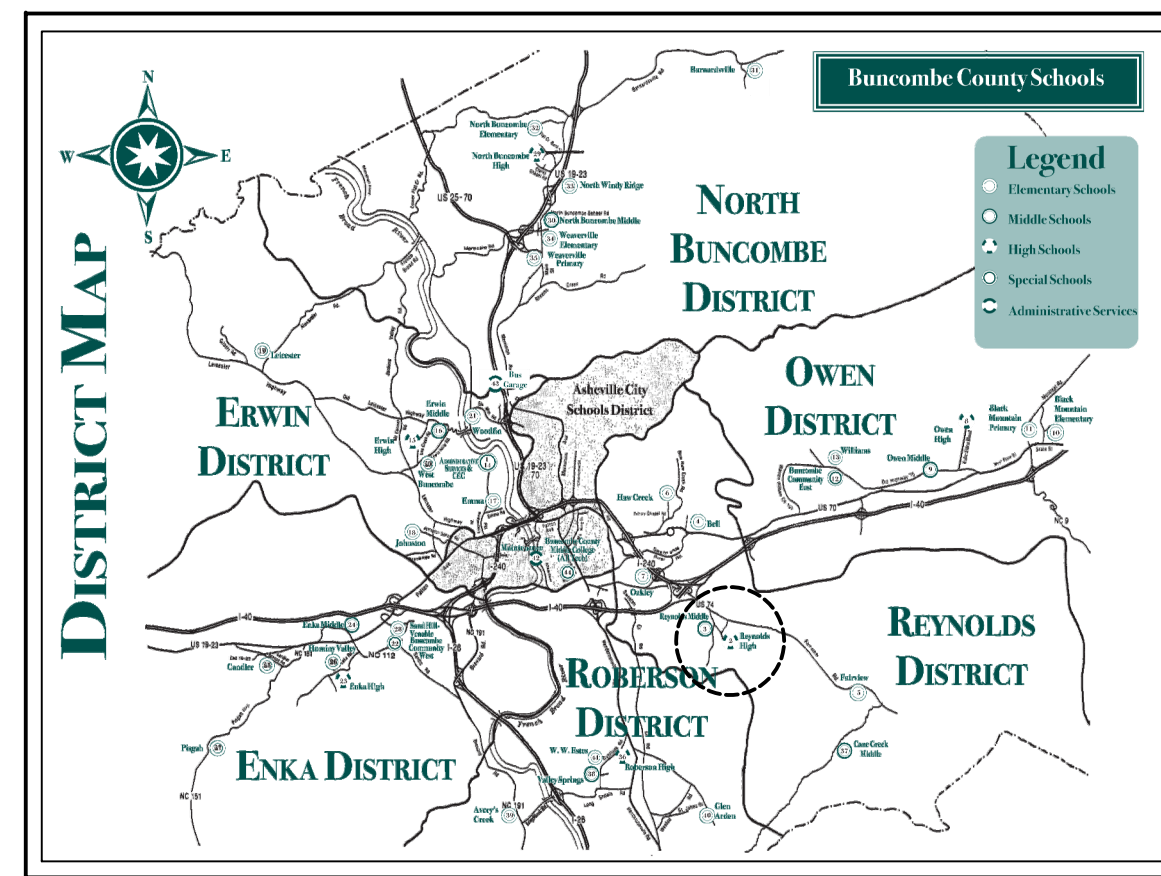


ALTERNATE - A1: REMOVE AND REPLACE THE EXISTING METAL GUARDRAIL REINSTALLED ABOVE NEW CMU WALL AS SHOWN ON BASE BID DRAWINGS WITH A NEW 9 GAUGE COATED CHAIN LINK FENCING SYSTEM. ATTACH CHAIN LINK FENCING FRAMES TO CANOPY COLUMNS AND MATCH VERTICAL AND HORIZONTAL FRAMES OF EXISTING METAL GUARDRAIL AS SHOWN. REFER TO ELEVATIONS, SECTIONS AND DETAILS.

