

# ELMS ROAD ELEMENTARY



**3259 Elms Road, Swartz Creek, Michigan**

## **ELMS ROAD ELEMENTARY SCHOOL**

3259 Elms Road, Swartz Creek

### **General Information:**

- Instructional, Kindergarten through Grade 5<sup>th</sup>
  - o (2) Kindergarten classrooms 82 students
  - o (3) 1<sup>st</sup> Grade classrooms 66 students
  - o (3) 2<sup>nd</sup> Grade classrooms 76 students
  - o (2) 3<sup>rd</sup> Grade classrooms 66 students
  - o (3) 4<sup>th</sup> Grade classrooms 68 students
  - o (3) 5<sup>th</sup> Grade classrooms 80 students
  - o (1) Stem classroom
  - o (1) Early/Head Start classroom
  - o (1) Reading Literacy classroom
  - o Library
  - o Music Room
  - o Computer Lab / Art Room
- Student Population: 438 (85.8 sq feet per student) Maximum Student Population: 475
- Staff: 48
- Year Built: 1969
- Building Size: 37,564 square feet (excludes tunnel)
- Fire Suppression: None.
- Site Size: 10 acres
- Utilities:
  - o Natural Gas: Consumers Energy
  - o Electricity: Consumers Energy
  - o Water: City of Swartz Creek
  - o Sanitary: City of Swartz Creek

### **Site Information / Condition:** See site map included.

- Site Entrance: Single entry point from Elms Road.
- Staff Parking: 56 spaces on north side of building.
- Visitor Parking: 72 spaces on west side of building.
- Bus Drop Off Area: Yes, integral with visitor parking/parent drop off.
- Playgrounds:
  - o Newer play equipment surrounded with wood fiber mulch and cushioned mats under exit points of equipment. Overall in good condition, however additional wood fiber mulch is required.

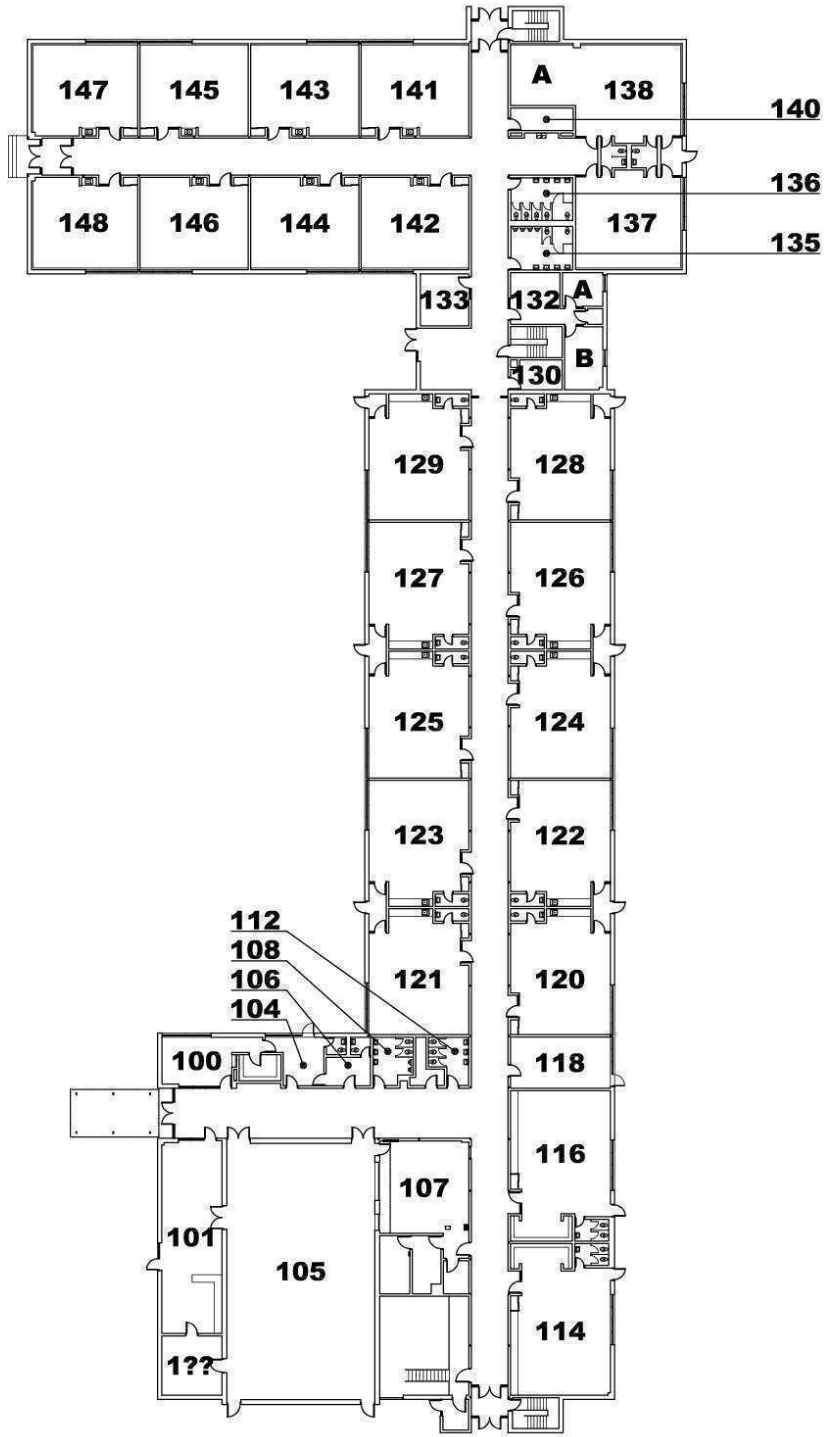
- Asphalt paved basketball court area. Overall in good condition.
- (3) ballfields, (2) with fenced backstops. Overall in good condition.
- Asphalt Pavement: Overall in good condition with some cracks that need to be patched and sealed. All parking lots and drives should be seal coated and re-stripped. Lawn areas abutting edges of pavement should be re-graded to create drainage swales to on-site ditches. This would extend the life of the pavement.
- Concrete Sidewalks: Overall in fairly good condition with most areas showing some surface spalding. Areas that are broken and uneven need to be replaced. The district may consider reducing the number of walks, especially walks from classroom doors.
- Site Lighting: One (4) headed pole located in the center of west parking lot.
- Landscaping: Generally consists of lawn area with some major trees. Most of the foundation plantings (shrubbery at entry doors) is overgrown and should be removed.

