

# MORRISH ELEMENTARY



**5055 Maple Avenue, Swartz Creek, Michigan**

## **MORRISH ROAD ELEMENTARY SCHOOL**

5055 Maple Avenue, Swartz Creek

### **General Information:**

- Instructional, Kindergarten through Grade 5<sup>th</sup>
  - o (2) Kindergarten classrooms 58 students
  - o (3) 1<sup>st</sup> Grade classrooms 74 students
  - o (3) 2<sup>nd</sup> Grade classrooms 81 students
  - o (3) 3<sup>rd</sup> Grade classrooms 72 students
  - o (3) 4<sup>th</sup> Grade classrooms 77 students
  - o (3) 5<sup>th</sup> Grade classrooms 81 students
  - o Library
  - o Art Room
  - o Music Room
  - o Computer Lab
- Student Population: 443 (82.5 sq feet per student) Maximum Student Population: 475
- Staff: 50
- Year Built: 1964
- Building Size: 36,555 square feet (excludes tunnel)
- Site Size: 12 acres
- Utilities:
  - o Natural Gas: Consumers Energy
  - o Electricity: Consumers Energy
  - o Water: Municipal system
  - o Sanitary: Municipal system

### **Site Information / Condition:** See site map included.

- Site Entrance: Single entry point from Maple Road.
- Staff Parking: 28 spaces on east side of building.
- Visitor Parking: 84 spaces on east side of building.
- Bus Drop Off Area: Yes, integral with visitor parking/parent drop off. Four buses.
- Playgrounds:
  - o Combination of older and newer play equipment surrounded with wood fiber mulch. Overall in fair to good condition, however additional wood fiber mulch is required.
  - o Asphalt paved basketball court / play area. Overall in poor condition.
  - o (2) ballfields, (2) with fenced backstops. Southeast field is in fair condition. Southwest field is in very poor condition.

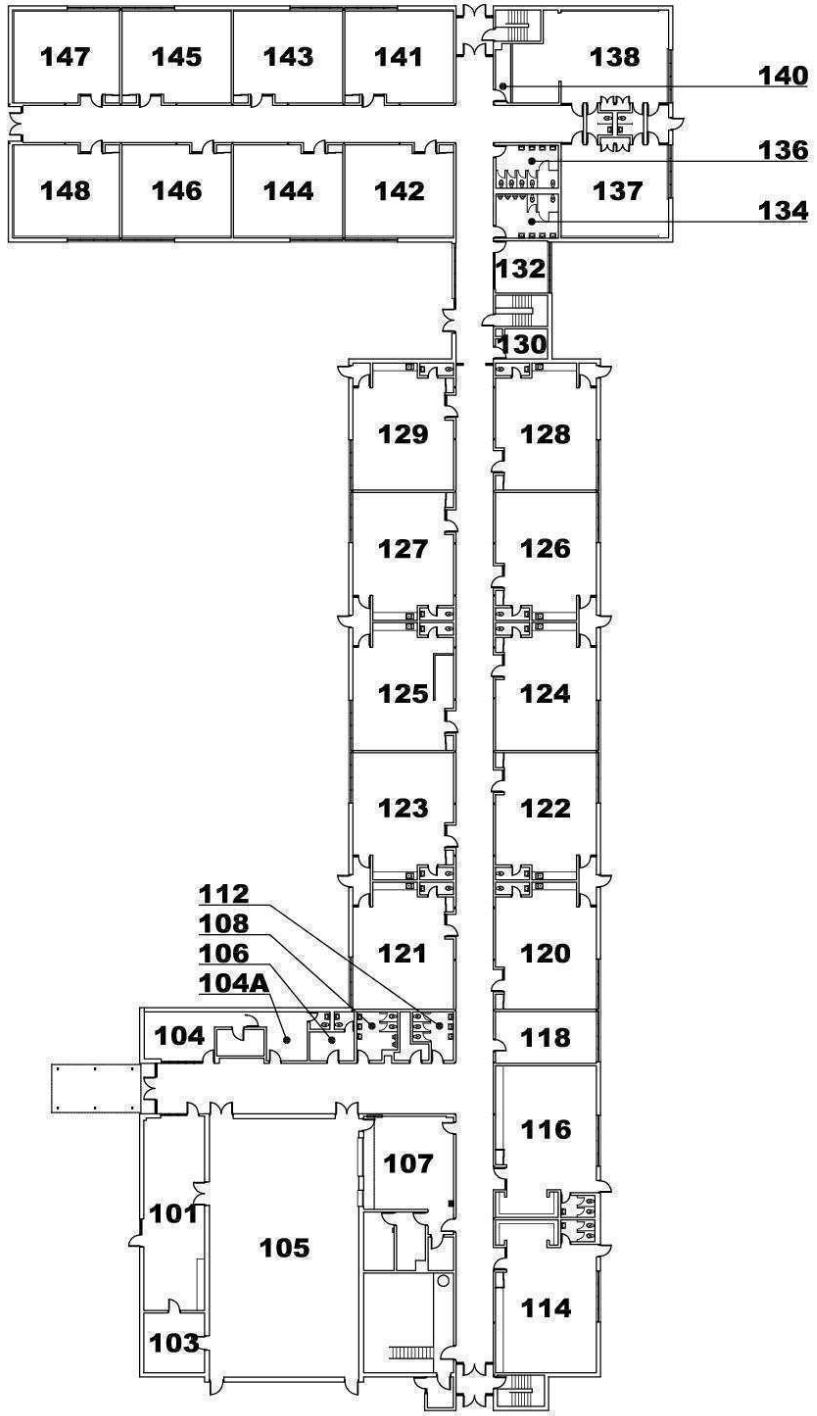
- Asphalt Pavement: Overall in good condition with some cracks that need to be patched and sealed. Staff parking is located on old pave play area and is in poor condition. This parking area is next to the playground area and is not fenced off.
- Concrete Sidewalks: Overall in very good condition with some areas showing some surface spalding. Areas that are broken and uneven need to be replaced. The district may consider reducing the number of walks, especially walks from classroom doors.
- Site Lighting: One (4) headed pole located in the center of visitor parking lot.
- Landscaping: Generally consists of lawn area with some major trees. Most of the foundation plantings on south side of building are overgrown and should be removed. Landscaping on west side of building need to be pruned up with selective removal of some plantings.

