted Gypsum Board / Hollow Metal Lite	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps	X		
	Knob door handle			

508 Main Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted Gypsum Board / Hollow Metal Lite	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile, mismatched		X	
Lighting	2x4 Lay-in / (4) T8 Lamps	X		
	Knob door handle			

508A Assistant Principal	Material	Condition		
		Good	Fair	Bad
Walls	Painted Gypsum Board / Hollow Metal Lite	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile, mismatched	X		
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps	X		
	Lever door handle			

508B Assistant Principal	Material	Condition		
		Good	Fair	Bad
Walls	Painted Gypsum Board / Hollow Metal Lite	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile, mismatched	X		

Lighting	(2) 2x4 Lay-in / (4) T8 Lamps	X		
	Lever door handle			

509 Principal	Material	Condition		
		Good	Fair	Bad
Walls	Painted Gypsum Board / Hollow Metal Lite	X		
Floor	Carpet	X		
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile, mismatched	X		
Lighting	(3) 2x4 Lay-in / (4) T8 Lamps	X		
	Knob and Lever door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster, needs painting		X	
Lighting	(1) Recessed Incandescent		X	
Water Closet	Floor Mounted without sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	

Boys Restroom West of Main Office	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile, stained and needs tuckpointing		X	
Floor	Terrazzo / 1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile, stained		X	
Ceiling	Plaster with skylight, needs painting		X	
Lighting	(3) 1x4 Recessed / (2) T8 lamps		X	
Stall Partitions	Plastic Laminate, Floor Mounted		X	
Water Closets	Floor Mounted Flush Valve with and without sensors		X	
Lavatories	Wall Mounted with push handles, no pipe wrap		X	
Urinals	Floor Mounted without sensors	X		
<b>Comments:</b>				
1. Restroom is partially ADA Compliant				

Girls Restroom West of Main Office	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile, needs tuckpointing		X	
Floor	Terrazzo		X	
Base	Glazed Masonry Tile, stained		X	
Ceiling	Plaster with skylight, needs painting		X	
Lighting	(5) 1x4 Recessed / (2) T8 lamps			X

Stall Partitions	Plastic, Floor Mounted	X		
Water Closets	Floor Mounted Flush Valve with and without sensors		X	
Lavatories	Wall Mounted with push handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is partially ADA Compliant				

510 Teacher's Lounge	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	Carpet / Sheet Vinyl		X	
Base	Brick	X		
Ceiling	12x12 Acoustical Tile, some staining		X	
Lighting	(6) 1x4 Recessed / (2) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handle			

Women's Staff Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile , needs tuckpointing		X	
Floor	1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile, stained		X	
Ceiling	Plaster with skylight, needs painting		X	
Lighting	(3) 1x4 Recessed / (2) T8 Lamps		X	
Stall Partitions	Metal, Floor Mounted		X	
Water Closets	Floor Mounted Flush Valve with sensor		X	
Lavatories	Wall Mounted with handles, no pipe wrap		X	
Entry Door	Wood in Hollow Metal Frame			X
	Push / Pull door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

Corridor to Staff Restrooms	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps		X	

Men's Staff Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile, needs tuckpointing		X	
Floor	1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile, stained		X	
Ceiling	Plaster with skylight, needs painting		X	
Lighting	(3) 1x4 Recessed / T8 Lamps			X
Stall Partitions	Metal, Floor Mounted			X
Water Closets	Floor Mounted Flush Valve without sensor	X		
Lavatories	Wall Mounted with handles, no pipe wrap	X		
Urinals	Wall Mounted without sensor	X		
Entry Door	Wood in Hollow Metal Frame			X
	Push / Pull door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

511 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Brick	X		
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Tile / Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 Lamps		X	
Folding Partition	Vinyl Coated Gypsum Board, shared with Classroom 512		X	
Demonstration Table	Wood / Epoxy Resin		X	
	Lever door handle, new			

512 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 Lamps		X	
Folding Partition	Vinyl Coated Gypsum Board, shared with Classroom 511		X	
Demonstration Table	Wood / Epoxy Resin		X	
	Knob door handles			

513 Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU		X	
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(1) 2x4 Lay-in / (2) T8 Lamps		X	
	Lever door handles			

600E Corridor	Material	Condition		
		Good	Fair	Bad
Walls	Brick / Hollow Metal and Glass Lites / Aluminum Storefront	X		
Floor	Terrazzo			
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(24) 2x4 Lay-in / (4) T8 Lamps	X		

600W Corridor	Material	Condition		
		Good	Fair	Bad
Walls	Brick / Hollow Metal and Glass Lites / Aluminum Storefront	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, stained and some chipped		X	
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(19) 2x4 Lay-in / (4) T8 Lamps		X	
<b>Adjoining Vestibule</b>				
Walls	Brick	X		
Floor	Terrazzo / Recessed Walk-off Matt		X	
Base	Glazed Masonry Tile		X	
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(1) 2x4 Lay-in / (4) T8 Lamps			X
Interior Doors	Hollow Metal Doors and Frame		X	
Exterior Doors	FRP Doors in Aluminum Frames	X		

Boys Restroom West of Gym	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile, patched		X	
Floor	Terrazzo / 1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile, stained		X	
Ceiling	Plaster		X	

Lighting	(3) 1x4 Recessed / (2) T8 lamps			X
Stall Partitions	Metal, Floor Mounted, newer but only 3'-10" deep	X		
Water Closets	Floor Mounted Flush Valve with sensors	X		
Lavatories	Wall Mounted with push handles and hands free operation	X		
Urinals	Floor Mounted with sensors	X		
<b>Comments:</b>				
1. Restroom is partially ADA Compliant				

Girls Restroom West of Gym	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, stained		X	
Ceiling	Plaster	X		
Lighting	(3) 1x4 Recessed / (2) T8 lamps		X	
Stall Partitions	Metal, Floor Mounted, newer	X		
Water Closets	Floor Mounted Flush Valve with sensors	X		
Lavatories	Wall Mounted with push handles and hands free operation	X		
<b>Comments:</b>				
1. Restroom is partially ADA Compliant				

601 Gymnasium	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile Wainscot / Painted CMU		X	
Floor	Strip Wood	X		
Base	Aluminum Angle	X		
Ceiling	Steel Beams / Perforated Metal Deck	X		
Lighting	(24) 2x4 Chain Hung / (4) T8 Lamps	X		
Bleacher Seating	Plastic Seats, 8 rows	X		
<b>Adjoining Office A</b>				
Used for Storage				
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	12x12 Acoustical Tile			X
Lighting	(2) 1x4 Recessed / (2) T8 Lamps			X
	Knob door handle			
<b>Adjoining Office B</b>				
Walls	Painted CMU	X		
Floor	Carpet			X
Base	Glazed Masonry Tile	X		
Ceiling	12x12 Acoustical Tile			X

Lighting	(2) 1x4 Recessed / (2) T8 Lamps			X
	Lever door handle			

East Stairway to Boys Locker Room	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile Floor / 2x2 Ceramic Tile Treads		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster, needs some patching and painting		X	
Lighting	(1)1x4 Recessed / (2) T8 Lamps / (1) Sodium Wall-Pac		X	