### **Building Information / Condition:**

- Number of Stories: One with walk able service tunnel.
- Construction Type:
  - Steel frame with masonry (brick and cmu) infill
  - Steel bar joist roof structure with PVC roofing membrane
  - Concrete slab on grade
  - Windows: Aluminum storefront with single pane glazing, some areas covered with an exterior insulated finish system.
- Exterior Walls: Are in very good condition with only some minor brick tuckpointing required.
- Window Sash: Is original and consists of non-thermally broken aluminum framing with single glass glazing. Some areas of the sash have been covered over with EIFS (exterior insulation finish system). The sash are drafty and allow a great deal of heat gain from the sun. All sash should be replaced with new windows and wall infill.
- Entry Doors: Most entry doors are the original hollow metal door and frames and are in poor to bad condition. Two pair of main entry doors have been replaced with aluminum door and frames. All remaining hollow metal doors and frames should be replaced.
- Roof Membrane: Mechanically attached single-ply PVC membrane over 1 ½" rigid insulation over built-up roofing with gravel consisting of 1" perlite insulation over 1 ½" rigid insulation on metal deck. Roof membrane is approximately one year old.
  - Existing R-Value of Roof Insulation – R18.5 Required R-Value – R20
- Interior Walls: Are of masonry construction (brick, painted cmu or glazed structural tile) and have been well maintained. Corridor walls contain a 20" high glass borrowlite between the corridor and classrooms. All borrowlites should be removed and infilled with 1 hour rated stud construction to comply with current building codes.

- Interior Doors: Majority of assemblies are the original solid core wood doors in hollow metal frames.
  - o Doors: Condition is fair, with most having some veneer missing and worn finish from years of use. Doors could be re-surfaced with plastic laminate or painted for a fresh appearance.
  - o Door and Sidelites: Are glazed with wire and non-wire glass. These should be re-glazed with fire-rated glazing to comply with current building codes.
  - o Hardware: All knob handles should be replaced with lever handles and keyed alike throughout the building. Classroom doors must have closers installed.
- Terrazzo Floors: Are in very good condition given the age of the floors.
- Ceramic Tile Floors: Are overall in good condition, but show some staining and minor chipping.
- Carpet Flooring: Condition varies with the age of the carpet. Generally the life expectancy is 10 to 12 years for a classroom. Carpet appears to have been laid over the original 9x9 asbestos tile flooring to encapsulate it.
- Vinyl Tile Flooring: Some rooms still have the original 9x9 asbestos tile flooring exposed. Should consider flooring over to encapsulate it.
- Acoustical Ceilings: Majority of ceilings throughout the building are 2x4 suspended acoustical tile. The grid appears to be original and is rusting and has discolored over time. Condition of tiles varies, but replacing the ceiling system throughout the building would greatly improve the buildings overall appearance.
- Plaster Ceilings: Overall are in good condition with only minor areas needing some patch work and painting.
- Lighting: The majority of the building lighting consists of 2x4 lay-in fluorescent fixtures that have been re-lamped with T8 bulbs. All major rooms have occupancy sensors to control lighting.
- Emergency Lighting: Emergency lighting should be installed throughout the building to comply with current codes.
- Fire Alarm System: Is original and is grandfathered for continued use, however it does not comply with current codes and should be replaced with an audible / visual system.
- Plumbing Fixture Count: Based on gang style toilet rooms and current student population. Note: Individual classroom toilet rooms are not included in the following.
  - o Staff Toilets:
    - Women – 1 water closet required, 3 currently
    - Men – 1 water closet required, 4 currently
  - o Student Toilets:
    - Girls – 5 water closet required, 7 currently
    - Boys – 5 water closet required, 8 currently

- Mechanical: Existing HVAC system for this building consists of a central hot water heating system served by two newer mid-efficiency natural gas boilers. The boiler's supply perimeter hot water fin tube radiation for all classrooms, with hot water cabinet heaters and convectors serving the entry vestibules, stairways and corridors. A small hot water air handling unit supplies the cafeteria/gymnasium. Ventilation for the school is via operable windows with no mechanical means of supplying ventilation air to the building. The only air conditioned spaces in the building are the Office area and Computer Lab 138.
- Electrical: Majority of the lighting fixtures were installed during the original construction and have been converted from T12 fluorescent lamps to T8 fluorescent lamps. The lens of the fixtures are showing their age and many are damaged, yellowed or sagging down out of the fixture frames. Lighting controls in the form of occupancy sensors have been added in classrooms and storage rooms, but not in the corridors. Emergency exit lighting is minimal and provides poor coverage for marking the path of egress.



**N ELMS ELEMENTARY**  
 NO SCALE

**Inventory of Existing Building Finishes / Conditions:**

Condition of finishes is subjective and based on the following criteria:

Good: The finish material appears similar to its original condition and with continued maintenance should last its intended life expectancy. Example: Carpeting rated Good – Surface shows little wear and has an expected remaining life of 8 to 10 years of a 10 to 12 year life.

Fair: The finish material shows some wear or condition issues that need maintenance. Example: Carpeting rated Fair – Surface shows wear and/or staining, seams may be showing, and has an expected remaining life of 3 to 4 years.

Bad: The finish material is at the end of its life expectancy and needs to be replaced.

100 Main Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Field Stone	X		
Floor	Carpet	X		
Base	Glazed Masonry Base	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(4) 2x4 Lay-in / (2) T8 lamps		X	
	Lever door handle			

Vault	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Base	X		
Ceiling	Plaster	X		
Lighting	1x4 Surface Mounted / (2) T8 lamps		X	
	Knob door handle			

101 Facility	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile	X		
Base	Glazed Masonry Base	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			

103 Gym Storage	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Base	X		
Ceiling	Plaster	X		
Lighting	(2) 2x4 Recessed / (2) T8 lamps		X	
	Knob door handle			

104 Principal	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet	X		
Base	Glazed Masonry Base	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(2) 2x4 Lay-in / (2) T8 lamps		X	
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Sconce over Mirror		X	
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

105 Multi-Purpose	Material	Condition		
		Good	Fair	Bad
Walls	Glazed CMU / Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed CMU Base	X		
Ceiling	Painted Concrete Structure	X		
Lighting	(16) 2x4 Chain Hung / (4) T5 lamps	X		

106 Clinic	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	12x12 Vinyl Tile	X		
Base	Glazed Masonry Base	X		

Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(2) 2x4 Lay-in / (2) T8 lamps			X
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile - stained		X	
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Sconce over Mirror			X
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

107 Kitchen	Material	Condition		
		Good	Fair	Bad
Walls	Glazed CMU, Painted	X		
Floor	Terrazzo	X		
Base	Glazed CMU Base, Coved	X		
Ceiling	Plaster	X		
Lighting	1x4 Surface Mounted / (2) T5 lamps	X		
Kitchen Equipment	New	X		
	Knob door handles			
<b>Adjoining Storage</b>				
Walls	Painted CMU	X		
Floors	9x9 Vinyl Tile	X		
Base	Coved Vinyl			
Ceiling	Plaster	X		