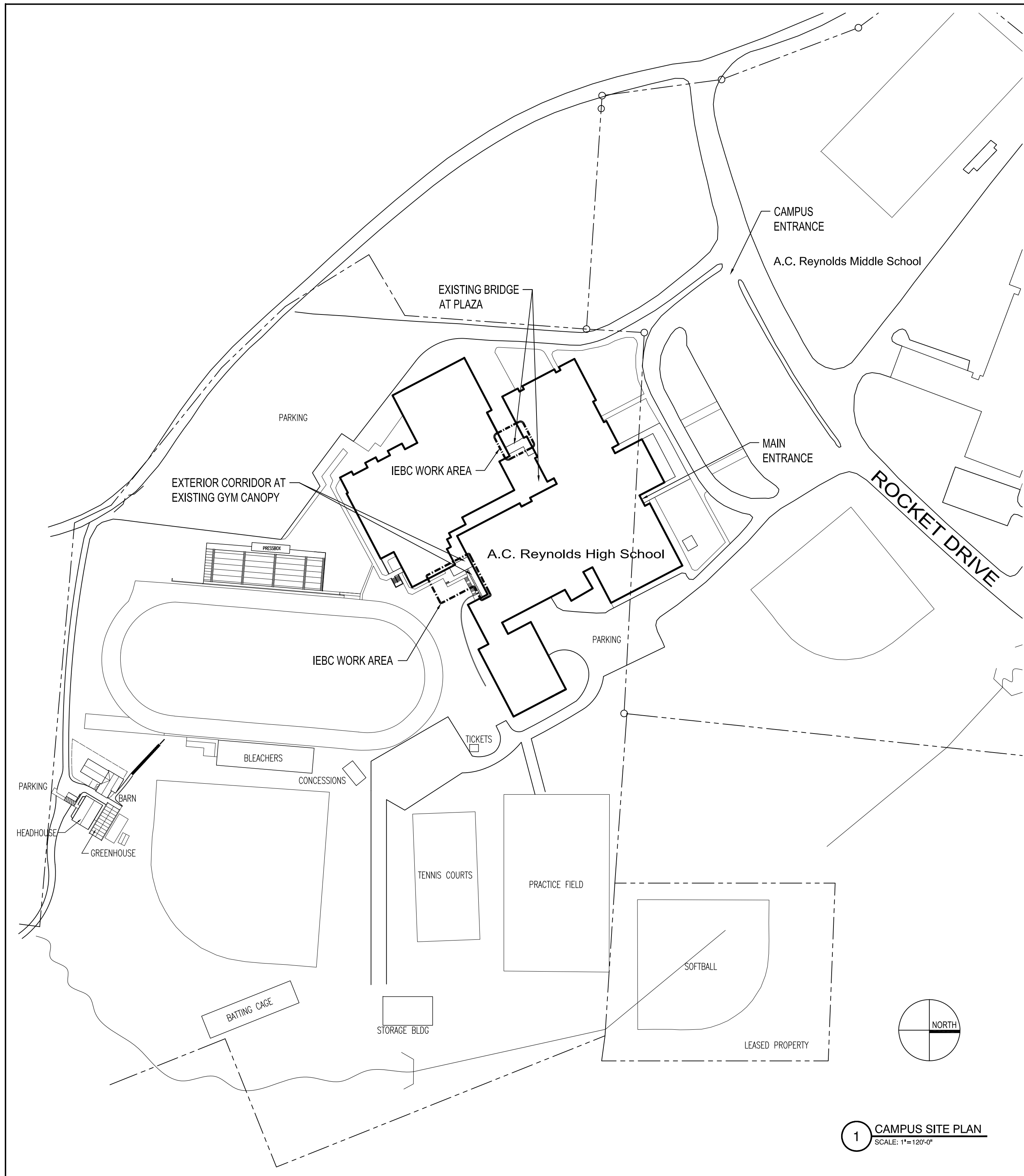
ALTERNATE - A2: REMOVE AND REPLACE NEW INDUSTRIAL ALUMINUM SECURITY FENCE SYSTEM AS SHOWN ON BASE BID DRAWINGS WITH NEW STEEL TUBE, ANGLE FAME AND PANEL SECURITY FENCE AND ADA COMPLIANT GATES AT ALL EXISTING OPENINGS. REFER TO ELEVATIONS, SECTIONS AND DETAILS ON SHEET A401.

ALLOWANCE - 1: BASE BID SHALL INCLUDE A \$5,000.00 DISCOVERIES ALLOWANCE THAT SHALL BE UTILIZED AT THE DIRECTION OF THE OWNER TO COMPLETE OR ENHANCE THE PROJECT DUE TO CODE OFFICIAL DIRECTIVES OR HIDDEN CONDITIONS NOT PREDICTABLE OR EXPECTED.