West Stairway to Girls Locker Room	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile	X		
Floor	2x2 Ceramic Tile Treads	X		
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		
Lighting	(1) 1x4 Recessed / (2) T8 Lamps	X		

Corridor connecting Stairways	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile		X	
Floor	1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile		X	
Ceiling	Plaster, needs patching and painting		X	
Lighting	(12) 1x4 Recessed / (2) T8 Lamps, missing lens, rusting		X	

602 Pool	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile, some staining		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x2 Suspended Acoustical Tile	X		
Lighting	(24) 2x2 Lay-in / (??) T8 Lamps	X		
Exterior Doors	Aluminum Doors and Frames		X	
<b>Pool Balcony</b>				
Walls	Glazed CMU / Hollow Metal Lites	X		
Floor	Concrete		X	

Base	Glazed CMU	X		
Ceiling	Plaster	X		
Lighting	No Lighting			
Bench Seats	Wood	X		

603 Pool Office	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Aluminum Storefront	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		
Lighting	(1) 1x4 Recessed / (2) T8 Lamps	X		

604 Boys Locker Room	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile, needs some tuckpointing		X	
Floor	1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile		X	
Ceiling	Plaster, patching and painting required		X	
Lighting	(8) 1x4 Recessed / (2) T8 Lamps	X		
Lockers	3 Tier, Metal	X		
<b>Adjoining Cage Area</b>				
Walls	Glazed Masonry Tile, needs patching and tuckpointing		X	
Floor	1x1 Ceramic Tile, chipped		X	
Base	Glazed Masonry Tile		X	
Ceiling	Plaster		X	
Lighting	(2) 1x4 Recessed / (2) T8 Lamps			X
<b>Adjoining Shower</b>				
Walls	Glazed Masonry Tile, needs some tuckpointing		X	
Floor	1x1 Ceramic Tile	X		
Base	1x1 Ceramic Tile	X		
Ceiling	Plaster, needs painting		X	
Lighting	(3) 1x4 Recessed / (2) T8 Lamps	X		
Shower Units	Wall Mounted with knob handles			
<b>Varsity Swim Room</b>				
Walls	Glazed Masonry Tile, needs some tuckpointing		X	
Floor	1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile		X	
Ceiling	Plaster		X	

Lighting	(2) 1x4 Recessed / (2) T8 Lamps			X
Entry Door	Hollow Metal Door and Frame, needs painting		X	
<b>North Restroom</b>				
Walls	Glazed Masonry Tile, needs some tuckpointing		X	
Floor	1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile		X	
Ceiling	Plaster	X		
Lighting	(2) 1x4 Recessed / (2) T8 Lamps	X		
Stall Partitions	Painted CMU, no doors	X		
Water Closets	Floor Mounted Flush Valve with sensors	X		
Lavatories	Wall Mounted with push handles, no pipe wrap		X	
Urinals	Floor Mounted with sensors, one continually running		X	
<b>Comments:</b>				
1. Restroom is not ADA compliant.				
<b>South Restroom</b>				
Walls	Glazed Masonry Tile, patched		X	
Floor	1x1 Ceramic Tile, patched		X	
Base	Glazed Masonry Tile		X	
Ceiling	Plaster		X	
Lighting	(1) 1x4 Recessed / T8 Lamps	X		
Stall Partitions	Plastic, Floor Mounted, newer	X		
Water Closet	Floor Mounted Flush Valve with sensor	X		
Lavatories	Wall Mounted with push handles, no pipe wrap		X	
Urinals	Wall Mounted with and without sensors	X		
<b>Comments:</b>				
1. Restroom is ADA compliant.				

604A Office	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile, some chipping		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		
Lighting	(2) 1x4 Recessed / (2) T8 Lamps		X	
	Knob door handles			
<b>Adjoining Lockers</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		
Lighting	(1) 1x4 Recessed / (2) T8 Lamps	X		
Lockers	(6) Single Tier, Metal		X	

<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster		X	
Lighting	(1) 1x4 Recessed / (2) T8 Lamps / (1) Incandescent in Shower	X		
Water Closet	Floor Mounted Flush Valve with sensor	X		
Lavatory	Wall Mounted with blade handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA compliant.				

606 Girls Locker Room	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, stained		X	
Ceiling	Plaster, needs painting		X	
Lighting	(8) 1x4 Recessed / (2) T8 Lamps, broken lens		X	
Lockers	Single Tier, Metal			X
<b>Adjoining Cage Area</b>				
Walls	Glazed Masonry Tile, needs patching and tuckpointing		X	
Floor	1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile		X	
Ceiling	Plaster		X	
Lighting	(2) 1x4 Recessed / (2) T8 Lamps			X
<b>Adjoining Shower</b>				
Walls	Glazed Masonry Tile, patched		X	
Floor	1x1 Ceramic Tile, patched		X	
Base	1x1 Ceramic Tile, patched		X	
Ceiling	Plaster, needs painting		X	
Lighting	(3) 1x4 Recessed / (2) T8 Lamps	X		
Shower Units	Wall Mounted with knob handles			
<b>Hair Drying</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile, stained		X	
Ceiling	Plaster	X		
Lighting	(2) 1x4 Recessed / (2) T8 Lamps	X		

<b>North Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile		X	
Ceiling	Plaster	X		
Lighting	(2) 1x4 Recessed / (2) T8 Lamps	X		
Stall Partitions	Metal, Floor Mounted			X
Water Closets	Floor Mounted Flush Valve with and without sensors	X		
Lavatories	Wall Mounted with push handles, no pipe wrap		X	

**Comments:**

- Restroom is not ADA compliant.

<b>South Restroom</b>				
Walls	Glazed Masonry Tile, patched	X		
Floor	1x1 Ceramic Tile, patched and stained		X	
Base	Glazed Masonry Tile, stained		X	
Ceiling	Plaster	X		
Lighting	(1) 1x4 Recessed / T8 Lamps	X		
Stall Partitions	Plastic, Floor Mounted, newer	X		
Water Closet	Floor Mounted Flush Valve without sensor	X		
Lavatories	Wall Mounted with push handles, no pipe wrap		X	

**Comments:**

- Restroom is partially ADA compliant.

606A Office	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		
Lighting	(2) 1x4 Recessed / (2) T8 Lamps	X		
	Knob door handles			
<b>Adjoining Lockers</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		
Lighting	(1) 1x4 Recessed / (2) T8 Lamps	X		
Lockers	(6) Single Tier, Metal		X	
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile, stained		X	
Base	Glazed Masonry Tile	X		

Ceiling	Plaster	X		
Lighting	(1) 1x4 Recessed / (2) T8 Lamps / (1) Incandescent in Shower	X		
Water Closet	Floor Mounted Flush Valve with sensor	X		
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA compliant.				