108 Men's Staff Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed CMU	X		
Floor	Terrazzo	X		
Base	Glazed CMU Base, Coved – some are cracked		X	
Ceiling	Plaster with skylight	X		
Lighting	1x4 Surface Mounted / (2) T8 lamps		X	
Stall Partitions	Metal, Floor Mounted		X	
Water Closets	Floor Mounted Flush Valve with sensors		X	
Lavatories	Wall Mounted with handles, no pipe wrap		X	
Urinals	Wall Mounted	X		
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

112 Women's Staff Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed CMU	X		
Floor	Terrazzo	X		
Base	Glazed CMU Base, Coved – some are cracked	X		
Ceiling	Plaster with skylight	X		
Lighting	1x4 Recessed / (2) T8 lamps		X	
Stall Partitions	Metal, Floor Mounted		X	
Water Closets	Floor Mounted Flush Valve with sensors		X	
Lavatories	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

114 Classroom Kindergarten	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile	X		
Base	Glazed Masonry Base	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	1x4 Surface Mounted, (2) T8 Lamps		X	
Stall Partitions	Metal, Floor Mounted			X
Water Closets	Floor Mounted Flush Valve, no sensors	X		
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

116 Classroom Kindergarten	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed Masonry Base	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	

	Knob door handles			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	1x4 Surface Mounted, (2) T8 Lamps		X	
Stall Partitions	Metal, Floor Mounted			X
Water Closets	Floor Mounted Flush Valve, no sensors	X		
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

118 Facility Lounge	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile			X
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(3) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	

120 Classroom 1 <sup>st</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handle			
<b>Adjoining Vestibule</b>	With Classroom 122			
Walls	Painted CMU	X		
Floor	Carpet Tile			X
Base	Glazed Masonry	X		
Ceiling	Plaster	X		
Lighting	Surface Mounted Incandescent		X	
Exterior Door	Hollow Metal Door and Frame			X
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		

Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent			X
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

121 Classroom 2 <sup>nd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	With Classroom 123			
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry	X		
Ceiling	Plaster	X		
Lighting	Surface Mounted Incandescent		X	
Exterior Door	Hollow Metal Door and Frame			X
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent		X	
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

122 Classroom Early Education	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	

Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	See Classroom 120			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent		X	
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

123 Classroom 2 <sup>nd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile / 6" Coved Vinyl	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	See Classroom 121			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent		X	
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

124 Classroom Stem Lab	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	With Classroom 126			
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry	X		
Ceiling	Plaster		X	
Lighting	Surface Mounted Incandescent		X	
Exterior Door	Hollow Metal Door and Frame			X
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent		X	
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

125 Classroom 2 <sup>nd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	With Classroom 127			
Walls	Painted CMU	X		
Floor	Carpet Tile			X
Base	Glazed Masonry	X		
Ceiling	Plaster	X		
Lighting	Surface Mounted Incandescent		X	
Exterior Door	Hollow Metal Door and Frame			X

<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent		X	
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

126 Classroom 1 <sup>st</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate Knob door handles		X	
<b>Adjoining Vestibule</b>	See Classroom 124			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent		X	
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

127 Classroom 4 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	

	Knob door handles			
<b>Adjoining Vestibule</b>	See Classroom 125			
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile - stained		X	
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved - stained		X	
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent			X
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

128 Classroom 1 <sup>st</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps	X		
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>				
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile			X
Base	Glazed Masonry Tile	X		
Ceiling	Plaster	X		
Lighting	Surface Mounted Incandescent		X	
Exterior Door	Hollow Metal Door and Frame		X	
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent			X
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

129 Classroom 4 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			
<b>Adjoining Vestibule</b>				
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile			X
Base	Glazed Masonry	X		
Ceiling	Plaster	X		
Lighting	Surface Mounted Incandescent			X
Exterior Door	Hollow Metal Door and Frame			X
<b>Adjoining Restroom</b>				
Walls	Glazed Masonry Tile - stained		X	
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Wall Mounted Sconce, Incandescent			X
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restroom is not ADA Compliant				

130 Copy Room	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	9x9 Vinyl Tile		X	
Base	Glazed CMU Base	X		
Ceiling	Plaster		X	
Lighting	(2) 2x4 Recessed / (2) T8 lamps		X	
	Knob door handle			

132 Speech and Language	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Brick	X		
Floor	Carpet Tile		X	
Base	Glazed CMU Base	X		
Ceiling	2x4 Suspended Acoustical Tile		X	

Lighting	(4) 2x4 Lay-in / (2) T8 Lamps		X	
	Knob door handles			
<b>Adjoining Office A</b>				
Walls	Painted CMU	X		
Floors	Carpet		X	
Base	Glazed CMU Base	X		
Ceiling and Lighting	2x4 Suspended Acoustical Tile / (2) 2x4 Lay-in / T8 Lamps			X
<b>Adjoining Office B</b>				
Walls	Painted CMU / Brick	X		
Floors	Carpet		X	
Base	Glazed CMU Base	X		
Ceiling and Lighting	2x4 Suspended Acoustical Tile / (2) 2x4 Lay-in / T8 Lamps			X

133 Office	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU / Brick	X		
Floor	Carpet	X		
Base	Glazed CMU Base	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(4) 2x4 Lay-in / (2) T8 Lamps		X	
	Knob door handle			

135 Boys Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile		X	
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster with skylight		X	
Lighting	(2) 1x4 Surface Mounted / (2) T8 lamps		X	
Stall Partitions	Metal, Floor Mounted	X		
Water Closets	Floor Mounted Flush Valve with sensors		X	
Lavatories	Wall Mounted with push handles, no pipe wrap		X	
Urinals	Floor Mounted with sensors	X		
<b>Comments:</b>				
1. Restroom is partially ADA Compliant				

136 Girls Restroom	Material	Condition		
		Good	Fair	Bad
Walls	Glazed Masonry Tile - stained		X	
Floor	1x1 Ceramic Tile		X	

Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster with skylight	X		
Lighting	(2) 1x4 Surface Mounted / (2) T8 lamps			X
Stall Partitions	Metal, Floor Mounted			X
Water Closets	Floor Mounted Flush Valve with sensors		X	
Lavatories	Wall Mounted with handles and pipe wrap		X	
<b>Comments:</b>				
1. Restroom is partially ADA Compliant				