### **Building Information / Condition:**

- Number of Stories: One with walk able service tunnel.
- Construction Type:
  - o Steel frame with masonry (brick and cmu) infill
  - o Steel bar joist roof structure with EPDM and PVC roofing membranes
  - o Concrete slab on grade
  - o Windows: Aluminum storefront with single pane glazing, some areas covered with an exterior insulated finish system.
- Fire Suppression: None.
- Exterior Walls: Are in very good condition with only some minor brick tuckpointing required.
- Window Sash: Is original and consists of non-thermally broken aluminum framing with single glass glazing. Some areas of the sash have been covered over with EIFS (exterior insulation finish system). The sash are drafty and allow a great deal of heat gain from the sun. These sash should be replaced with new windows and wall infill.
- Entry Doors: All but one entry door assemblies have been replaced with FRP doors in aluminum frames. Remaining hollow metal door and frame should be replaced.
- Roof Membrane: Cafeteria is roofed with a mechanically attached single ply PVC membrane over 2 ½" rigid insulation on metal deck. This roof membrane is less than 10 years old. Remaining roof areas are single ply EPDM membranes over 2 ½" rigid insulation on metal deck. These roof membranes are estimated to be 10+ years old.
  - o Existing R-Value of Roof Insulation – R12.5 Required R-Value – R20
- Interior Walls: Are of masonry construction (brick, painted cmu or glazed structural tile) and have been well maintained. Corridor walls contain a 20" high glass borrowlite between the corridor and classrooms. All borrowlites should be removed and infilled with 1 hour rated stud construction to comply with current building codes.

- Interior Doors: Majority of assemblies are the original solid core wood doors in hollow metal frames.
  - o Doors: Condition is fair to good, with most having worn finish from years of use. Doors could be re-surfaced with plastic laminate or painted for a fresh appearance.
  - o Door and Sidelites: Are glazed with wire and non-wire glass. These should be re-glazed with fire-rated glazing to comply with current building codes.
  - o Hardware: All knob handles should be replaced with lever handles and keyed alike throughout the building. Classroom doors need to have closers installed.
- Terrazzo Floors: Are in very good condition given the age of the floors.
- Ceramic Tile Floors: Are overall in good condition, but show some staining.
- Carpet Flooring: Condition varies with the age of the carpet. Generally the life expectancy is 10 to 12 years for a classroom. Carpet appears to have been laid over the original 9x9 asbestos tile flooring to encapsulate it.
- Vinyl Tile Flooring: Some rooms still have the original 9x9 asbestos tile flooring exposed. Should consider flooring over to encapsulate it.
- Acoustical Ceilings: Majority of ceilings throughout the building are 2x4 suspended acoustical tile. The grid appears to be original and is discolored over time. Condition of tiles varies, but replacing the ceiling system throughout the building would greatly improve the buildings overall appearance.
- Plaster Ceilings: Overall are in good condition with only minor areas needing some patch work and painting.
- Lighting: The majority of the building lighting consists of 2x4 lay-in fluorescent fixtures that have been re-lamed with T8 bulbs. All major rooms have occupancy sensors to control lighting.
- Emergency Lighting: Emergency lighting should be installed throughout the building to comply with current codes.
- Fire Alarm System: Is original and is grandfathered for continued use, however it does not comply with current codes and should be replaced with an audible and visual system.
- Plumbing Fixture Count: Based on gang style toilet rooms and current student population. Note: Individual classroom toilet rooms are not included in the following.
  - o Staff Toilets:
    - Women – 1 water closet required, 3 fixtures currently
    - Men – 1 water closet required, 4 fixtures currently
  - o Student Toilets:
    - Girls – 5 water closets required, 7 fixtures currently
    - Boys – 5 water closets required, 8 fixtures currently

- Mechanical: Existing HVAC system for this building consists of a central hot water heating system served by two newer mid-efficiency natural gas boilers. The boiler's supply perimeter hot water fin tube radiation for all classrooms, with hot water cabinet heaters and convectors serving the entry vestibules, stairways and corridors. A small hot water air handling unit supplies the cafeteria/gymnasium. Ventilation for the school is via operable windows with no mechanical means of supplying ventilation air to the building. The only air conditioned spaces in the building are the Office area and Computer Lab 120.
- Electrical: Majority of the lighting fixtures were installed during the original construction and have been converted from T12 fluorescent lamps to T8 fluorescent lamps. The lens of the fixtures are showing their age and many are damaged, yellowed or sagging down out of the fixture frames. Lighting controls in the form of occupancy sensors have been added in classrooms and storage rooms, but not in the corridors. Emergency exit lighting is minimal and provides poor coverage for marking the path of egress.