605 Psychical Therapy	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile		X	
Floor	1x1 Ceramic Tile, needs patching		X	
Base	Glazed Masonry Tile		X	
Ceiling	Plaster, needs patching and painting		X	
Lighting	(3) 1x4 Recessed / (2) T8 Lamps			X
	Knob door handles			

610 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(9) 2x4 Lay-in / (2) T8 Lamps	X		
	Knob door handles			

701 Multi-Media Center	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	Carpet			X
Base	Glazed Masonry Tile, some loose at columns		X	
Ceiling	2x4 Suspended Acoustical Tile / Gypsum Board Bulkheads			X
Lighting	2x4 Lay-in / (4) T8 Lamps	X		
Exterior Doors	Aluminum Door and Frame, have been painted		X	
	Knob door handles			

701A AV Storage	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Brick	X		
Floor	12x12 Vinyl Tile	X		
Base	Glazed Masonry Tile / Brick	X		
Ceiling	12x12 Acoustical Tile		X	

Lighting	(6) 2x4 Recessed / (4) T8 Lamps		X	
	Knob door handles			

701B Workroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Brick	X		
Floor	12x12 Vinyl Tile	X		
Base	Glazed Masonry Tile / Brick	X		
Ceiling	Plaster		X	
Lighting	(3) 2x4 Surface Mounted / (4) T8 Lamps			X
Casework	Wood / Plastic Laminate		X	
	Knob door handles			

701C Book Storage	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Brick / Painted Gypsum Board	X		
Floor	12x12 Vinyl Tile	X		
Base	Glazed Masonry Tile / Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			

701D Book Storage	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Brick / Painted Gypsum Board	X		
Floor	12x12 Vinyl Tile	X		
Base	Glazed Masonry Tile / Brick	X		
Ceiling	2x4 Suspended Acoustical Tile, missing tile and gird			X
Lighting	(3) 2x4 Surface Mounted / (4) T8 Lamps			X
	Knob door handles			

701-01 Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	Glazed Masonry Tile	X		
Ceiling	12x12 Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps		X	
	Knob door handles			

701-02 Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	Glazed Masonry Tile	X		
Ceiling	12x12 Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps		X	
	Knob door handles			

701-03 Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	Glazed Masonry Tile	X		
Ceiling	12x12 Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps		X	
	Knob door handles			

701-04 Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	Glazed Masonry Tile	X		
Ceiling	12x12 Acoustical Tile		X	
Lighting	(2) 2x4 Recessed / (4) T8 Lamps		X	
	Knob door handles			

701-05 Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	Glazed Masonry Tile	X		
Ceiling	12x12 Acoustical Tile		X	
Lighting	(2) 2x4 Recessed / (4) T8 Lamps		X	
	Knob door handles			

Boys Restroom (Library)	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile	X		

Ceiling	12x12 Acoustical Tile			X
Lighting	(1) Recessed Incandescent		X	
Water Closet	Floor Mounted Flush Valve with sensor		X	
Lavatory	Wall Mounted with blade handles and pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

Girls Restroom (Library)	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	12x12 Acoustical Tile		X	
Lighting	(1) Recessed Incandescent		X	
Water Closet	Floor Mounted Flush Valve without sensor		X	
Lavatory	Wall Mounted with blade handles and pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

702 Cafeteria	Material	Condition		
		Good	Fair	Bad
Walls	Brick / Hollow Metal Lite	X		
Floor	9x9 Vinyl Tile, some patching		X	
Base	Brick, stained from mopping		X	
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(43) 2x4 Lay-in / (4) T8 Lamps	X		
Vestibule Doors	Hollow Metal Doors and Frames		X	
Exterior Doors	Aluminum Doors and Frames			X

703 Serving	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile	X		
Floor	Quarry Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 Lamps		X	
	Push / Pull door handles			

704 Kitchen	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile, some staining	X		
Floor	Quarry Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(17) 2x4 Lay-in / (4) T8 Lamps	X		
	Knob door handles			
<b>Adjoining Storage</b>				
Walls	Glazed Masonry Tile		X	
Floor	Quarry Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	Plaster, needs patching and painting		X	
Lighting	(1) 1x4 Recessed / (2) T8 Lamps		X	

705 Kitchen Storage	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor			X	
Base	Glazed Masonry Tile	X		
Ceiling	12x12 Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps		X	
	Knob door handles			

706 Cooks Lockroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster, needs patching and paint			X
Lighting	(1) 1x4 Recessed / (2) T8 Lamps		X	
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster		X	
Lighting	(1) Recessed Incandescent		X	
Water Closet	Floor Mounted without sensor	X		
Lavatory	Wall Mounted with handles, no pipe wrap		X	

707 Dietician	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Brick / Wall Padding	X		
Floor	9x9 Vinyl Tile / Mats		X	
Base	Glazed Masonry Tile / Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(18) 2x4 Lay-in / (4) T8 Lamps, missing lens			X
Folding Partition	Vinyl Coated Gypsum Board		X	
	Knob door handles			

701/709 Wrestling Practice	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	Glazed Masonry Tile	X		
Ceiling	12x12 Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps		X	
	Knob door handles			

800 Corridor	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	Terrazzo		X	
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	2x4 Lay-in / (4) T8 Lamps	X		
Classroom Doors	Wood in Hollow Metal Frames			
Exterior Doors	Hollow Metal Doors and Frames			

801 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile		X	
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(15) 2x4 Lay-in / (4) T8 Lamps	X		
Closet Door	Wood in Hollow Metal Frame			
Casework	Wood / Plastic Laminate			
	Knob door handles			

802 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile		X	
Base	4" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(15) 2x4 Lay-in / (4) T8 Lamps	X		
Closet Door	Wood in Hollow Metal Frame			
Casework	Wood / Plastic Laminate			
	Knob door handles			

803 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(23) 2x4 Lay-in / (4) T8 Lamps	X		
Closet Door	Wood in Hollow Metal Frame			
Folding Partition	??, shared with Classroom 804			
	Knob door handles			

804 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(23) 2x4 Lay-in / (4) T8 Lamps	X		
Closet Door	Wood in Hollow Metal Frame			
Folding Partition	??, shared with Classroom 803			
	Knob door handles			

805 Classroom	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Strip Wood Flooring		X	
Base	Rubber	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(12) 2x4 Lay-in / (4) T8 Lamps	X		
Exterior Door	Aluminum and Glass			
	Knob door handles			

<b>805A Adjoining Storage</b>				
Walls	Painted CMU			
Floor	Concrete			
Base	Painted CMU			
Ceiling	Plaster			
Lighting	(2) Surface Mounted Incandescent			
Door	Hollow Metal Door and Frame			

<b>806 Classroom</b>	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Strip Wood Flooring		X	
Base	Rubber	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(12) 2x4 Lay-in / (4) T8 Lamps	X		
Exterior Door	Aluminum and Glass Knob door handles			

<b>807 Classroom</b>	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile		X	
Base	Glazed Masonry Brick	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(13) 2x4 Lay-in / (4) T8 Lamps	X		
Closet Door	Wood in Hollow Metal Frame Knob door handles			
<b>807A Adjoining Storage</b>	Adjoins with Classroom 808			
Walls	Painted CMU			
Floor	12x12 Vinyl Tile			
Base	Glazed Masonry Brick			
Ceiling	Plaster			
Lighting	(4) 2x4 Surface Mounted / (2) T8 Lamps			

<b>900 Corridor</b>	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	Terrazzo		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile	X		

Lighting	2x4 Lay-in / (4) T8 Lamps	X		
Classroom Doors	Wood in Hollow Metal Frames			
Exterior Doors	Hollow Metal Doors and Frames			