137 Classroom	Material	Condition		
		Good	Fair	Bad
Music				
Walls	Painted CMU	X		
Floor	Carpet	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate			X
	Knob door handles			
<b>Adjoining Vestibule</b>				
Walls	Painted CMU	X		
Floor	Terrazzo	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster		X	
Lighting	Surface Mounted Incandescent		X	
Exterior Door	Hollow Metal Door and Frame			X
<b>Adjoining Restrooms</b>				
Walls	Glazed Masonry Tile	X		
Floor	1x1 Ceramic Tile	X		
Base	Glazed Masonry Tile, Coved	X		
Ceiling	Plaster	X		
Lighting	Recessed Incandescent			X
Stall Partitions	Metal, Floor Mounted		X	
Water Closet	Floor Mounted Flush Valve, no sensor		X	
Lavatory	Wall Mounted with handles, no pipe wrap		X	
<b>Comments:</b>				
1. Restrooms are not ADA Compliant				

138 Computer Lab / Art	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
	Knob door handles			
<b>Adjoining Vestibule</b>	See Classroom 137			
<b>Adjoining Restroom</b>	See Classroom 138			
<b>Adjoining A</b>				
Walls	Painted CMU	X		
Floor	Carpet		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(6) 2x4 Lay-in / (2) T8 lamps		X	

140 Storage	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU		X	
Floor	9x9 Vinyl Tile / Carpet			X
Base	Glazed CMU Base	X		
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(2) 2x4 Lay-in / (2) T-8 Lamps			X

141 Classroom 3 <sup>rd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handles			

142 Library	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet	X		
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handle			

143 Classroom 4 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Lever door handle			

144 Classroom 3 <sup>rd</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Lever door handle			

145 Classroom 5 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile			X
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate			X
	Knob door handle			

146 Classroom Reading	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate		X	
	Knob door handle			

147 Classroom 5 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile	X		
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate			X
	Knob door handle			

148 Classroom 5 <sup>th</sup> Grade	Material	Condition		
		Good	Fair	Bad
Walls	Painted CMU	X		
Floor	Carpet Tile		X	
Base	Glazed Masonry Tile	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	(12) 2x4 Lay-in / (2) T8 lamps		X	
Casework	Wood / Plastic Laminate			X
	Knob door handle			

Corridors	Material	Condition		
		Good	Fair	Bad
Walls	Brick	X		
Floor	Terrazzo	X		
Base	Brick	X		
Ceiling	2x4 Suspended Acoustical Tile		X	
Lighting	2x4 Lay-in / (2) T8 lamps		X	
Borrowlites	Non-rated glazing			

## Swartz Creek Elms Elementary School

1969 Original Construction

37,564 sf

### **Mechanical Systems**

Existing heating ventilation and air conditioning (HVAC) system description:

The existing HVAC system for this building consists of a central hot water heating system served by two newer mid-efficiency 84-85% natural gas Raypak boilers Model H9-1262, each rated at 1,262,000 btuh, for a total heating capacity of 2,524,000 btuh.

The boiler's supply perimeter hot water fin tube radiation for all the classrooms and hot water cabinet heaters and convectors serve the entry vestibules, stairways and the corridors. A small hot water air handling unit supplies the gymnasium.

Ventilation for the school is via operable windows and there is no mechanical means of supplying ventilation air to the building. The only air conditioning for this school is in the Office area and Computer Lab Room 138. Ductless split air conditioning systems serve those rooms.

In general this school has no air conditioning and no mechanical means of provided outside air ventilation.

### **Electrical Systems**

#### Electrical Service/Power Distribution

The main distribution is from original construction and consists of a 1200 Amp 120/240 volt FPE bolted pressure switch main disconnect and circuit breaker distribution located in the boiler room. An "X" panel is feed ahead of the main disconnect which feeds exit lighting. Branch circuit panel boards, wiring, and general purpose receptacles are from original construction. Classrooms have some surface raceway and computer rooms have power poles to feed the dense receptacle loads.

*Recommendation:*

1. *Replace the obsolete electrical distribution.*
2. *Add new emergency power via:*
  - a. *Individual battery units within the fixtures*
3. *Replace branch circuit breaker panel boards with new.*

## Lighting

### Interior:

A majority of the lighting fixtures are from original construction which have been converted from T12 fluorescent lamps to T8 fluorescent lamps. The lenses of the fixtures are showing their age and many are damaged, yellowed or sagging down out of the fixture frames. The corridors are in worse shape than the classrooms.

Some exit lights have been replaced and added over the years but provide poor coverage for marking the path of egress. They are typically equipped with two emergency lighting heads which appear to be the only emergency egress lighting source.

Lighting controls in the form of occupancy sensors have been added in storage rooms etc but were not seen in the corridors or classrooms.

Note: Classrooms are equipped with exterior doors which do not have exit signs. An exit sign is required to meet current code.

Note: the kitchen was renovated in 2017

### Exterior:

Exterior lighting is very limited with one light pole with four flood fixtures. There are also building mounted lights that are aged. Some but not all exit doors are equipped with light fixtures. In General the exterior lighting is inadequate and is past its useful life.

### *Recommendation:*

- 1. Lighting upgrades should be considered to be replaced with new high efficient LED lighting with added controls to meet current Michigan energy code requirements.*
- 2. Emergency egress lighting is deficient and needs to be added throughout the building's interior and exit discharge areas.*
- 3. Exterior lighting including building mounted and parking lot lighting should be replaced and added.*
- 5. Replace exit and emergency lighting with new and associated wiring to meet current Life Safety and building codes.*

## Fire Alarm

The Fire Alarm system is an original National Time and Signal system. The fire alarm system is deficient in most areas and does not meet current Life Safety and building codes. A new fire alarm control panel was installed in 2017 which only supports the renovated kitchen.

### *Recommendation:*

1. *Replace the fire alarm system with new.*

## Systems

**Public Address system** is aged. It appears to be functional but based on its age is most likely limited in its maintainability and expansion options. Speakers are located in the walls of the classrooms and in the ceiling of the corridors. There are push buttons for communications typically adjacent to a phone for communication.

There was a Simplex brand **Master Clock system** but most locations have been replaced with stand alone clocks.

**Data** systems appear to be up to date with data outlets at the teachers desk in each classrooms and Cisco wireless access points (wi fi) throughout the corridors and common spaces surface mounted in the lay in ceilings

### *Recommendation:*

1. *Replace PA system*
2. *Replace master clock system*

### **Code Deficiencies:**

- Insufficient mulch cushioning on playground.
- Classroom exit doors not ADA compliant. Have 4" to 6" step at sill.
- All main entrances are not ADA compliant.
- Classroom corridor doors lack closers.
- Some classroom corridor doors have knob handles in lieu of levers.
- Corridor borrowlites not glazed with fire rated glazing.
- Corridor walls do not extend to underside of roof deck.
- Classrooms 141 through 148 do not have emergency egress windows.
- Toilet rooms are not ADA compliant.
- Emergency lighting insufficient throughout building.
- Fire alarm is not an audio/visual system.