101 Music	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Base	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps		X	
Casework	Wood / Plastic Laminate Knob door handles		X	

103 PE Office and Gym Storage	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Base	X		
Ceiling	Plaster		X	
Lighting	(2) 1x4 Surface Mounted / (2) T8 lamps Knob door handle		X	

104 Main Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Field Stone	X		
Floor	Carpet	X		
Base	Glazed Masonry Base	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(4) 2x4 Lay-in / (4) T8 lamps Lever door handle		X	

Vault	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Base	X		
Ceiling	Plaster	X		
Lighting	1x4 Surface Mounted / (2) T8 lamps Knob door handle		X	

104A Principal	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet	X		
Base	Glazed Masonry Base	X		
Ceiling	2x4 Suspended Acoustical Tile		X	

Lighting	(2) 2x4 Lay-in / (4) T8 lamps		X	
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Sconce over Mirror		X	
Water Closet	Floor Mounted Flush Valve - no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

105 Multi-Purpose	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	Painted Concrete Structure	X		
Lighting	(18) 2x4 Chain Hung / (4) T5 lamps	X		

106 Clinic	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (4) T8 lamps		X	
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile - stained		X	
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	1x4 Surface Mounted / (2) T8 lamps		X	
Water Closet	Floor Mounted Flush Valve – no sensor		X	
Lavatory	Wall Mounted with blade handles, no pipe wrap		X	
	Knob door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

107 Kitchen	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	(18) 1x4 Surface Mounted / (2) T8 lamps	X		
Kitchen Equipment	Stainless Steel Knob door handles	X		
<b>Adjoining Storage</b>				
Walls	Painted CMU	X		
Floors	12x12 Vinyl Tile		X	
Base	6" Coved Vinyl		X	
Ceiling	Gypsum board, needs new access panel		X	
Lighting	1x4 Surface Mounted / (2) T8 lamps Knob door handles	X		

108 Men's Staff Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster with skylight (covered over)	X		
Lighting	1x4 Surface Mounted / (2) T8 lamps		X	
Stall Partitions	Metal, Floor Mounted			X
Water Closets	Floor Mounted Flush Valve with sensors		X	
Lavatories	Wall Mounted with handles, no pipe wrap		X	
Urinals	Wall Mounted with sensors	X		
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

112 Women's Staff Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster with skylight (covered over)	X		
Lighting	1x4 Surface Mounted / (2) T8 lamps		X	
Stall Partitions	Metal, Floor Mounted			X
Water Closets	Floor Mounted Flush Valve with sensors		X	
Lavatories	Wall Mounted with push handles, no pipe wrap		X	
<b>Comments:</b>				

1. Restroom is not ADA Compliant

114 Classroom Kindergarten	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps and (2) Incandescent		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	1x4 Surface Mounted, (2) T8 Lamps		X	
Stall Partitions	Metal, Floor Mounted			X
Water Closets	Floor Mounted Flush Valve, no sensors	X		
Lavatory	Wall Mounted with handles, no pipe wrap		X	
	Push / pull door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

116 Classroom Kindergarten	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps and (6) Incandescent		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	1x4 Surface Mounted, (2) T8 Lamps		X	
Stall Partitions	Metal, Floor Mounted			X
Water Closets	Floor Mounted Flush Valve – no sensors	X		
Lavatory	Wall Mounted with handles, no pipe wrap		X	
	Push / pull door handles			
<b>Comments:</b>				

1. Restroom is not ADA Compliant

118 Facility Lounge	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(3) 2x4 Lay-in / (4) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			

120 Classroom Stem	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps and (2) 4 foot Wall Mounted		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handle			
<b>Adjoining Vestibule</b>	With Classroom 122			
Walls	Painted CMU	X		
Floor	Carpet	X		
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		
Lighting	Surface Mounted Incandescent		X	
Exterior Door	FRP Door in Aluminum Frame	X		
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Fluorescent			X
Water Closet	Floor Mounted Flush Valve – no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

121 Classroom 2 <sup>nd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet	X		
Base	Glazed Masonry Tile / 4" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(12) 2x4 Lay-in / (4) T8 lamps and (2) 4 foot Wall Mounted		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	With Classroom 123			
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry	X		
Ceiling	Plaster		X	
Lighting	Surface Mounted Incandescent		X	
Exterior Door	FRP Door in Aluminum Frame	X		
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent		X	
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
	Push / pull door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

122 Classroom 1 <sup>st</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps and (2) 4 foot Wall Mounted		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	See Classroom 120			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		

Lighting	Wall Mounted Sconce, Incandescent			X
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
	Push / pull door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

123 Classroom 1 <sup>st</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile			X
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps and (2) 4 foot Wall Mounted		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	See Classroom 121			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent			X
Water Closet	Floor Mounted Flush Valve – no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
	Push / pull door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

124 Classroom 1 <sup>st</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps and (2) 4 foot Wall Mounted		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	With Classroom 126			
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster		X	

Lighting	Surface Mounted Incandescent		X	
Exterior Door	FRP Door in Aluminum Frame	X		
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent		X	
Water Closet	Floor Mounted Flush Valve – no sensor (valve leaks)		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
	Push / pull door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

125 Classroom Special Education	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps and (2) 4 foot Wall Mounted		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>				
	With Classroom 127			
Walls	Painted CMU	X		
Floor	Carpet Tile			X
Base	Glazed Masonry Tile	X		
Ceiling	Plaster			X
Lighting	Surface Mounted Incandescent		X	
Exterior Door	FRP Door in Aluminum Frame	X		
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent			X
Water Closet	Floor Mounted Flush Valve – no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
	Push / pull door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

126 Classroom 2 <sup>nd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps and (2) 4 foot Wall Mounted		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	See Classroom 124			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent			X
Water Closet	Floor Mounted Flush Valve – no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
	Push / pull door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

127 Classroom 2 <sup>nd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps and (2) 4 foot Wall Mounted		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	See Classroom 125			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU		X	
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent			X
Water Closet	Floor Mounted Flush Valve – no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
	Push / pull door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