901 Choir	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile / Gypsum Board Bulkheads	X		
Lighting	(30) 2x4 Lay-in / (4) T8 Lamps	X		
Exterior Door	Hollow Metal Door and Frame			
	Knob Door Handles			
<b>Adjoining Office</b>				
Walls	Painted CMU			
Floor	12x12 Vinyl Tile			
Base	Glazed Masonry Tile			
Ceiling	2x4 Suspended Acoustical Tile			
Lighting	(2) 2x4 Lay-in / (4) T8 Lamps			

902 Storage	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		
Lighting	(2) 2x4 Surface Mounted / (4) T8 Lamps	X		
Doors	Wood Doors in Hollow Metal Frames			

903 Instrument Storage	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		
Lighting	(3) 2x4 Surface Mounted / (4) T8 Lamps	X		
Doors	Wood Doors in Hollow Metal Frames			

904 Band	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile / Gypsum Board Bulkhead		X	
Lighting	(40) 2x4 Lay-in / (4) T8 Lamps	X		
Exterior Door	Hollow Metal Door and Frame Knob door handles		X	
<b>Adjoining Office</b>				
Walls	Painted CMU			
Floor	Carpet			
Base	Glazed Masonry Tile			
Ceiling	Plaster			
Lighting	(2) 2x4 Surface Mounted / (4) T8 Lamps			

904A Practice	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(12) 2x4 Lay-in / (4) T8 Lamps		X	
Interior Doors	Wood Doors in Hollow Metal Frames		X	
Exterior Door	Hollow Metal Door and Frame			X

## Swartz Creek Middle School

1968 Original Construction

134,223 sf

### Mechanical Systems

Existing heating ventilation and air conditioning (HVAC) system description:

The existing HVAC system for this building consists of a central hot water heating system served by six (6) newer high-efficiency 94-95% condensing natural gas Lochinvar Sync boilers, each rated at 1,500,000 btuh , for a total heating capacity of 9,000,000 btuh.

The boilers supply heat to the classrooms via vertical unit ventilators. The corridors and vestibule are served by horizontal unit ventilators. The corridor around the courtyard is heated with perimeter hot water fin tube radiation. The Gymnasium is heated by mezzanine mounted air handling units with hot water heat. The Music and Band Room area is served by a Trane 4 zone hot water heating only multi-zone air handling unit.

The Cafeteria, Administration Offices, Media Center and Computer Labs 801, 803, and 804 areas currently have air conditioning. The pool area is served by a newer rooftop gas fired DX cooling pool dehumidification unit. The remainder of the school does not have cooling capabilities. Ventilation for the school is provided by the unit ventilators.

### Electrical Systems

#### Electrical Service/Power Distribution

The main distribution is original consisting of a 1600 amp 480/277 volt FPE bolted pressure switch main disconnect with SMXB distribution switches located in the boiler room. The main distribution is full with several disconnects bolted to the enclosure assumed to be tapped from the bus. An "X panel" main service tap, disconnect and emergency "X" panel is still utilized to feed original night light, fire alarm and exit lighting. Branch circuit panel boards, wiring, and general purpose receptacles are from the original installation with select new devices in remodeled areas only. Classrooms have some surface raceway and computer rooms have power poles to feed the dense receptacle loads.

There is a small (approx 10 kw) emergency generator installed in 2007 located in the courtyard utilized to feed the main office.

*Recommendation:*

1. *Replace the obsolete FPE 1600 amp 480/277 volt electrical distribution.*
2. *Remove the "X panel" and add/refeed emergency loads via :*
  - a. *A new emergency generator*
  - b. *A new inverter*
  - c. *Individual battery units within the fixtures*
3. *Test, clean and grease all distribution panels.*
4. *Replace branch circuit breaker panel boards with new.*

Lighting

Interior:

A majority of the lighting fixtures are from original construction which have been converted from T12 fluorescent lamps to T8 fluorescent lamps. The lenses of the fixtures are showing their age and many are damaged, yellowed or sagging down out of the fixture frames.

The exit lights have been replaced and added over the years and provide good coverage for marking the path of egress. They are typically equipped with two emergency lighting heads which appear to be the only emergency egress lighting source.

Lighting controls in the form of occupancy sensors have been added in classrooms, storage rooms etc. but were not seen in the corridors.

Exterior:

Exterior lighting is very limited with a few light poles along the north property line and one light pole along the main entry sidewalk. There are also building mounted masts with HID flood lights. Some, but not all, exit doors are equipped with light fixtures. In General the exterior lighting is inadequate and is past its useful life.

*Recommendation:*

1. *Lighting upgrades should be considered to be replaced with new high efficient LED lighting with added controls to meet current Michigan energy code requirements.*
2. *Emergency egress lighting is deficient and needs to be added throughout the building's interior and exit discharge areas.*
3. *Exterior lighting including building mounted and parking lot lighting should be replaced and added.*

4. *The gym lighting although fairly new appears to have low lighting levels in compared to the other school gymnasiums. LED lighting could be utilized to replace the existing to save energy costs.*
5. *Replace exit and emergency lighting with new and associated wiring to meet current Life Safety and building codes.*

### Fire Alarm

The Fire Alarm system is an original Simplex brand system with limited bells and pulls stations. There is a newer Simplex brand 4010 panel also in the boiler room which was installed and utilized only for the duct smoke detectors installed with the mechanical equipment in 2009. The two panels are “cross tied”. The fire alarm system is deficient and does not meet current Life Safety and building codes.

#### *Recommendation:*

1. *Replace the fire alarm system with new.*

### Systems

**Public Address system** is a Simplex (5110) brand DITEK from appx 1998. It appears to be functional but based on its age is most likely limited in its maintainability and expansion options. Speakers are located in the walls of the classrooms and in the ceiling of the corridors. There is a handset phone in each classroom typically at the door.

There is a Simplex brand **Master Clock system** that appears to be functional with clocks in each classroom and the corridors.

**Data** systems appear to be up to date with data outlets at the teachers desk in each classrooms and Cisco wireless access points (wi fi) throughout the corridors and common spaces surface mounted in the lay in ceilings

#### *Recommendation:*

1. *Consider replacing PA system front end equipment if maintenance and/or expanded options are a need.*

### **Code Deficiencies:**

- All main entrances are not ADA compliant.
- Pool exits to outdoors are not ADA compliant.
- Stairways to locker rooms are not enclosed fire rated structures.
- Connecting hallway between locker room stairways on lower level is less than 6 feet wide.
- Classroom corridor doors lack closers.
- Some classroom corridor doors have knob handles in lieu of levers.
- Corridor borrowlites not glazed with fire rated glazing.
- Corridor walls do not extended to underside of roof deck.
- Classrooms do not have emergency egress windows.
- Classrooms 502, 511, 512, 610 and 709 do not have windows or exit doors.
- Toilet rooms are not ADA compliant.
- Emergency lighting insufficient throughout building.
- Fire alarm is not an audio/visual system.