### **Suggested Facility Upgrades:**

- Physically divide parent student drop-off area from bus drop-off area.
- Provide additional site lighting.
- Eliminate sidewalks from classroom exits. Appear to be used as drives, not sidewalks.
- Increase building security at main entrance.
- Replace storefront/window units with new windows and wall infill.
- Provide storage space for cafeteria tables.
- Provide new classroom furniture throughout.
- Replace classroom cabinets / countertop with new increasing storage cabinets.
- Provide space for individual student teaching / support. Currently done in corridors.
- Separate Multi-purpose / Gym space from cafeteria / eating area.
- Expand Stem classroom and add storage.
- Add student lockers within main corridors.
- Replace ceilings and lighting.
- Air condition building.
- If needed, replace existing corridor roll down security grilles with cross corridor doors linked to fire alarm system.
- Replace public address system.
- Replace master clock system.
- Upgrade electrical distribution system.
- Upgrade technology.

## **ELMS ROAD ELEMENTARY SCHOOL**

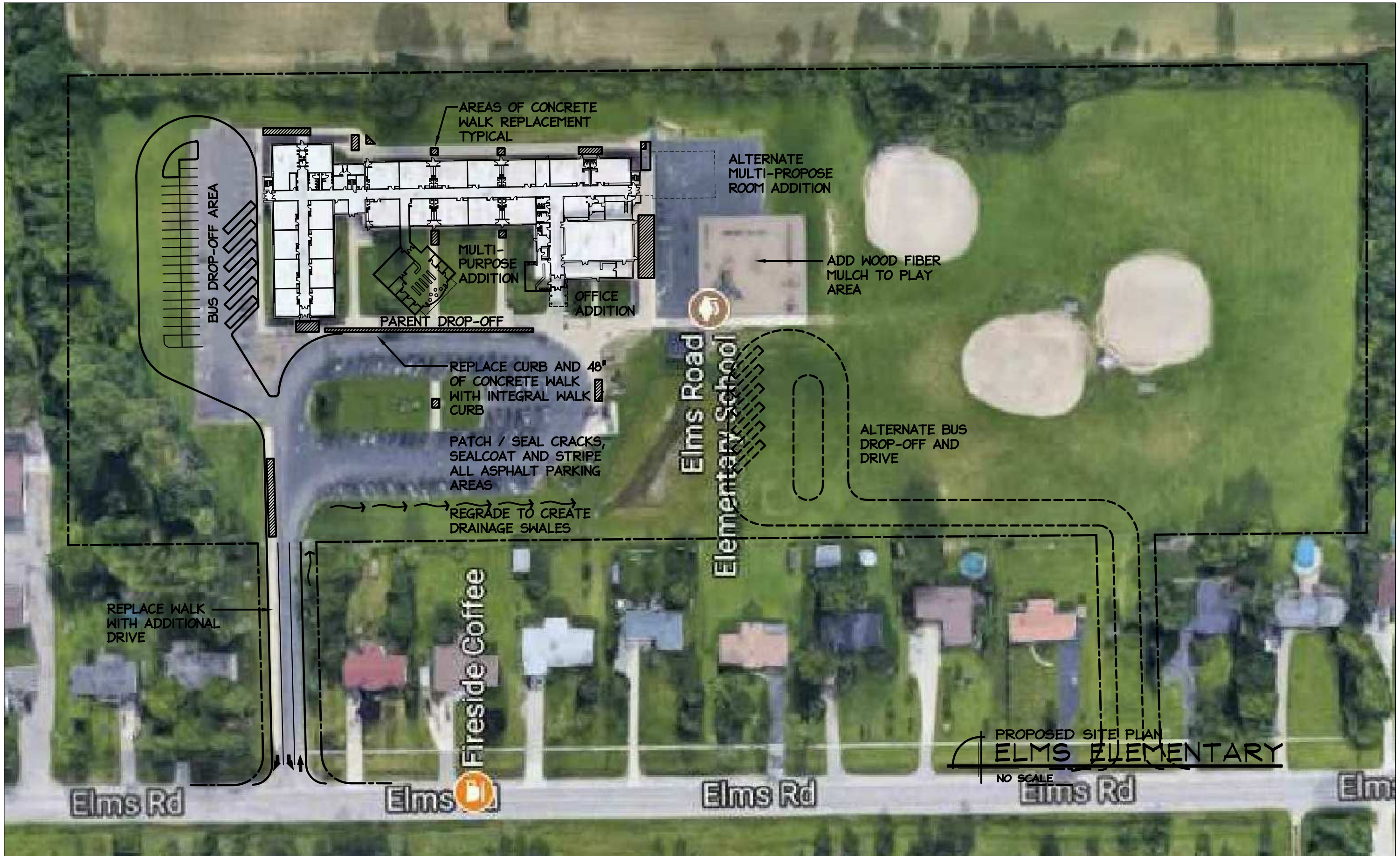
<b>Proposed Site Work:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Concrete Walk Replacement	3000 sq feet	\$ 30,000.00
Reconstruct Classroom Exit Door Stoops for ADA Compliance	9 Exists (650 sq feet)	\$ 36,000.00
Construct ADA Ramp at Northwest Entrance	Lump Sum	\$ 12,000.00
Replace Integral Curb/Walk at Parent Drop-off Area	215 linear feet (800 sq feet)	\$ 14,400.00
Asphalt Pavement Replacement (Between walks and building)	500 sq feet	\$ 3,000.00
Asphalt Pavement Crack Sealing and Sealcoating	45,700 sq feet	\$ 45,700.00
Asphalt Pavement Striping	Lump Sum	\$ 3,000.00
Construction of Drainage Swales	400 linear feet	\$ 10,000.00
Reconstruct North Parking Lot for Bus Drop-off	32,000 sq feet	\$ 180,400.00
Replace Existing Walk with Second Exist Lane at Entry Drive	4,000 sq feet	\$ 12,000.00
Install Site Lighting	8 poles / 20 building	\$ 55,000.00
Add Mulch to Playground	280 cubic yards	\$ 12,600.00
<b>Total Opinion of Probable Cost of Site Work:</b>		<b>\$ 414,100.00</b>

<b>Proposed Code Upgrades:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Install Closers on Classroom Doors	43 units	\$ 20,000.00
Install Lever Handles on Doors	47 units	\$ 23,500.00
Replace Borrowlites with Rated Wall	575 linear feet	\$ 74,750.00
Install Fire-rated Glazing in Classroom Doors	24 units (32 sq feet each plus 200 sq feet)	\$ 67,760.00
Renovate Student Gang Toilet Rooms	520 sq feet	\$ 52,000.00
Renovate Staff Gang Toilet Rooms	250 sq feet	\$ 25,000.00
Upgrade Emergency/Exit Lighting	Lump Sum	\$ 30,000.00