128 Computer Lab	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps and (2) 4 foot Wall Mounted	X		
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>				
Walls	Painted CMU	X		
Floor	Carpet	X		
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		
Lighting	Surface Mounted Incandescent		X	
Exterior Door	Aluminum Door in Aluminum Frame	X		
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent			X
Water Closet	Floor Mounted Flush Valve – no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
	Push / pull door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

129 Art Room	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps and (2) 4 foot Wall Mounted		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>				
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile			X
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		

Lighting	Surface Mounted Incandescent			X
Exterior Door	FRP Door in Aluminum Frame	X		
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent			X
Water Closet	Floor Mounted Flush Valve – no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
	Push / pull door handles			
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

130 Counseling	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster		X	
Lighting	1x4 Surface Mounted / (2) T8 lamps		X	
	No door handles			

132 Office	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	Carpet Tile		X	
Base	Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(4) 2x4 Lay-in / (4) T8 Lamps		X	
	Knob door handles			

134 Boys Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Painted CMU		X	
Floor	Terrazzo		X	
Base	Glazed Masonry Tile, Coved		X	
Ceiling	Plaster with skylight (covered over)		X	
Lighting	(2) 1x4 Surface Mounted / (2) T8 lamps		X	
Stall Partitions	Plastic Laminate, Floor Mounted	X		
Water Closets	Floor Mounted Flush Valve, with and without sensors		X	
Lavatories	Wall Mounted with push handles, no pipe wrap		X	

Urinals	Wall Mounted with sensors	X		
<b>Comments:</b>				
1. Restroom is partially ADA Compliant				

136 Girls Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile / Painted CMU		X	
Floor	Terrazzo		X	
Base	Glazed Masonry Tile, Coved		X	
Ceiling	Plaster with skylight (covered over)		X	
Lighting	(2) 1x4 Surface Mounted / (2) T8 lamps		X	
Stall Partitions	Plastic Laminate, Floor Mounted	X		
Water Closets	Floor Mounted Flush Valve, with sensors		X	
Lavatories	Wall Mounted with push handles and pipe wrap		X	
<b>Comments:</b>				
1. Restroom is partially ADA Compliant				

137 Classroom 4 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>				
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		
Lighting	Surface Mounted Incandescent		X	
Exterior Door	Hollow Metal Door and Frame			X
	Knob door handles			
<b>Adjoining Restrooms</b>				
Walls	Glazed Masonry Tile / Painted CMU	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	1x4 Surface Mounted / (2) T8 lamps	X		
Stall Partitions	Metal, Floor Mounted		X	
Water Closet	Floor Mounted Flush Valve, no sensor		X	

Lavatory	Wall Mounted with handles, no pipe wrap Push / pull door handles		X	
<b>Comments:</b> 1. Restrooms are not ADA Compliant				

138 Library	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry		X	
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	See Classroom 137			
<b>Adjoining Restrooms</b>	See Classroom 137			
<b>Adjoining Alcove</b>				
Walls	Painted CMU / Painted Gypsum Board	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile / 6" Coved Vinyl - gapped		X	
Ceiling	Plaster		X	
Lighting	(5) 1x4 Surface Mounted / (2) T8 lamps		X	

140 Custodial	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Painted Plywood		X	
Floor	9x9 Vinyl Tile			X
Base	Glazed Masonry Tile / No base	X		
Ceiling	Plaster		X	
Lighting	1x4 Surface Mounted / (2) T8 Lamps		X	

141 Classroom 5 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps		X	
	Knob door handles			

142 Classroom 5 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps		X	
	Knob door handle			

143 Classroom 4 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps		X	
	Knob door handle			

144 Classroom 4 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps		X	
	Knob door handle			

145 Classroom 3 <sup>rd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (4) T8 lamps		X	
	Knob door handle			

146 Classroom 5 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	

Lighting	(12) 2x4 Lay-in / (4) T8 lamps		X	
	Knob door handle			

147 Classroom 3 <sup>rd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate			X
	Knob door handle			

148 Classroom 3 <sup>rd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in Parabolic / (4) T8 lamps	X		
	Knob door handle			

Corridors	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	2x4 Lay-in / (4) T8 lamps		X	
Borrowlites	Non-rated glazing			
Interior Doors	Wood (solid core) in Hollow Metal Frames		X	

## Swartz Creek Morrish Elementary School

1964 Original Construction

37,555 sf

### **Mechanical Systems**

Existing heating ventilation and air conditioning (HVAC) system description:

The existing HVAC system for this building consists of a central hot water heating system served by two newer mid-efficiency 84-85% natural gas Raypak boilers Model H9-1262, each rated at 1,262,000 btuh, for a total heating capacity of 2,524,000 btuh.

The boiler's supply perimeter hot water fin tube radiation for all the classrooms and hot water cabinet heaters and convectors serve the entry vestibules, stairways and the corridors. A small hot water air handling unit supplies the gymnasium.

Ventilation for the school is via operable windows. There are five (5) Trane gas fired heating only rooftop units which supply ventilation air via ductwork above the lay-in ceilings. The only air conditioning for this school is in the Office area and Computer Lab Room 138. Ductless split air conditioning systems serve those rooms.

In general this school has no air conditioning.

### **Electrical Systems**

#### Electrical Service/Power Distribution

The main distribution is from original construction and consists of an overhead utility feed to a 1000 Amp 240 volt GE bolted pressure switch main disconnect and GE QMR distribution located in the boiler room. An "X" panel is fed ahead of the main disconnect which feeds exit lighting. Branch circuit panel boards, wiring, and general purpose receptacles are from original construction. Classrooms have some surface raceway and computer rooms have power poles to feed the dense receptacle loads.