### **Suggested Facility Upgrades:**

- Improve flow at parent student drop-off area.
- Increase visitor/staff parking at main entrance.
- Provide additional site lighting.
- Increase building security at main entrance.
- Replace storefront/window units with new storefront and wall infill.
- Replace all hollow metal entry doors and frames.
- Replace corridor lockers and increase quantity by 150 located within Corridor 500.
- Refurbish/reconstruct Room 502 for Multi-Purpose Room.
- Replace folding partition walls with fixed wall construction.
- Install whiteboards with interactive projectors in all classrooms.
- Remove existing demonstration tables from former Science rooms.
- Refurbish Multi-Media Center including infilling recessed seating area.
- Expand Multi-Media Center.
- Refurbish Cafeteria to improve accessibility, sound, appearance and overall use.
- Expand Cafeteria.
- Infill part of interior courtyard for Student Commons Area.
- Refurbish Chorus Room to improve appearance, technology and overall use.
- Refurbish Band Room.
- Provide new band instrument storage lockers.

- Provide new classroom furniture.
- Replace ceilings and lighting.
- If needed, replace existing corridor roll down security grilles with cross corridor doors linked to fire alarm system.
- Air condition building.
- Upgrade public address system equipment.
- Upgrade electrical distribution system.
- Upgrade technology.

## **SWARTZ CREEK MIDDLE SCHOOL**

<b>Proposed Site Work:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Concrete Walk Replacement	8700 sq feet	\$ 87,000.00
New Concrete Walks	4240 sq feet	\$ 29,680.00
Reconstruct Visitors Asphalt Parking Lot	49,000 sq feet	\$ 212,250.00
Construct Additional Visitors Parking	53,000 sq feet	\$ 350,450.00
Construct Parent Drop-off Lane along Crapo Street	530 linear feet (10,600 sq feet)	\$ 78,200.00
Construct Bus Drop-off and Additional Parking North of Pool	49,600 sq feet	\$ 320,440.00
Reconstruct North Parking Lot	63,200 sq feet	\$ 192,900.00
Construct Ramp from Pool Exit Doors	160 linear feet (640 sq feet)	\$ 48,000.00
Reface Existing Stone Retaining Walls	Lump Sum	\$ 35,000.00
Install Site Lighting	15 poles / 30 building	\$ 105,000.00
<b>Total Opinion of Probable Cost of Site Work:</b>		<b>\$1,458,920.00</b>

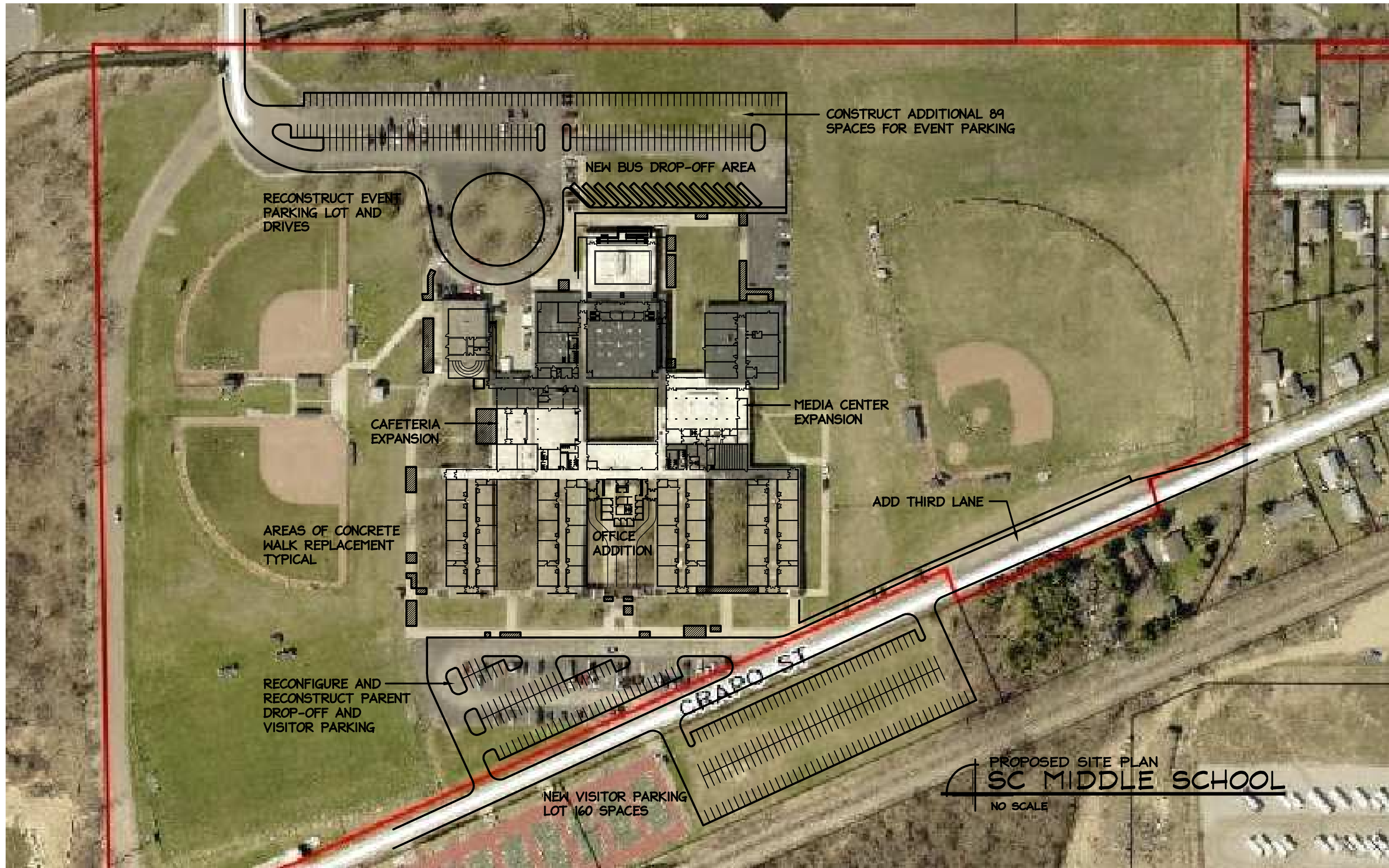
<b>Proposed Code Upgrades:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Install Closers on Corridor Doors	116 units	\$ 54,000.00
Install Lever Handles on Doors	75 units	\$ 37,500.00
Replace Borrowlites with Rated Wall	500 linear feet (6' high)	\$ 95,000.00
Install Fire-rated Glazing in Corridor Doors and Lites	3750 sq feet	\$ 262,500.00
Renovate Student Gang Toilet Rooms	1700 sq feet	\$ 170,000.00
Renovate Staff Gang Toilet Rooms	400 sq feet	\$ 40,000.00
Install Emergency Egress Windows in Classrooms of 100/200/300/400 Wings	80 units	\$ 125,000.00
Replace Windows and Add Emergency Egress Windows in 800 Wing	92 linear feet	\$ 11,500.00
Add Emergency Egress Windows in 502/512/610	3 units	\$ 6,000.00
Enclose Stairways from Gym to Locker Rooms with Fire-rated Construction	Lump Sum	\$ 24,000.00

Upgrade Emergency Lighting	Lump Sum	\$ 110,000.00
Replace Fire Alarm System	Lump Sum	\$ 400,000.00
<b>Total Opinion of Probable Cost of Code Deficiencies:</b>		<b>\$1,335,500.00</b>