Replace Fire Alarm System	Lump Sum	\$ 110,000.00
<b>Total Opinion of Probable Cost of Code Deficiencies:</b>		<b>\$ 403,010.00</b>

<b>Proposed Building Renovation Work:</b>	<b>Quantity of Work:</b>	<b>Estimate of Cost:</b>
Replace Storefront Assemblies with Windows and Infill Wall	380 linear feet	\$ 32,300.00
Replace Main Entry Doors	2 double leaf	\$ 9,000.00
Replace Exit Doors	11 single leaf	\$ 33,000.00
Refurbish Interior Doors	40 leaves	\$ 12,000.00
Replace / Install Carpet Flooring	475 yards	\$ 14,250.00
Replace Corridor Ceilings	6900 sq feet	\$ 41,400.00
Replace Corridor Lighting Fixtures		\$ 41,400.00
Replace Classroom Ceilings	19,750 sq feet	\$ 118,500.00
Replace Classroom Lighting Fixtures		\$ 136,500.00
Replace or Add Classroom Cabinetry	22 rooms	\$ 154,000.00
Replace Chalkboards with Whiteboards	11 rooms	\$ 26,400.00
New Classroom Furniture	All classrooms	\$ 197,000.00
Replace Master Clock System	Lump Sum	\$ 20,000.00
Replace Electrical Distribution System	Lump Sum	\$ 25,000.00
Air Condition Building	Lump Sum	\$ 650,000.00
<b>Technology Upgrades</b>		
Replace Public Address System	Lump Sum	\$ 55,000.00
Electronic Door Access System	26 doors	\$ 40,000.00
Security Camera System	15 cameras	\$ 30,000.00
Chrome Books and Carts	280 units / 9 carts	\$ 78,840.00
Smart Boards	8 units	\$ 60,000.00
<b>Total Opinion of Probable Cost of Building Renovation Work:</b>		<b>\$1,774,590.00</b>

Proposed Building Additions:	Quantity of Work:	Estimate of Cost:
Construct New Office	680 sq feet	\$ 149,600.00
Renovate Existing Office Area	300 sq feet	\$ 30,000.00
Construct Gym / Multi-Purpose	3700 sq feet	\$ 924,000.00
Renovate Existing Toilet Rooms For Stem Storage	175 sq feet	\$ 17,500.00
<b>Total Opinion of Probable Cost of Building Additions:</b>		<b>\$1,121,100.00</b>