#### *Recommendation:*

1. *Replace the obsolete electrical distribution.*
2. *Add new emergency power via:*
  - a. *A new emergency generator*
  - b. *A new inverter*

- c. Individual battery units within the fixtures*
- 3. Test, clean and grease all distribution panels.*
- 4. Replace branch circuit breaker panel boards with new.*

## Lighting

### Interior:

A majority of the lighting fixtures are from original construction which have been converted from T12 fluorescent lamps to T8 fluorescent lamps. The Lenses of the fixtures are showing their age and many are damaged, yellowed or sagging down out of the fixture frames. The Corridor lights are in worse shape than the classrooms.

Some exit lights have been replace and added over the years but provide poor coverage for marking the path of egress. They are typically equipped with two emergency lighting heads which appear to be the only emergency egress lighting source.

Lighting controls in for the form of occupancy sensors have been added in classrooms, storage rooms etc. but were not seen in the corridors.

### Exterior:

Exterior lighting is very limited with one light pole with four flood fixtures. There are also building mounted lights that are aged. Some, but not all, exit doors are equipped with light fixtures. In general the exterior lighting is inadequate and is past its useful life.

### *Recommendation:*

- 1. Lighting upgrades should be considered to be replaced with new high efficient LED lighting with added controls to meet current Michigan energy code requirements.*
- 2. Emergency egress lighting is deficient and needs to be added throughout the building's interior and exit discharge areas.*
- 3. Exterior lighting including building mounted and parking lot lighting should be replaced and added.*
- 5. Replace exit and emergency lighting with new and associated wiring to meet current Life Safety and building codes.*

## Fire Alarm

The Fire Alarm system is an original National Time and Signal system. The fire alarm system is deficient in most areas and does not meet current Life Safety and building codes.

*Recommendation:*

1. *Replace the fire alarm system with new.*

Systems

**Public Address system** is aged. It appears to be functional but based on its age is most likely limited in its maintainability and expansion options. Speakers are located in the walls of the classrooms and in the ceiling of the corridors. There are push buttons for communications typically adjacent to a phone for communication.

There was a Simplex brand **Master Clock system** but most locations have been replaced with stand alone clocks.

**Data** systems appear to be up to date with data outlets at the teachers desk in each classrooms and Cisco wireless access points (wi fi) throughout the corridors and common spaces surface mounted in the lay in ceilings

*Recommendation:*

1. *Replace PA system*
2. *Replace master clock system*

### **Code Deficiencies:**

- Insufficient mulch cushioning on playground.
- Classroom exit doors not ADA compliant. Have 4" to 6" step at sill.
- All main entrances are not ADA compliant.
- Classroom corridor doors lack closers.
- Some classroom corridor doors have knob handles in lieu of levers.
- Corridor borrowlites not glazed with fire rated glazing.
- Corridor walls do not extend to underside of roof deck.
- Classrooms 141 through 148 do not have emergency egress windows.
- Toilet rooms are not ADA compliant.
- Emergency lighting insufficient throughout building.
- Fire alarm is not an audio/visual system.

### **Suggested Facility Upgrades:**

- Physically divide parent student drop-off area from bus drop-off area.
- Provide additional parking for events.
- Provide additional site lighting.
- Repave hard surface playground area.
- Eliminate sidewalks from classroom exits. Appear to be used as drives, not sidewalks.
- Increase building security at main entrance.
- Replace storefront/window units with new windows and wall infill.
- Provide storage space for cafeteria tables.
- Provide new classroom furniture throughout.
- Replace classroom cabinets / countertop with new increasing storage cabinets.
- Provide space for individual student teaching / support. Currently done in corridors.  
Possible Media Center / Maker Space / Multi-Use area.
- Provide space for two social workers.
- Add student lockers within main corridors.
- Replace ceilings and lighting.
- Air condition building.
- If needed, replace existing corridor roll down security grilles with cross corridor doors linked to fire alarm system.
- Replace public address system.
- Replace master clock system.
- Upgrade electrical distribution system.
- Upgrade technology.