<b>Proposed Building Renovation Work:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Replace Storefront Assemblies with Windows and Infill Wall	800 linear feet	\$ 100,000.00
Replace Main Entry Doors	20 double leaf (10 ft x 10 ft)	\$ 110,000.00
Replace Exit Doors	9 single leaf	\$ 27,000.00
Replace Pool Storefront / Doors	26 linear feet (13 ft x 20 ft with 4 doors)	\$ 36,000.00
Replace / Install Carpet Flooring	1400 yards	\$ 42,000.00
Replace Corridor Locker Units	864 units	\$ 144,600.00
Add Locker Units in Corridor 500	150 units	\$ 22,500.00
Replace Folding Partitions with Fixed Walls (Stud and Gypsum)	214 linear feet	\$ 16,500.00
Replace Corridor Ceilings	25,660 sq feet	\$ 154,000.00
Replace Corridor Lighting Fixtures		\$ 154,000.00
Renovate Cafeteria	5000 sq feet	\$ 275,000.00
Renovate Multi-Media Center	5400 sq feet	\$ 297,000.00
Remove Demonstration Tables	8 units	\$ 2,600.00
Renovate Room 502 into Multi-Purpose Room	1850 sq feet	\$ 101,750.00
Renovate Chorus Room with New Finishes	1700 sq feet	\$ 51,000.00
Renovate Band Room with New Finishes	2150 sq feet	\$ 64,500.00
Replace Band Instrument Storage Lockers	Lump Sum	\$ 54,000.00
Replace Overhead Coiling Security Grilles in Corridors with Doors	4 units	\$ 26,000.00
New Classroom Furniture	47 Classrooms	\$ 752,000.00
Replace Master Clock System	Lump Sum	\$ 80,000.00
Replace Electrical Distribution System	Lump Sum	\$ 50,000.00

Air Condition Building	Lump Sum	\$1,400,000.00
Reroof Portions of Building	35,000 sq feet	\$ 210,000.00
<b>Technology Upgrades</b>		
Upgrade Public Address System	Lump Sum	\$ 50,000.00
Electronic Door Access System	69 doors	\$ 111,800.00
Security Camera System	48 cameras	\$ 96,000.00
Chrome Books and Carts	550 units / 17 carts	\$ 153,000.00
Smart Boards	35 units	\$ 262,500.00
<b>Total Opinion of Probable Cost of Building Renovation Work:</b>		<b>\$4,843,750.00</b>

<b>Proposed Building Additions:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Construct New Office	4600 sq feet	\$1,012,000.00
Renovate Existing Office Area to Common Area	3520 sq feet	\$ 281,600.00
Expand Multi-Media Room	585 sq feet	\$ 93,600.00
Expand Cafeteria Space	665 sq feet	\$ 106,400.00
<b>Total Opinion of Probable Cost of Building Additions:</b>		<b>\$1,493,600.00</b>



CONSTRUCT ADDITIONAL 89 SPACES FOR EVENT PARKING

NEW BUS DROP-OFF AREA

RECONSTRUCT EVENT PARKING LOT AND DRIVES

MEDIA CENTER EXPANSION

CAFETERIA EXPANSION

ADD THIRD LANE

OFFICE ADDITION

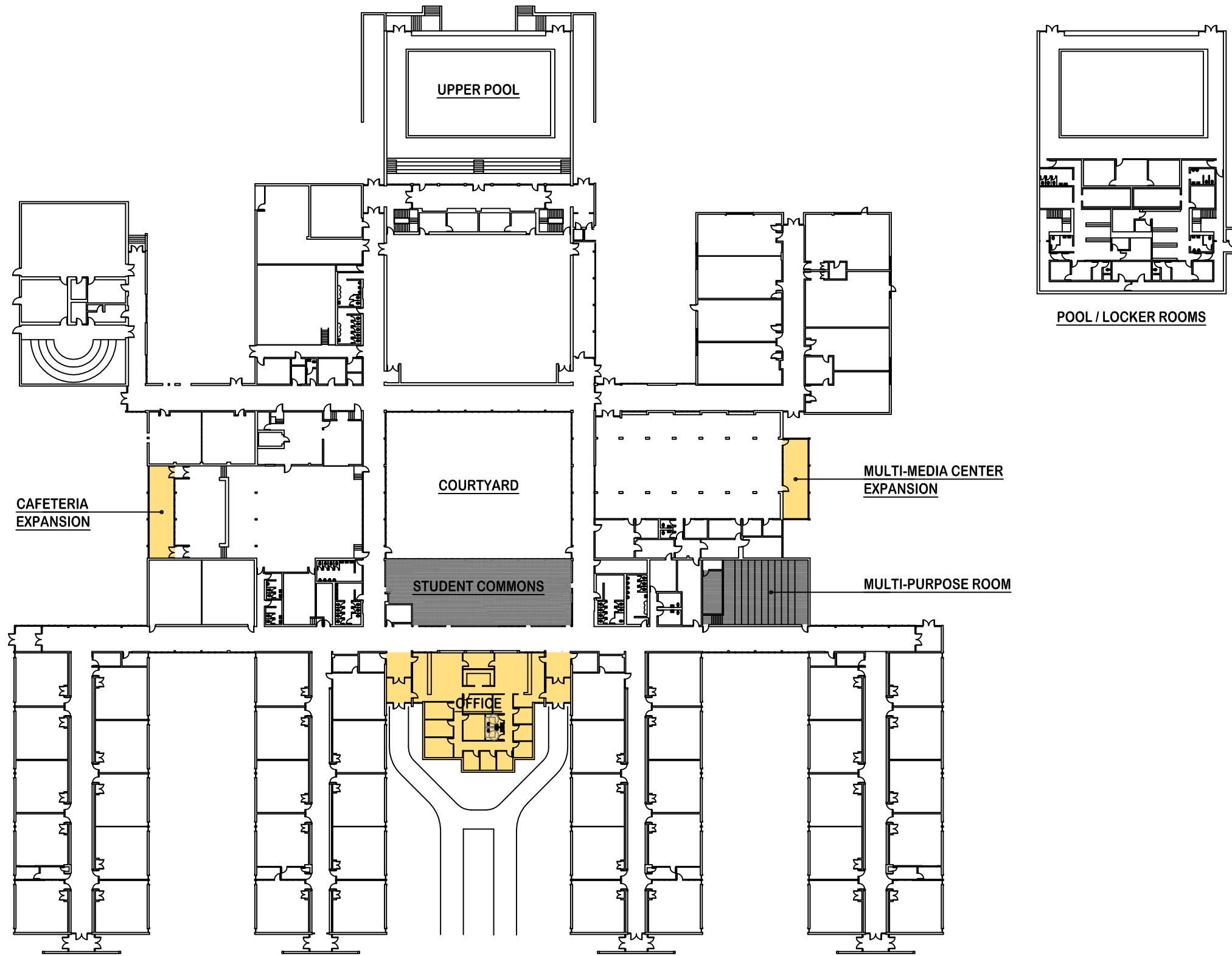
AREAS OF CONCRETE WALK REPLACEMENT TYPICAL

RECONFIGURE AND RECONSTRUCT PARENT DROP-OFF AND VISITOR PARKING

NEW VISITOR PARKING LOT 160 SPACES

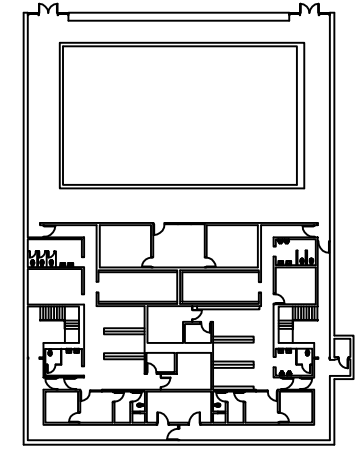
PROPOSED SITE PLAN  
**SC MIDDLE SCHOOL**