ALLOWANCE - 2: BASE BID SHALL INCLUDE A \$20,000.00 ALLOWANCE FOR THE COMPLETE CONSTRUCTION OF A NEW ALUMINUM CANOPY SYSTEM ATTACHED TO THE NEW CMU WALL AT THE EXISTING RAISED WALK ADJACENT TO GYM CANOPY AS INDICATED ON THE BASE BID DRAWINGS. BASIS OF DESIGN: AIR VENT EXTERIORS, 1852 BREVARD RD. ARDEN, NC. PHONE: 828.687.0439



2 VICINITY MAP
NOT TO SCALE



1 CAMPUS SITE PLAN
SCALE: 1"=120'-0"

A.C. REYNOLDS HIGH SCHOOL: SECURE CAMPUS PERIMETER

1 ROCKET DRIVE

ASHEVILLE, NC 28803

CODE NARRATIVE

A.C. REYNOLDS HIGH SCHOOL: SECURE CAMPUS PERIMETER IS DESIGNED FOR CODE COMPLIANCE UNDER THE 2018 NC STATE BUILDING CODE: EXISTING BUILDING CODE (2015 IEBC WITH NC AMENDMENTS).

THIS PROJECT RENOVATES AN EXISTING EXTERIOR CORRIDOR WITH NEW COVERED CANOPY, EXTERIOR FENCE, EXTERIOR GATES AND ENTRY DOOR. EXTERIOR ADA IMPROVEMENTS ARE MADE TO PROVIDE AN ACCESSIBLE ROUTE FROM THIS ENTRANCE TO ADJACENT AREAS.

THE PROPOSED RENOVATIONS DO NOT CHANGE USE / OCCUPANCY. THIS PROJECT DOES NOT INCREASE INTENSITY (OCCUPANT LOAD). THE CURRENT 2018 NC BUILDING CODE WAS USED FOR OCCUPANCY LOADS AND EXITING CALCULATIONS TO VERIFY ADEQUATE EGRESS.

2018 NC EXISTING BUILDING CODE SUMMARY

(AS ADOPTED BY THE NC BUILDING CODE COUNCIL ON JUNE 13, 2017 TO BE EFFECTIVE JANUARY 1, 2019, references to the International Codes shall mean the North Carolina Codes)

CHAPTER 1: SCOPE AND ADMINISTRATION

101.2 Scope. The provisions of the Existing Building Code shall apply to the repair, alteration, change of occupancy, addition and relocation of existing buildings.

101.3 Intent. The intent of this code is to provide flexibility to permit the use of alternative approaches to achieve compliance with minimum requirements to safeguard the public health, safety and welfare insofar as they are affected by the repair, alteration, change of occupancy, addition and relocation of existing buildings.

101.4 Applicability. This code shall apply to the repair, alteration, change of occupancy, addition and relocation of all existing buildings, regardless of occupancy, subject to the criteria of Section 101.4.1 and 101.4.2

101.4.2 Buildings previously occupied. The legal occupancy of any building existing on the date of adoption of this code shall be permitted to continue without change, except as is specifically covered in this code, the International Fire Code, or as deemed necessary by the code official for the general safety and welfare of the occupants and the public.

101.5 Safeguards during construction. All construction work covered in this code, including any related demolition, shall comply with the requirements of Chapter 15.

101.7 Correction of violations of other codes. Repairs or alterations mandated by any property, housing, or fire safety maintenance code or mandated by any licensing rule or ordinance adopted pursuant to law shall conform only to the requirements of that code, rule, or ordinance and shall not be required to conform to this code unless the code requiring such repair or alteration so provides.

CHAPTER 2: DEFINITIONS

ADDITION. An extension or increase in floor area, number of stories, or height of a building or structure.

CHANGE OF OCCUPANCY. A change in the use of the building or portion of the building. A change of occupancy shall include any change of occupancy classification, any change from one group to another group within an occupancy classification or any change in use within a group for a specific occupancy classification.

WORK AREA. That portion or portions of a building consisting of all reconfigured spaces as indicated on the construction documents. Work area excludes other portions of the building where incidental work entailed by the intended work must be performed and portions of the buildings where work not initially intended by the owner is specifically required by this code.