AREAS OF CONCRETE WALK REPLACEMENT TYPICAL

ALTERNATE MULTI-PROPOSE ROOM ADDITION

MULTI-PURPOSE ADDITION

ADD WOOD FIBER MULCH TO PLAY AREA

OFFICE ADDITION

BUS DROP-OFF AREA

PARENT DROP-OFF

REPLACE CURB AND 48" OF CONCRETE WALK WITH INTEGRAL WALK CURB

PATCH / SEAL CRACKS, SEALCOAT AND STRIPE ALL ASPHALT PARKING AREAS

REGRADE TO CREATE DRAINAGE SWALES

ALTERNATE BUS DROP-OFF AND DRIVE

REPLACE WALK WITH ADDITIONAL DRIVE

Fireside Coffee

Elms Road Elementary School

PROPOSED SITE PLAN  
ELMS ELEMENTARY

NO SCALE

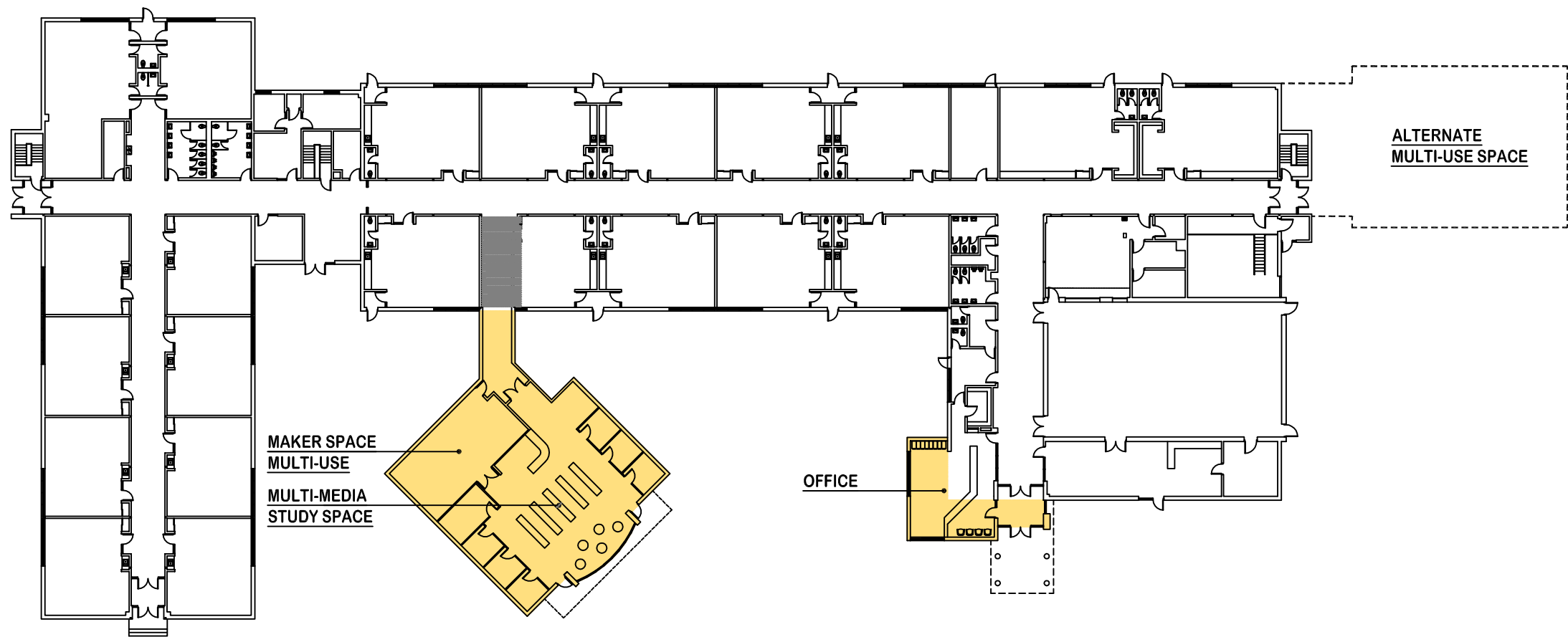
Elms Rd

Elms



Elms Rd

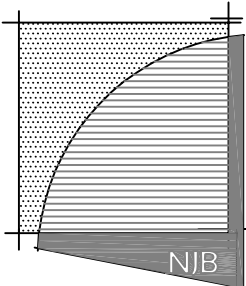
Elms Rd

Elm




**ELMS ELEMENTARY**  
 NO SCALE

 ADDITION - 4385 sq feet  
 REMODELED - ??? sq feet

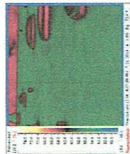
SWARTZ CREEK COMMUNITY SCHOOLS <b>FACILITY STUDY</b> 3259 ELMS ROAD, SWARTZ CREEK ELMS ROAD ELEMENTARY		DRAWN BY TLG PROJECT NO. 170125 CAD FILE x01	REVIEWED BY LRD SCALE DATE 12/2017
 <b>NJB ARCHITECTS INC.</b> 105 1/2 Main Street Flushing, Michigan 48433 810-659-7118 voice 810-659-7224 fax <a href="http://www.njb-architects.com">www.njb-architects.com</a>		<h1>A1</h1>	
1 OF 1 SHEET OF TOTAL SHEETS			

**ELMS ELEMENTARY**  
**ROOF CONDITION REPORT**

### **Elms Elementary**

The low sloped roof areas A, B, C, D, E & F are covered with mechanically attached single ply PVC (thermoplastic) membranes over insulation over a gravel built-up roof membrane over insulation on a metal deck (retrofit). They are estimated to be 1 year old and had two (2) reported active leak areas which appear to be around skylights. The roof areas are in good condition with several ponding areas and aging skylight domes which need to be monitored.

All roof areas should be placed under a yearly inspection, preventive maintenance and reporting process to extend roof life cycles, minimize disruptions/risks, and lower facility costs. Regular inspections, preventive maintenance, repair/restoration procedures can double the life cycles of well designed and installed roof systems at 1/2 to 1/3 the cost of removal and replacement



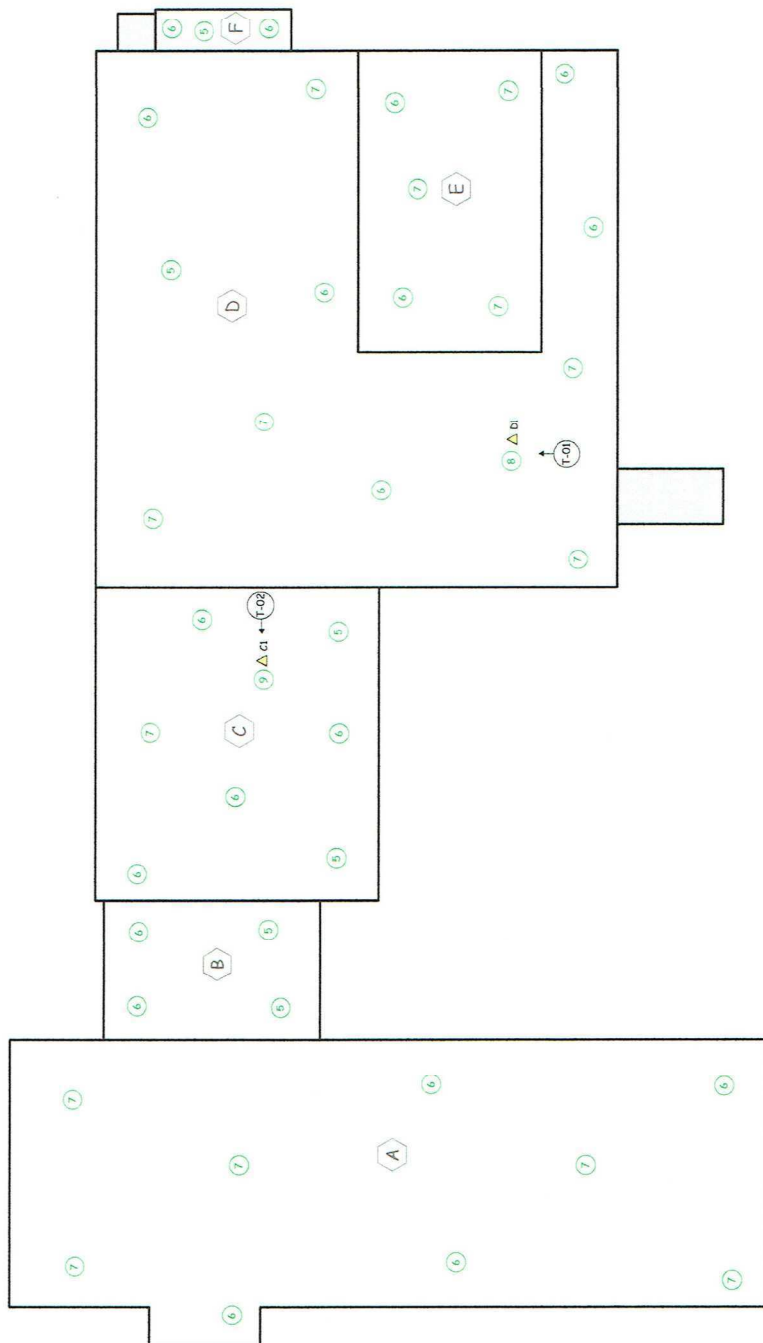
Thermogram T-01



Thermogram T-02

ROOF AREA DATA			
ROOF AREA	SIZE (S.F.)	WET (S.F.)	% WET
A	11,690	0	0.00%
B	1,683	0	0.00%
C	5,025	0	0.00%
D	12,568	0	0.00%
E	3,083	0	0.00%
F	320	0	0.00%
<b>TOTALS</b>	<b>34,339</b>	<b>0</b>	<b>0.00%</b>

ROOF CORE CUT		CONSTRUCTION DATA	
AREA NUMBER	DENSITY READING	MOISTURE READING	CONSTRUCTION
C	C1	9	1 1/2" POLYISO/CANADATE INSULATION
			BUILT-UP-ROOF WITH GRAVEL
			1 1/2" POLYISO/CANADATE INSULATION
			METAL DECK
D	D1	8	SINGLE PLY (WHITE) ROOF SYSTEM
			1 1/2" POLYISO/CANADATE INSULATION
			BUILT-UP-ROOF WITH GRAVEL
			1 1/2" POLYISO/CANADATE INSULATION
			METAL DECK



ROOF PLAN  
Scale: 1/8" = 1'-0"