NO SCALE

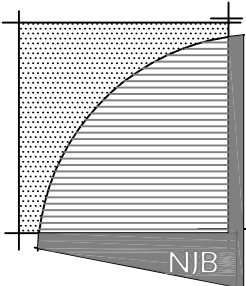


SWARTZ CREEK  
**MIDDLE SCHOOL**  
 NO SCALE

- ADDITION - 5735 sq feet
- REMODELED - 5035 sq feet



POOL / LOCKER ROOMS

SWARTZ CREEK COMMUNITY SCHOOLS <b>FACILITY STUDY</b> 8230 CRAPO STREET, SWARTZ CREEK SWARTZ CREEK MIDDLE SCHOOL		DRAWN BY TLG PROJECT NO. 170125 CAD FILE x01	REVIEWED BY LRD SCALE 7/20 DATE 12/2017
 <b>ARCHITECTS          INC.</b>		105 1/2 Main Street Flushing, Michigan 48433 810-659-7118 voice 810-659-7224 fax www.njb-architects.com	
A1		1	1
SHEET		OF TOTAL SHEETS	

**SWARTZ CREEK MIDDLE SCHOOL**  
**ROOF CONDITION REPORT**

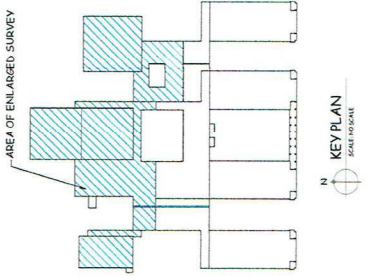
## **Middle School**

The low sloped roof areas A, H, I, J, K & L are covered with mechanically attached single ply PVC (thermoplastic) membranes. They appear to be retrofit roofs (roof over roof). They are estimated to be less than 10 years old and have no reported active leaks. They are in fair condition with several ponding areas which need to be monitored.

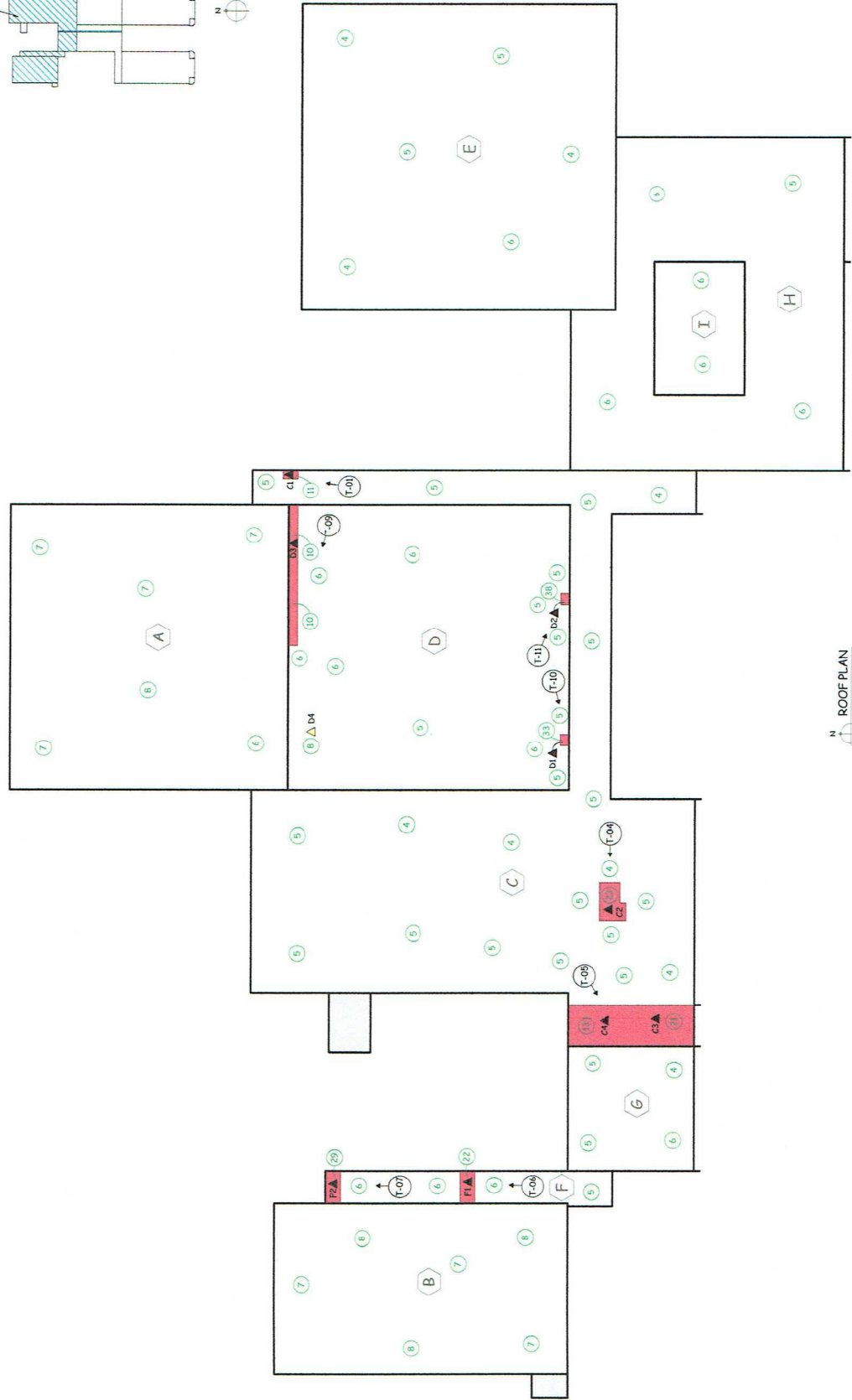
The low slope roofs B, P, R, W & Y are all coal tar pitch built-up (multi-ply) roofs with aggregate surfacing over two layers of insulation on a metal deck. They are estimated to be 15 to 20 years old with no active leaks reported. The roof areas are in fair condition and require housekeeping, maintenance and repairs especially at perimeter edges. Two (2) small wet insulation areas totaling 80 square feet (< 1% of the roof area) were identified. They appear to be good candidates for long term repair/restoration procedures based on the diagnostic testing and visual inspection. We recommend tensile strength tests be taken on these areas prior to restoration procedures to ensure membrane strength/condition and to comply with warranty requirements.

The low slope roofs C, D, E, F, G, M, N, O Q, S, T, U, V, X, Z & Z1 are all single ply EPDM (rubber) membranes over two layers of insulation on a metal deck or retrofitted (roof over roof) over the old gravel surfaced built-up roof systems on a metal deck. They are estimated to be 10+ years old with no active leaks reported. The roof areas are in fair condition and require housekeeping, maintenance and repairs. Eight (8) wet insulation areas totaling approximately 1000 square feet were identified. The canopy areas O & T require removal and replacement. The other areas are potential candidates for long term repair/restoration procedures based on the diagnostic testing and visual inspection.