THIS PROJECT: LEVEL 2 WORK AREA COMPLIANCE METHOD:

CHAPTER 7 summary requirements: ALTERATIONS - LEVEL 1 (RENOVATION)

Removal or replacement or covering of existing materials, elements, equipment or fixtures using new materials that serve the same purpose.

COMPLIANCE:

702.6 Materials and Methods. All new work shall comply with materials and methods for new construction.

703. Fire Protection. Alterations shall be done in a manner that maintains the level of fire protection that exist.

704. Means of Egress. Alterations shall be done in a manner that maintains the level of protection that exist for the means of egress.

707.2 Addition or replacement of roofing or replacement of equipment. Where addition or replacement of roofing or replacement of equipment results in additional dead loads, structural components supporting such roofing or equipment shall comply with the gravity load requirements of the current NC Building Code.

CHAPTER 8 summary requirements: ALTERATIONS - LEVEL 2 (ALTERATION)

Reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system or the installation of any additional equipment.

COMPLIANCE:

All work complies with ALTERATIONS - LEVEL 1 (RENOVATIONS) provisions in Chapter 7 in addition to this chapter.

802. Special Use and Occupancy. Not applicable to this project.

803.2.1. Vertical Openings. Not applicable to this project.

803.3 Smoke Barriers for Group I-2. Not applicable to this project.

803.4 Interior finish in exits and corridors. The interior finish of walls and ceilings in exits and corridors in any work area shall comply with the requirements of the current NC Building Code.

803.5 Guards. Guards are provided throughout the project to comply with current NC Building Code.

803.7 Fireblocking and draftstopping. When the work being performed exposes the framing of any wall, floor, ceiling or roof, the exposed framing shall comply with Section 716 of the North Carolina Building Code.

804.4 Fire alarms and detection. Provided.

805. Means of egress. Only applies to multi-tenant buildings. This building has only owner occupancy and complies with current NC Building Code.

806 Accessibility. This project meets the requirements of current Accessibility codes.

807 Structural. New and existing structural elements in alteration, including connections and anchorage, shall comply with current NC Building Code.

Mechanical

809.1 Reconfigured or converted spaces. shall be provided with natural or mechanical ventilation in accordance with the International Mechanical Code.

Energy Conservation

811.1 Minimum requirements. Level 2 alterations to existing buildings or structures are permitted without requiring the entire building or structure to comply with the energy requirements of the International Energy Conservation Code. The alterations shall conform to the energy requirements of this Section and Section 708.

CHAPTER 11 summary requirements: ADDITIONS

Provisions for additions shall apply where work is classified as an addition as defined in Chapter 2.

COMPLIANCE:

All work complies with ALTERATION - LEVELS 1 and 2 provisions in Chapters 7 and 8, in addition to this chapter.

1101.1 Scope. An addition to a building or structure shall comply with the current NC Building Code as adopted for new construction without requiring the existing building or structure to comply with any requirements of those codes or of these provisions, except as required by this chapter, where an addition impacts the existing building or structure, that portion shall comply with this code.

1101.2 Creation or extension of nonconformity. An addition shall not create or extend any nonconformity in the existing building to which the addition is being made with regard to accessibility, structural strength, fire safety, means of egress, or the capacity of mechanical, plumbing, or electrical systems.

PROJECT DESCRIPTION:

WORK INVOLVES EXTERIOR RENOVATIONS AND SITE IMPROVEMENTS TO ENCLOSE AN EXISTING EXTERIOR CORRIDOR AND ADD GATES TO ADDRESS EXISTING SECURITY ISSUES AND MAINTAIN ADA ACCESSIBILITY, AS DEFINED BY 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN BY THE DEPARTMENT OF JUSTICE AND THE ICC A117.1-2009 ANSI STANDARD. NO CHANGE OF USE OR INCREASE IN EXISTING OCCUPANCY LOADS IS REQUESTED.