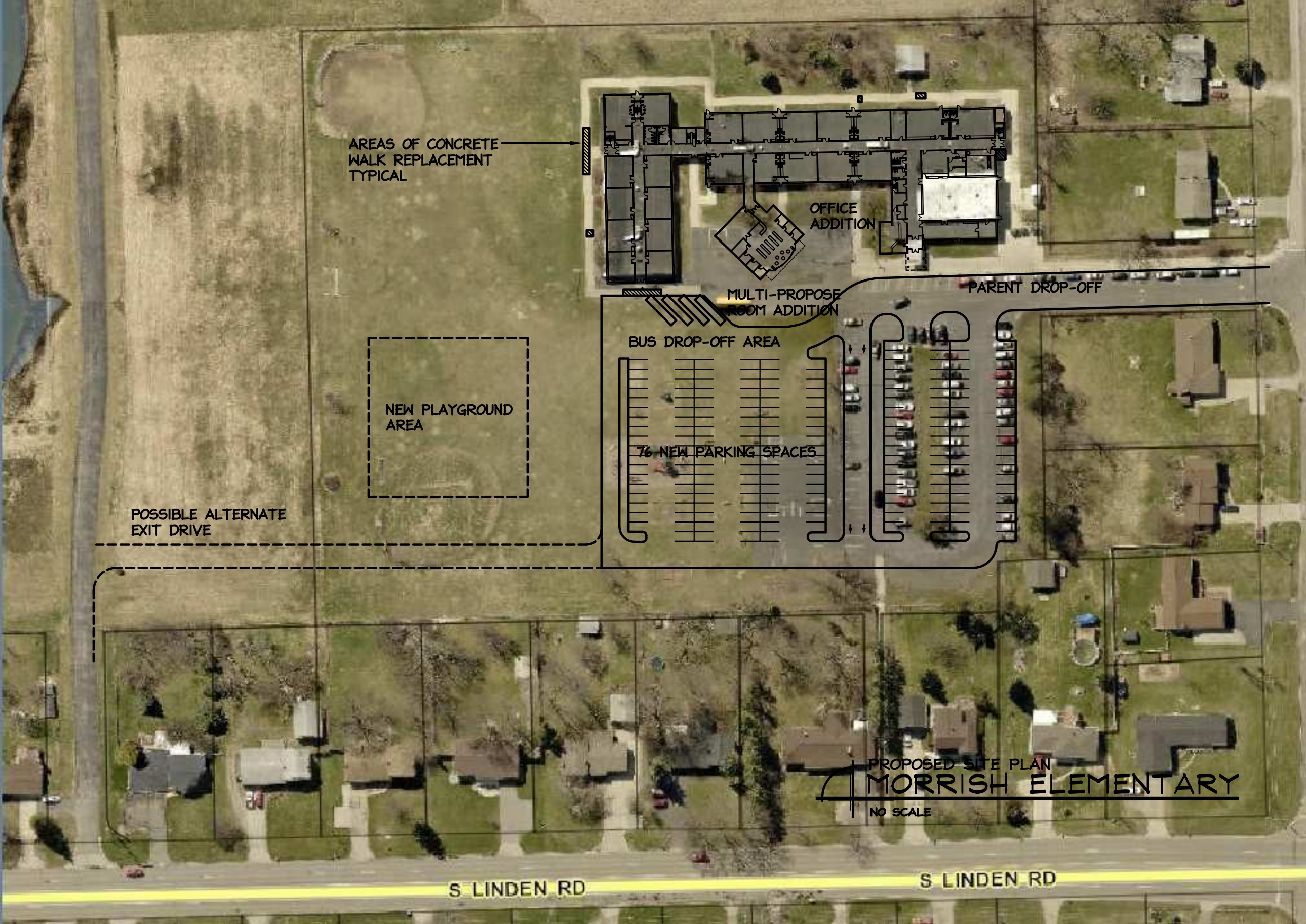
## **MORRISH ELEMENTARY SCHOOL**

<b>Proposed Site Work:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Concrete Walk Replacement	750 sq feet	\$ 7,500.00
Reconstruct Classroom Exit Door Stoops for ADA Compliance	9 Exits (650 sq feet)	\$ 31,500.00
Asphalt Pavement Replacement (Between walks and building)	800 sq feet	\$ 4,800.00
Reconstruct and Expand Parking Lot with new Bus and Parent Drop-off	106,000 sq feet	\$ 582,340.00
New Concrete Walk at New Parent Drop-off	3,000 sq feet	\$ 30,000.00
Additional Drive to Church Entry	12,500 sq feet	\$ 33,125.00
Install Site Lighting	8 poles / 20 building	\$ 55,000.00
Reconstruct Paved Play Area	18,000 sq feet	\$ 59,000.00
Relocated Playground Area		\$ 120,000.00
Replace Older Play Structures	Lump Sum	\$ 80,000.00
Add Mulch to Playground	200 cubic yards	\$ 9,000.00
<b>Total Opinion of Probable Cost of Site Work:</b>		<b>\$1,012,265.00</b>

<b>Proposed Code Upgrades:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Install Closers on Classroom Doors	43 units	\$ 20,000.00
Install Lever Handles on Doors	46 units	\$ 23,000.00
Replace Borrowlites with Rated Wall	575 linear feet	\$ 74,750.00
Install Fire-rated Glazing in Classroom Doors	24 units (32 sq feet each plus 200 sq feet)	\$ 67,760.00
Renovate Student Gang Toilet Rooms	520 sq feet	\$ 52,000.00
Renovate Staff Gang Toilet Rooms	250 sq feet	\$ 25,000.00
Upgrade Emergency/Exit Lighting	Lump Sum	\$ 30,000.00
Replace Fire Alarm System	Lump Sum	\$ 110,000.00
<b>Total Opinion of Probable Cost of Code Deficiencies:</b>		<b>\$ 402,510.00</b>

<b>Proposed Building Renovation Work:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Replace Storefront Assemblies with Windows and Infill Wall	380 linear feet	\$ 32,300.00
Replace Exit Doors	1 single leaf	\$ 3,000.00
Refurbish Interior Doors	40 leaves	\$ 12,000.00
Replace / Install Carpet Flooring	475 yards	\$ 14,250.00
Replace Corridor Ceilings	6900 sq feet	\$ 41,400.00
Replace Corridor Lighting Fixtures		\$ 41,400.00
Replace Classroom Ceilings	19,750 sq feet	\$ 118,500.00
Replace Classroom Lighting Fixtures		\$ 136,500.00
Replace or Add Classroom Cabinetry	22 rooms	\$ 154,000.00
Replace Chalkboards with Whiteboards	11 rooms	\$ 26,400.00
New Classroom Furniture	All classrooms	\$ 249,000.00
Replace Master Clock System	Lump Sum	\$ 20,000.00
Air Condition Building	Lump Sum	\$ 500,000.00
Reroof Building (All areas but Gym roof)	33,455 sq feet	\$ 200,730.00
<b>Technology Upgrades</b>		
Replace Public Address System	Lump Sum	\$ 55,000.00
Electronic Door Access System	26 doors	\$ 40,000.00
Security Camera System	15 cameras	\$ 30,000.00
Chrome Books and Carts	290 units / 9 carts	\$ 79,740.00
Smart Boards	8 units	\$ 60,000.00
<b>Total Opinion of Probable Cost of Building Renovation Work:</b>		<b>\$1,839,220.00</b>