All roof areas should be placed under a yearly inspection, preventive maintenance and reporting process to extend roof life cycles, minimize disruptions/risks, and lower facility costs. Regular inspections, preventive maintenance, repair/restoration procedures can double the life cycles of well designed and installed roof systems at 1/2 to 1/3 the cost of removal and replacement.



KEY PLAN  
SCALE 1/8" = 1'-0"



ROOF PLAN  
SCALE 1/8" = 1'-0"

PROJECT NO.	17-00000
DATE	8/14/2014
DESIGNED BY	K.A.A.
CHECKED BY	
SHEET NO. <b>B</b>	

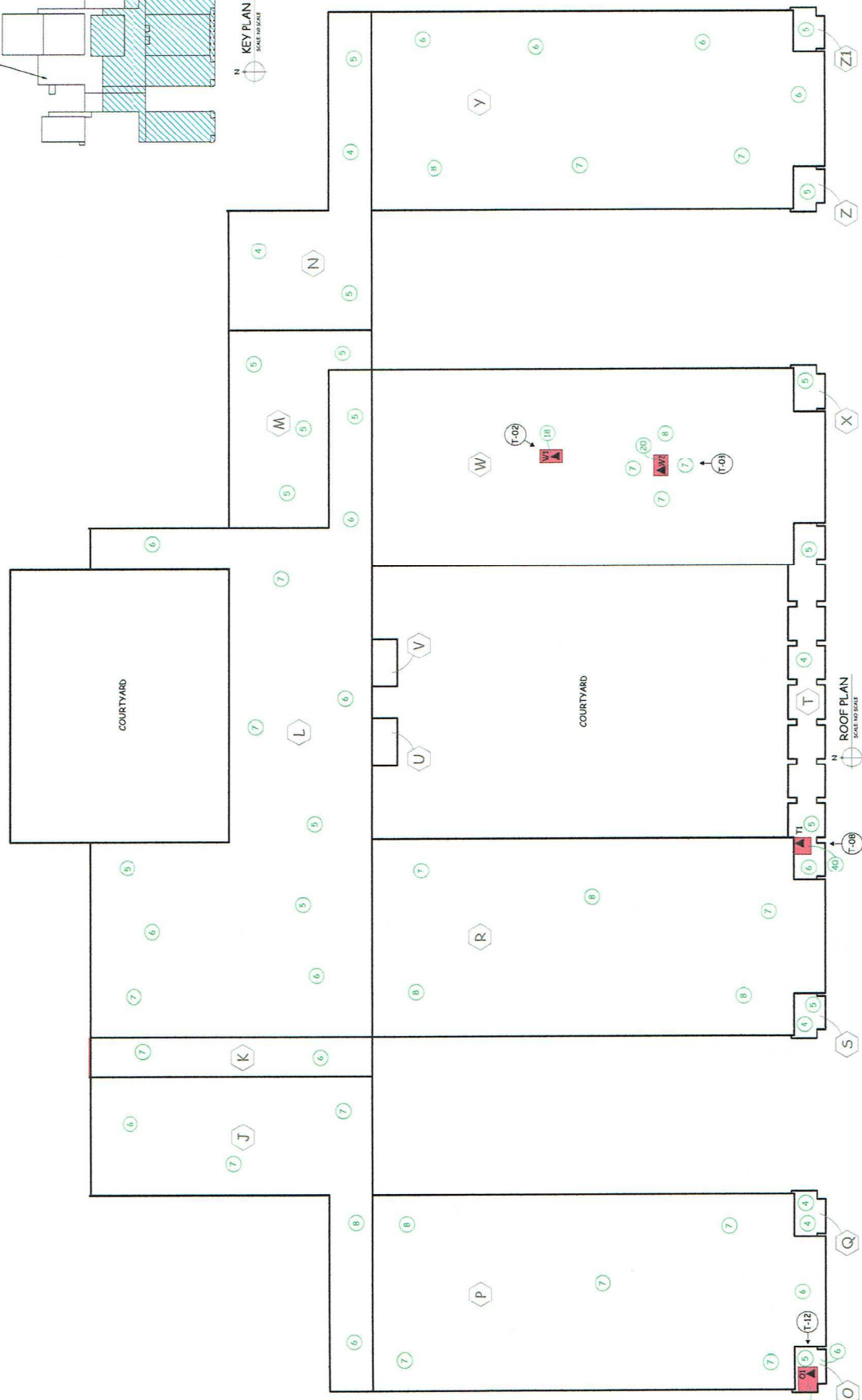
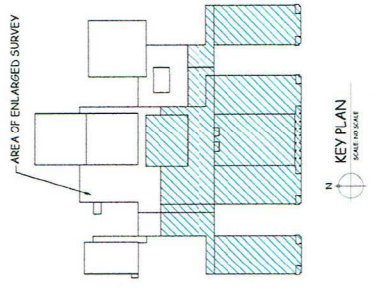
SWARTZ CREEK COMMUNITY SCHOOLS  
MIDDLE SCHOOL  
8230 CRAPO ST  
SWARTZ CREEK, MI 48473



**TREMCO**  
ROOFING & BUILDING MAINTENANCE

AREA DESIGNATION	+	THERMOCAM	+	WET INSULATION	□	N.I.C.	+	MOISTURE DENSITY READING
DRY CUT	△	TRACE CORE	+	R.I.M. (RANDOM)	+	INTERMITTANT (MOISTURE)	+	MOISTURE DENSITY GRID
WET CUT	▲	PHOTOGRAPH	+					

© 2014 BY TREMCO INCORPORATED. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF TREMCO INCORPORATED.



STANDARD KEY OF SYMBOLS

(A)	AREA DESIGNATION	(T-01) →	THERMOGRAM	☐	WET INSULATION	☐	N.I.C.	MOISTURE DENSITY READING
(B)	TRACE CORE	(M-01)	MOISTURE DENSITY READING	☐	INTERMITTENT MOISTURE	☐	R.I.M. (RANDOM)	MOISTURE DENSITY GRID
(C)	DRY CUT	(P-01)	PHOTOGRAPH	☐	INTERMITTENT MOISTURE	☐	R.I.M. (RANDOM)	MOISTURE DENSITY GRID
(D)	WET CUT	(P-02)	PHOTOGRAPH	☐	INTERMITTENT MOISTURE	☐	R.I.M. (RANDOM)	MOISTURE DENSITY GRID

**TREMCO**  
ROOFING & BUILDING MAINTENANCE

**wj**  
A Division of **PERI** Building Solutions

PROJECT: SWARTZ CREEK COMMUNITY SCHOOLS  
PROPERTY: PANDOR  
SCHOOL: MIDDLE SCHOOL  
ADDRESS: 8230 CRAPO ST  
CITY: SWARTZ CREEK, MI 48473

DATE: 8/11/2014

REVISION: C

©2014 BY TREMCO INCORPORATED. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPIED, RECORDING OR OTHERWISE WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF TREMCO INCORPORATED.