THIS PROJECT IS PERMITTED UNDER THE 2018 NORTH CAROLINA STATE BUILDING CODE: EXISTING BUILDING CODE (2015 IEBC WITH NORTH CAROLINA AMENDMENTS). BUILDING PERMIT IS ADMINISTERED BY THE BUNCOMBE COUNTY BUILDING DEPARTMENT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT COSTS AND INSPECTIONS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, NEW ARCHITECTURAL CONSTRUCTION, MODIFICATIONS TO THE EXISTING SITE GRADING, SITE DRAINAGE, PLUMBING, MECHANICAL, ELECTRICAL AND LOW VOLTAGE SYSTEMS AND ALL FINISHES AND WORK AS DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH SCHOOL ADMINISTRATORS' STUDENT CLASS SCHEDULES TO MINIMIZE ANY SERVICE INTERRUPTIONS. CONTRACTOR SHALL PROTECT AND CLEAN BUILDING INTERIOR AND SITE WORK AREA AS REQUIRED FOR STUDENTS TO ATTEND SCHOOL REGULARLY. CONTRACTOR IS RESPONSIBLE FOR ANY CONSEQUENTIAL DAMAGES THAT MAY OCCUR DURING THIS PROJECT.

OWNER CONTACTS:

DESIGN AND TECHNICAL CONTACT:

TIMOTHY FIERLE, AIA
FACILITIES DIRECTOR, BUNCOMBE COUNTY SCHOOLS
PHONE: (828) 255.5916 FAX: (828) 255.5923

BIDDING & ADMINISTRATIVE CONTACT:

TIFFANY McCANTS, PURCHASING OFFICER, BUNCOMBE COUNTY SCHOOLS
PHONE: (828) 255.5891 FAX: (828) 251.1730

SHEET INDEX:

ARCHITECTURAL

COVER CODE ANALYSIS AND CAMPUS SITE PLAN

A101 LIFE SAFETY PLAN: MAIN FLOOR
A102 LIFE SAFETY PLAN: SECOND FLOOR
A103 LIFE SAFETY PLAN: BASEMENT

A111 ENLARGED PLANS: GYM CANOPY
A112 ENLARGED PLANS: PLAZA BRIDGE

A201 ELEVATION / SECTIONS: GYM CANOPY
A202 ELEVATION / SECTIONS: PLAZA BRIDGE

A301 SECTIONS AND DETAILS: GYM CANOPY
A302 SECTIONS AND DETAILS: GYM CANOPY
A303 SECTIONS AND DETAILS: PLAZA BRIDGE

A401 ALTERNATE - A2: ELEVATIONS, SECTS. AND DETS.
A601 SCHEDULES AND ELEVATIONS

GENERAL NOTES:

- PRIOR TO ANY SITE DISTURBANCE, CONTRACTOR SHALL PROVIDE EXISTING SITE SURVEY AND SITE GRADING PLAN FOR REVIEW BY THE ARCHITECT TO CONFIRM THE EXTENT OF NEW GRADING REQUIRED AND COMPLIANCE WITH THE DESIGN INTENT OF THE ADA COMPLIANT SITE IMPROVEMENTS INDICATED IN THESE DOCUMENTS.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY EXISTING DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES THAT WILL IMPACT THE DESIGN INTENT OF THE ADA COMPLIANT IMPROVEMENTS INDICATED IN THESE DOCUMENTS.
- DIMENSIONS TO EXISTING MATERIALS SHOWN ARE TO FACE OF FINISHED MATERIAL, U.N.O.
- ALL EQUIPMENT, FIXTURES, HARDWARE AND ACCESSORIES PROVIDED ARE TO COMPLY WITH 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN BY THE US DEPARTMENT OF JUSTICE AND ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES. ALL PRODUCTS IDENTIFIED INDICATE BASIS OF DESIGN, REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- REMOVE, REROUTE AND REINSTALL EXISTING AND NEW ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT; ELECTRICAL CONDUIT AND RACEWAYS; PLUMBING AND WATER SUPPLY PIPING AND EQUIPMENT AS REQUIRED TO MAINTAIN THE NEW ADA COMPLIANT ACCESSIBLE ROUTES IN ALL RENOVATED AREAS. MAINTAIN ALL EXISTING SYSTEMS IMPACTED BY THESE RENOVATIONS IN OPERABLE AND CODE COMPLIANT CONDITION.
- ALL EXISTING MATERIALS TO REMAIN ARE TO BE PROTECTED AND CLEANED TO REMOVE EXISTING DEBRIS WITHOUT DAMAGING FINISHES.
- NEATLY SEAL NEW MATERIALS TO EXISTING MATERIAL AND SURFACES.
- PATCH AND REPAIR ALL AREAS WHERE EQUIPMENT IS REMOVED TO MATCH EXISTING. PAINT AND OR FINISH ALL WALLS, TRIM, HM DOORS, HM FRAMES AND CASEWORK IN RENOVATED AREAS TO MATCH EXISTING PAINT AND FINISH COLORS.
- ALL AREAS WHERE EXISTING GRADE OR GRASS IS DISTURBED, RE-GRADE TO A SMOOTH SLOPE. PROVIDE 4" TOP SOIL AND SLOPE STABILIZATION. HAND PREP AND PROVIDE 500 WITH A MIX OF COLD AND WARM WEATHER GRASSES. REFER TO INSTALL OF SOD, BROADCAST 1 LB. PER 100 SQUARE FEET 6-20-20 ROOT STARTER FERTILIZER. NO STRAW.
- CONTRACTORS OPTION: PROVIDE 4000 PSI FIBERMESH CONCRETE SLAB IN LIEU OF 4000 PSI CONCRETE WITH 4x4 W2.9x2.9 WWF REINFORCING.
- POUR THICKENED TURN-DOWN SLAB EDGES AT ALL EXTERIOR SLABS LOCATED AT EXTERIOR DOORS FOR THE FULL LENGTH OF THE SLAB. REFER TO SECTIONS AND DETAILS.
- PROVIDE 1:48 CROSS SLOPE AT RAMPS, LANDINGS AND WALKS CONCRETE SLABS.
- CONCRETE WALLS TO SHOW FORMWORK LINES - NO PARING.
- PROVIDE ISOLATION / EXPANSION JOINTS AT NEW TO EXISTING SLAB CONNECTIONS AND AT ALL EDGES AT NEW TO EXISTING STRUCTURE, JOINTS AS INDICATED, REFER TO SECTIONS AND DETAILS.
- PROTECT EXISTING PLANTED AREAS AND TREES DURING CONSTRUCTION. AVOID DAMAGE TO ALL PLANTS AND THEIR ROOT SYSTEMS.
- STEEL IDENTIFIED AS GALVANIZED OR HDG REFERS TO HOT DIP GALVANIZED AFTER FABRICATION. UNLESS NOTED OTHERWISE, PROTECT AND MAINTAIN REQUIRED HOT DIP GALVANIZED FINISH AT ALL JOINTS AND EXPOSED EDGES DURING INSTALLATION. UTILIZE EXPANSION JOINT DETAIL TO ELIMINATE FIELD WELDING AND COLD GALVANIZING APPLICATION.

BUNCOMBE COUNTY SCHOOLS

ELEVATING YOUNG MINDS

A.C. REYNOLDS HIGH SCHOOL: SECURE CAMPUS PERIMETER
Buncombe County, NC

Buncombe County Schools
Facilities and Planning
Timothy Fierle AIA, Director
175 Bingham Road □ Asheville, N.C. 28806-3800
Phone: (828) 255-5916 Fax: (828) 255-5923