<b>Proposed Building Additions:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Construct New Office	680 sq feet	\$ 149,600.00
Renovate Existing Office Area	300 sq feet	\$ 30,000.00
Construct Gym Storage	400 sq feet	\$ 30,000.00
Construct Media/Maker Center	4200 sq feet	\$ 924,000.00
Renovate Existing Teachers Lounge for Media/Maker Connection	380 sq feet	\$ 38,000.00
<b>Total Opinion of Probable Cost of Building Additions:</b>		<b>\$1,171,600.00</b>



AREAS OF CONCRETE WALK REPLACEMENT TYPICAL

OFFICE ADDITION

MULTI-PURPOSE ROOM ADDITION

PARENT DROP-OFF

NEW PLAYGROUND AREA

BUS DROP-OFF AREA

76 NEW PARKING SPACES

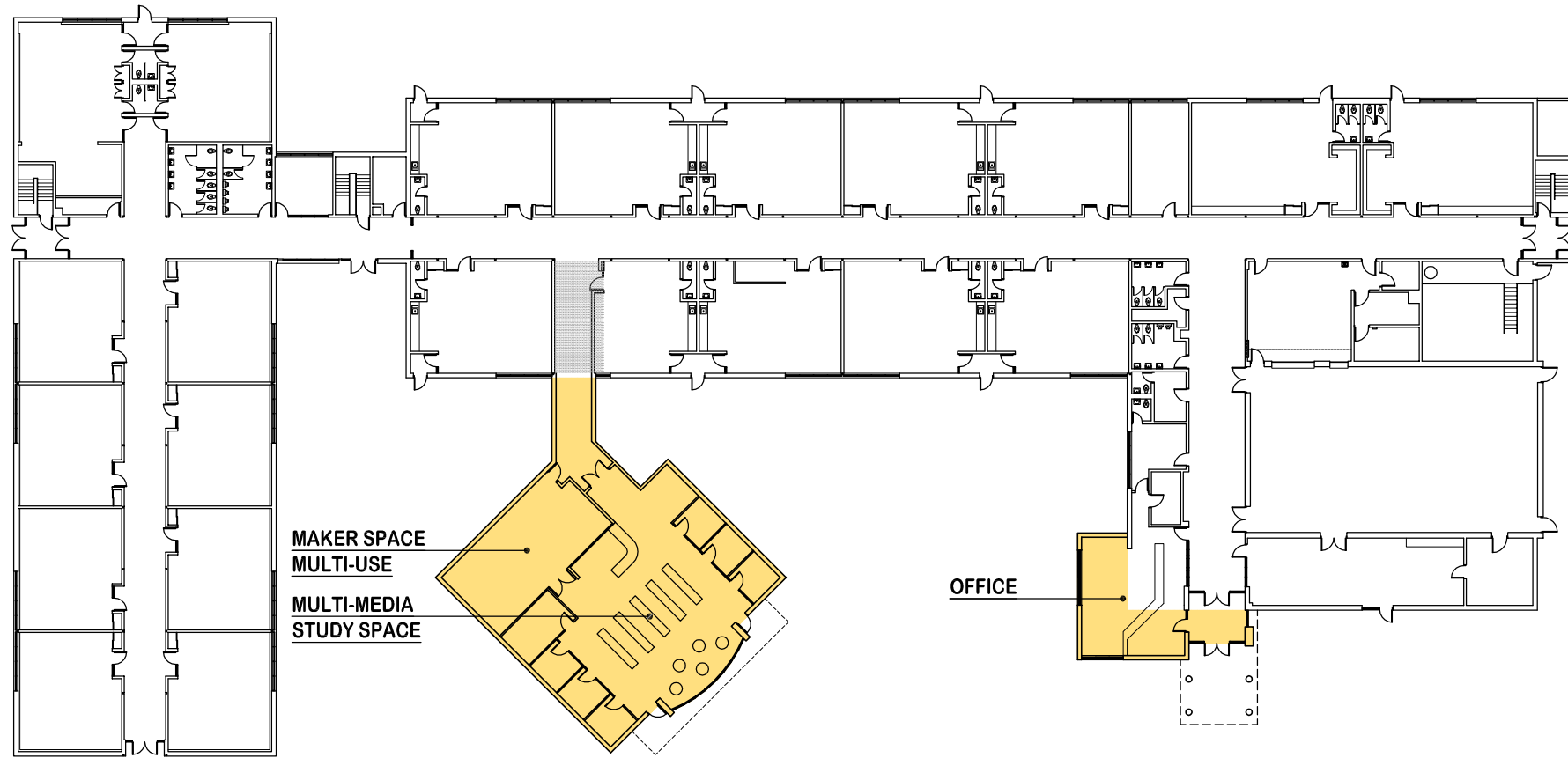
POSSIBLE ALTERNATE EXIT DRIVE

PROPOSED SITE PLAN  
MORRISH ELEMENTARY

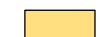

NO SCALE

S LINDEN RD

S LINDEN RD

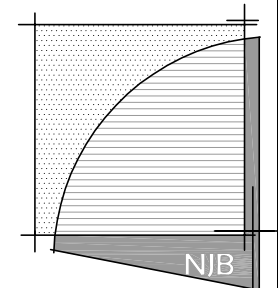



**MORRISH ELEMENTARY**  
 NO SCALE

 ADDITION - 4400 sq feet  
 REMODELED - 325 sq feet

REVIEWED BY	LRD	SCALE	DATE
DRAWN BY	TLG	PROJECT NO.	CAD FILE
		170125	x01
			12/2017

SWARTZ CREEK COMMUNITY SCHOOLS  
**FACILITY STUDY**  
 5055 MAPLE ROAD, SWARTZ CREEK  
 MORRISH ROAD ELEMENTARY



**ARCHITECTS  
INC.**

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Flushing, Michigan 48433

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**A1**

1 OF 1  
SHEET OF TOTAL SHEETS

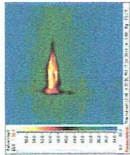
**MORRISH ELEMENTARY**  
**ROOF CONDITION REPORT**

### **Morrish Elementary**

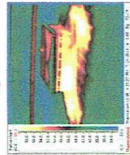
The low slope roof areas A, C, D, E, F & G are covered with single ply EPDM (rubber) membranes over insulation on a metal deck. They are estimated to be 10+ years old and have three (3) reported active leaks. They are in fair condition with minor ponding in some areas. Housekeeping, maintenance and repairs are required. These areas appear to be viable candidates for long term repair and restoration procedures.