**TREMCO**  
ROOFING & BUILDING MAINTENANCE

**wü**  
Building Systems  
A Division of RED

**SWARTZ CREEK COMMUNITY SCHOOLS**  
ELMS ELEMENTARY  
SWARTZ CREEK, MI 48473

PROJECT NO. 09-00000  
DATE: 8/20/2014

DESIGNER: F.A.M.  
SCALE: F

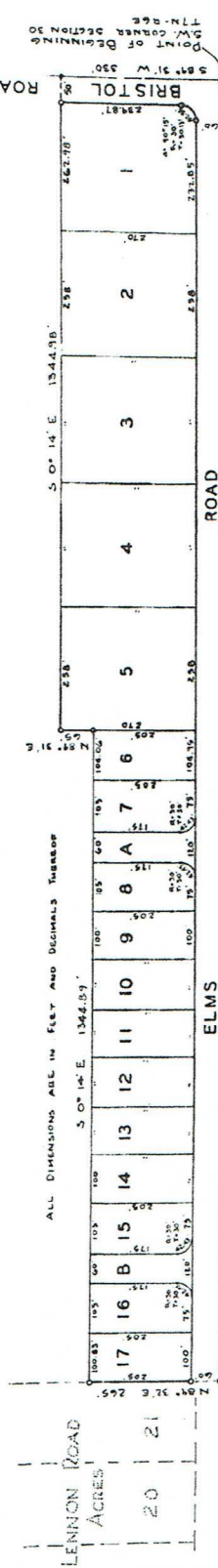
STANDARD KEY OF SYMBOLS:

THERMOGRAM     WET INSULATION     N.I.C. #     MOISTURE DENSITY READING  
 TRACE CORE     R.I.M. (RANDOM)     MOISTURE DENSITY GRID  
 PHOTOGRAPH     INTERMITTANT MOISTURE

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# JON-FRAN SUBDIVISION

PART OF THE SW 1/4 OF SECTION 30 T7N-R6E, TOWNSHIP OF FLINT, GENESEE COUNTY, MICHIGAN



### DESCRIPTION OF LAND PLATED

THE LAND SHOWN IN THE ANNEXED PLAT OF "JON-FRAN SUBDIVISION", PART OF THE SW 1/4 OF SECTION 30, TOWNSHIP OF FLINT, GENESEE COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SW CORNER OF SAID SECTION 30, THENCE N 89° 23' 14" E, 250.00 FEET, THENCE S 0° 14' E, 1344.09 FEET, THENCE N 89° 23' 14" E, 250.00 FEET, THENCE S 0° 14' E, 1344.09 FEET, THENCE N 89° 23' 14" E, 250.00 FEET, THENCE S 0° 14' E, 1344.09 FEET, THENCE N 89° 23' 14" E, 250.00 FEET TO THE POINT OF BEGINNING. CONTAINING 17 NUMBERED LOTS AND 2 LETTERED LOTS.

### DEDICATION

KNOW ALL MEN BY THESE PRESENTS, that we, JOHN W. FICK, and FRANCIS J. FICK, his wife, do hereby certify that the above described land is being dedicated to the use of the public.

WITNESSES:  
 BERNARD HENDERSON  
 SHIRLEY EATON  
 STATE OF MICHIGAN  
 County of Genesee

JOHN W. FICK  
 FRANCIS J. FICK

On this 21st day of Feb, 1951, before me, a Notary Public in and for said County personally appeared the above named JOHN W. FICK, and FRANCIS J. FICK, his wife, known to me to be the persons who executed the above dedication, and who acknowledged the same to be their free act and deed.

My Commission Expires August 13, 1951

Notary Public  
 State of Michigan  
 Genesee County, Michigan

### SUBJECTORS CERTIFICATE

I HEREBY CERTIFY THAT THE PLAT HEREIN delineated is a correct one, and that PLUMBERT METAL INDUSTRIES CONSIDERING OF ROAD NOT LESS THAN ONE-HALF INCH IN DIAMETER AND 36 INCHES IN WIDTH AND 18 INCHES IN DEPTH HAVE BEEN PLACED AT ALL PLACES MARKED THEREON WITH AN IRON PIPE AND A NAIL IN THE PLAT INDICATED, AT THE INTERSECTION OF STRIKERS AND AT THE INTERSECTION OF STRIKER WITH THE ADJACENTS OF THE PLAT AS SHOWN ON SAID PLAT.

Carl H. Carlson  
 Registered Civil Engineer #9185

### CERTIFICATE OF MUNICIPAL APPROVAL

THIS PLAT WAS APPROVED BY THE Township Board of the Township of Flint at a meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

FRANCIS J. SMELL, Township Clerk

### COUNTY TREASURERS CERTIFICATE RELATING TO TAXES

OFFICE OF COUNTY TREASURER, GENESEE COUNTY, MICHIGAN.  
 I HEREBY CERTIFY THAT THERE ARE NO TAX LIENS OR TITLES HELD BY THE STATE OR INDIVIDUALS ON SAID DESCRIBED LOTS, AND THAT THERE ARE NO TAX LIENS OR TITLES HELD BY INDIVIDUALS ON SAID DESCRIBED LOTS FOR SAID PERIOD OF FIVE YEARS AS PAID AS SHOWN BY THE RECORDS OF THIS OFFICE. THIS CERTIFICATE DOES NOT APPLY TO TAXES, IF ANY, NOW IN PROCESS OF COLLECTION BY TOWNSHIP, CITY, OR VILLAGE COLLECTION OFFICERS.

JAMES P. BANEY, County Treasurer

### CERTIFICATE OF APPROVAL BY COUNTY BOARD

THIS PLAT WAS ANNOUNCED ON THE \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

ERIC W. SMITH, Register of Deeds  
 B. E. DUBOIN, Deeds Commissioner

### CERTIFICATE OF APPROVAL BY BOARD OF COUNTY ROAD COMMISSIONERS

THIS PLAT HAS BEEN EXAMINED AND WAS APPROVED ON THE \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_, BY THE GENESEE COUNTY BOARD OF ROAD COMMISSIONERS.

C. W. BULLARD, Commissioner  
 A. HAROLD BROWN, Commissioner

FLINT SURVEYING & ENGINEERING CO.

41541

COPY

Parcel Number: 58-30-300-001

Legal Description:

W 45 A OF SW FR 1/4 EXCEPT S 80 RDS OF E 25 RDS ALSO EXCEPT JON FRAN  
SUBDIVISION SEC 30 T7N R6E

[Print](#)

**The legal description on this site may read differently than the legal description that appears on the certified assessment roll prepared by the local unit of government. If you question this legal description, please verify it with the local unit of government CITY OF SWARTZ CREEK (810) 635-4464.**

Parcel Number: 58-30-551-021

Legal Description:

LOTS A AND B JON-FRAN SUB

[Print](#)

**The legal description on this site may read differently than the legal description that appears on the certified assessment roll prepared by the local unit of government. If you question this legal description, please verify it with the local unit of government CITY OF SWARTZ CREEK (810) 635-4464.**