COVER

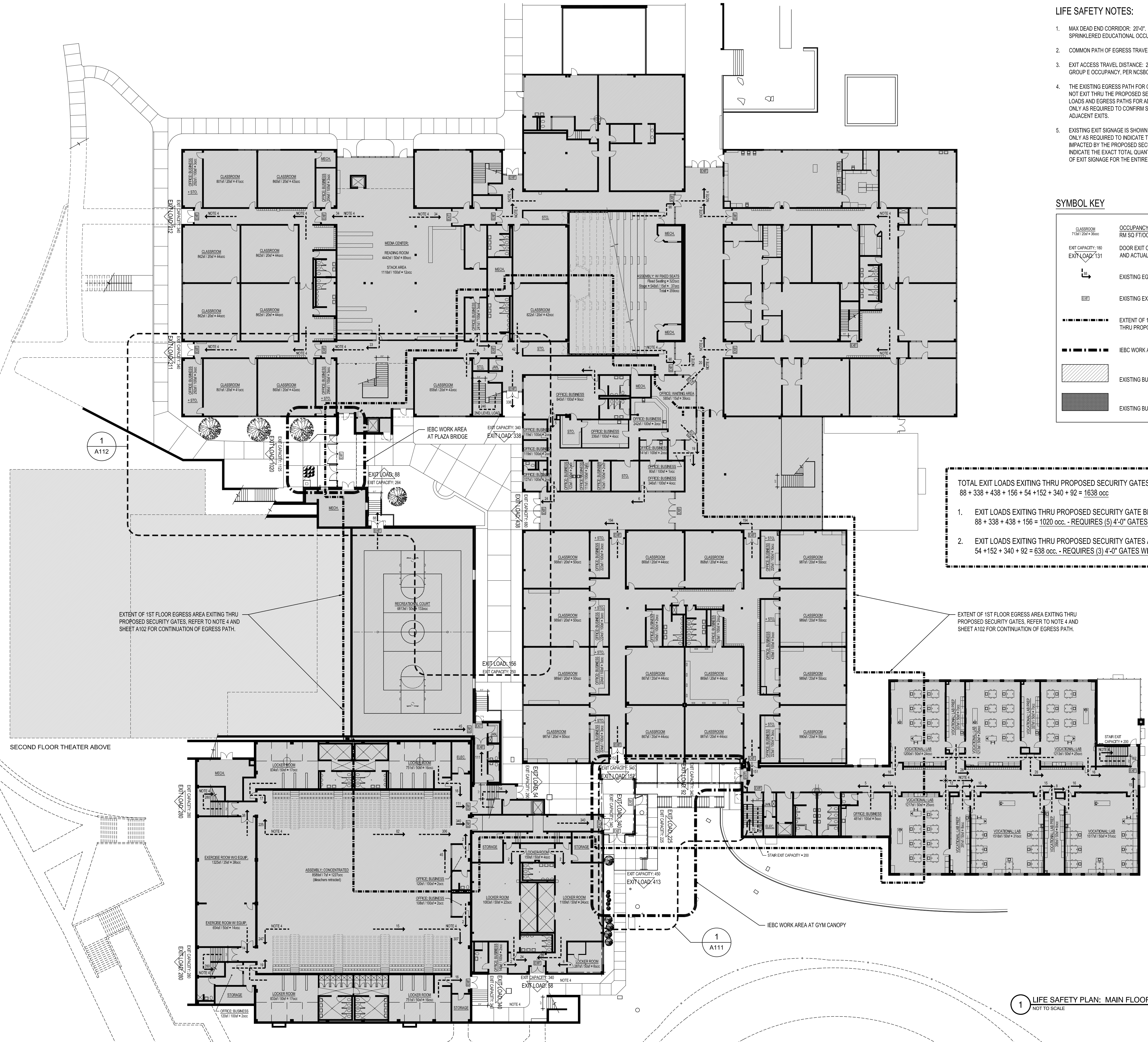
DESIGNED BY: TMF
DATE: 03.19.2020

LIFE SAFETY NOTES:

1. MAX DEAD END CORRIDOR: 20'-0". EXCEPTION FOR FULLY SPRINKLERED EDUCATIONAL OCCUPANCY: 50'-0", PER NCSBC 1020.4.
2. COMMON PATH OF EGRESS TRAVEL: 75'-0", PER NCSBC 1006.2.1.
3. EXIT ACCESS TRAVEL DISTANCE: 200'-0" IN A NON-SPRINKLERED GROUP E OCCUPANCY, PER NCSBC TABLE 1017.2.
4. THE EXISTING EGRESS PATH FOR OCCUPANTS IN THIS AREA DOES NOT EXIT THRU THE PROPOSED SECURITY GATES. THE OCCUPANT LOADS AND EGRESS PATHS FOR ADJACENT AREAS ARE SHOWN ONLY AS REQUIRED TO CONFIRM SUFFICIENT EXIT CAPACITIES OF ADJACENT EXITS.
5. EXISTING EXIT SIGNAGE IS SHOWN FOR INFORMATIONAL PURPOSES ONLY AS REQUIRED TO INDICATE THE EXTENT OF EGRESS PATHS IMPACTED BY THE PROPOSED SECURITY GATES AND DO NOT INDICATE THE EXACT TOTAL QUANTITY, LOCATION & CONFIGURATION OF EXIT SIGNAGE FOR THE ENTIRE BUILDING.