The low sloped roof area B is covered with a mechanically attached single ply PVC (thermoplastic) membrane. It is estimated to be less than 10 years old. The roof area is in fair condition with minor ponding. Housekeeping, maintenance and repairs are required.

All roof areas should be placed under a yearly inspection, preventive maintenance and reporting process to extend roof life cycles, minimize disruptions/risks, and lower facility costs. Regular inspections, preventive maintenance, repair/restoration procedures can double the life cycles of well designed and installed roof systems at 1/2 to 1/3 the cost of removal and replacement.



Thermogram T-03

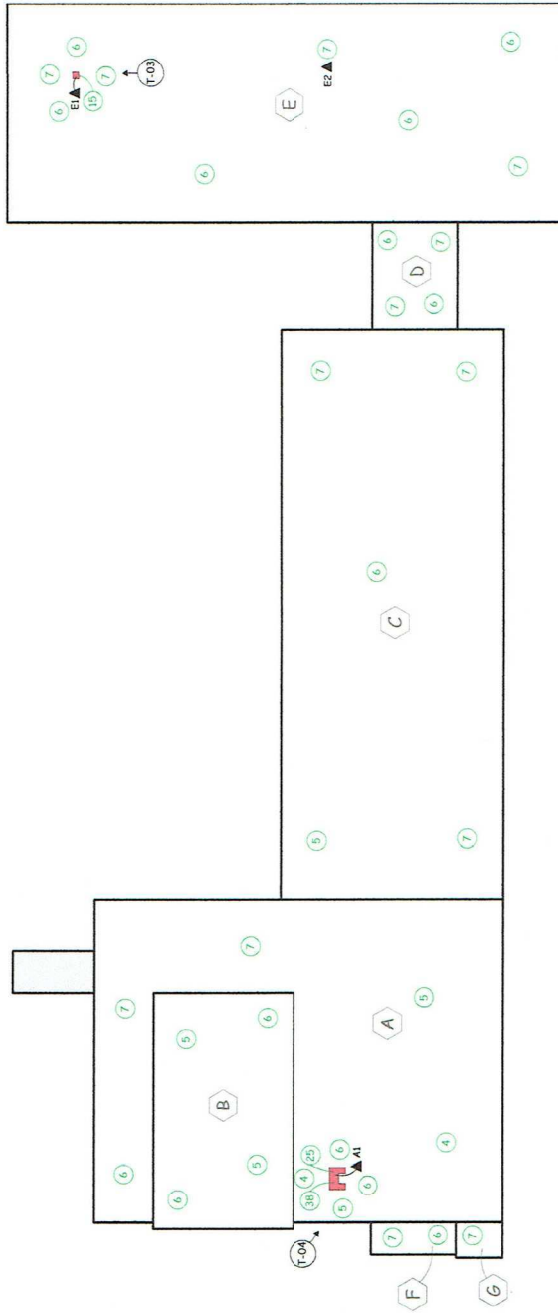


Thermogram T-04



ROOF AREA DATA				
ROOF AREA	SIZE (S.F.)	WET (S.F.)	% WET	% WET
A	9,447	29	0.31%	0.31%
B	3,139	0	0.00%	0.00%
C	11,968	0	0.00%	0.00%
D	858	0	0.00%	0.00%
E	11,390	4	0.04%	0.04%
F	260	0	0.00%	0.00%
G	154	0	0.00%	0.00%
<b>TOTALS</b>	<b>37,216</b>	<b>33</b>	<b>0.09%</b>	<b>0.09%</b>

CONSTRUCTION DATA				
ROOF CORE CUT AREA NUMBER	DENSITY READINGS	MOISTURE READINGS	CONSTRUCTION	ROOF
A	A1	25	MOISTURE	SINGLE PLY (ROBER) ROOF SYSTEM 1" POLYISOCYANURATE INSULATION METAL DECK
E	E1	15	MOISTURE	SINGLE PLY (ROBER) ROOF SYSTEM 1" POLYISOCYANURATE INSULATION METAL DECK
E	E2	7	MOISTURE	SINGLE PLY (ROBER) ROOF SYSTEM 1" POLYISOCYANURATE INSULATION METAL DECK



N ROOF PLAN  
SCALE: 1/8" = 1'-0"



SWARTZ CREEK COMMUNITY SCHOOLS  
MORRISH ELEMENTARY  
SWARTZ CREEK, MI 48473

PROPERTY OF SWANBOR  
DATE: 8/20/2014

STANDARD KEY OF SYMBOLS:  
 (A) THERMOGRAM  
 (A) DESIGNATION  
 (A) WET CUT  
 (A) TRACE CORE  
 (A) PHOTOGRAPH  
 (A) INTERMITTANT MOISTURE  
 (A) N.I.C.  
 (A) WET INSULATION  
 (A) R.I.M. (RANDOM MOISTURE)  
 (A) MOISTURE DENSITY READING  
 (A) MOISTURE DENSITY GRID

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