SYMBOL KEY

	CLASSROOM 1741/2047 = 80cc	OCCUPANCY TYPE RM SQ FT/OCCUPANT LOAD PER TABLE 1004.1.2
	EXIT CAPACITY: 180 EXIT LOAD: 131	DOOR EXIT CAPACITY AND ACTUAL EXIT LOAD
		EXISTING EGRESS PATH OF TRAVEL & OCCUPANT LOAD
		EXISTING EXIT SIGNAGE. REFER TO NOTE 5.
		EXTENT OF 1ST AND 2ND FLOOR EGRESS AREAS EXITING THRU PROPOSED SECURITY GATES. REFER TO NOTE 4.
		IBEC WORK AREA
		EXISTING BUILDING AREAS OUTSIDE OF WORK AREA
		EXISTING BUILDING WALLS



TOTAL EXIT LOADS EXITING THRU PROPOSED SECURITY GATES:
 $88 + 338 + 438 + 156 + 54 + 152 + 340 + 92 = 1638 \text{ occ}$

1. EXIT LOADS EXITING THRU PROPOSED SECURITY GATE BELOW BRIDGE:
 $88 + 338 + 438 + 156 = 1020 \text{ occ}$ - REQUIRES (5) 4'-0" GATES WITH 1125 occ TOTAL CAPACITY.
2. EXIT LOADS EXITING THRU PROPOSED SECURITY GATES AT GYM:
 $54 + 152 + 340 + 92 = 638 \text{ occ}$ - REQUIRES (3) 4'-0" GATES WITH 675 occ TOTAL CAPACITY.

EXTENT OF 1ST FLOOR EGRESS AREA EXITING THRU PROPOSED SECURITY GATES. REFER TO NOTE 4 AND SHEET A102 FOR CONTINUATION OF EGRESS PATH.

EXTENT OF 1ST FLOOR EGRESS AREA EXITING THRU PROPOSED SECURITY GATES. REFER TO NOTE 4 AND SHEET A102 FOR CONTINUATION OF EGRESS PATH.

**Buncombe County Schools
Facilities and Planning**

Timothy Fierle AIA, Director
 175 Bingham Road □ Asheville, N.C. 28806-3800
 Phone: (828) 255-5916 Fax: (828) 255-5923



1 LIFE SAFETY PLAN: MAIN FLOOR
NOT TO SCALE

LIFE SAFETY NOTES:

1. MAX DEAD END CORRIDOR: 20'-0". EXCEPTION FOR FULLY SPRINKLERED EDUCATIONAL OCCUPANCY: 50'-0", PER NCSBC 1020.4.
2. COMMON PATH OF EGRESS TRAVEL: 75'-0", PER NCSBC 1006.2.1.
3. EXIT ACCESS TRAVEL DISTANCE: 200'-0" IN A NON-SPRINKLERED GROUP E OCCUPANCY, PER NCSBC TABLE 1017.2.
4. THE EXISTING EGRESS PATH FOR OCCUPANTS IN THIS AREA DOES NOT EXIT THRU THE PROPOSED SECURITY GATES. THE OCCUPANT LOADS AND EGRESS PATHS FOR ADJACENT AREAS ARE SHOWN ONLY AS REQUIRED TO CONFIRM SUFFICIENT EXIT CAPACITIES OF ADJACENT EXITS.
5. EXISTING EXIT SIGNAGE IS SHOWN FOR INFORMATIONAL PURPOSES ONLY AS REQUIRED TO INDICATE THE EXTENT OF EGRESS PATHS IMPACTED BY THE PROPOSED SECURITY GATES AND DO NOT INDICATE THE EXACT TOTAL QUANTITY, LOCATION & CONFIGURATION OF EXIT SIGNAGE FOR THE ENTIRE BUILDING.

SYMBOL KEY

CLASSROOM 719F/20F x 3600C	OCCUPANCY TYPE RM SQ FT/OCCUPANT LOAD PER TABLE 1004.1.2
EXIT CAPACITY: 180 EXIT LOAD: 131	DOOR EXIT CAPACITY AND ACTUAL EXIT LOAD
	EXISTING EGRESS PATH OF TRAVEL & OCCUPANT LOAD
	EXISTING EXIT SIGNAGE, REFER TO NOTE 5.
	EXTENT OF 1ST AND 2ND FLOOR EGRESS AREAS EXITING THRU PROPOSED SECURITY GATES, REFER TO NOTE 4.
	IEBC WORK AREA
	EXISTING BUILDING AREAS OUTSIDE OF WORK AREA
	EXISTING BUILDING WALLS

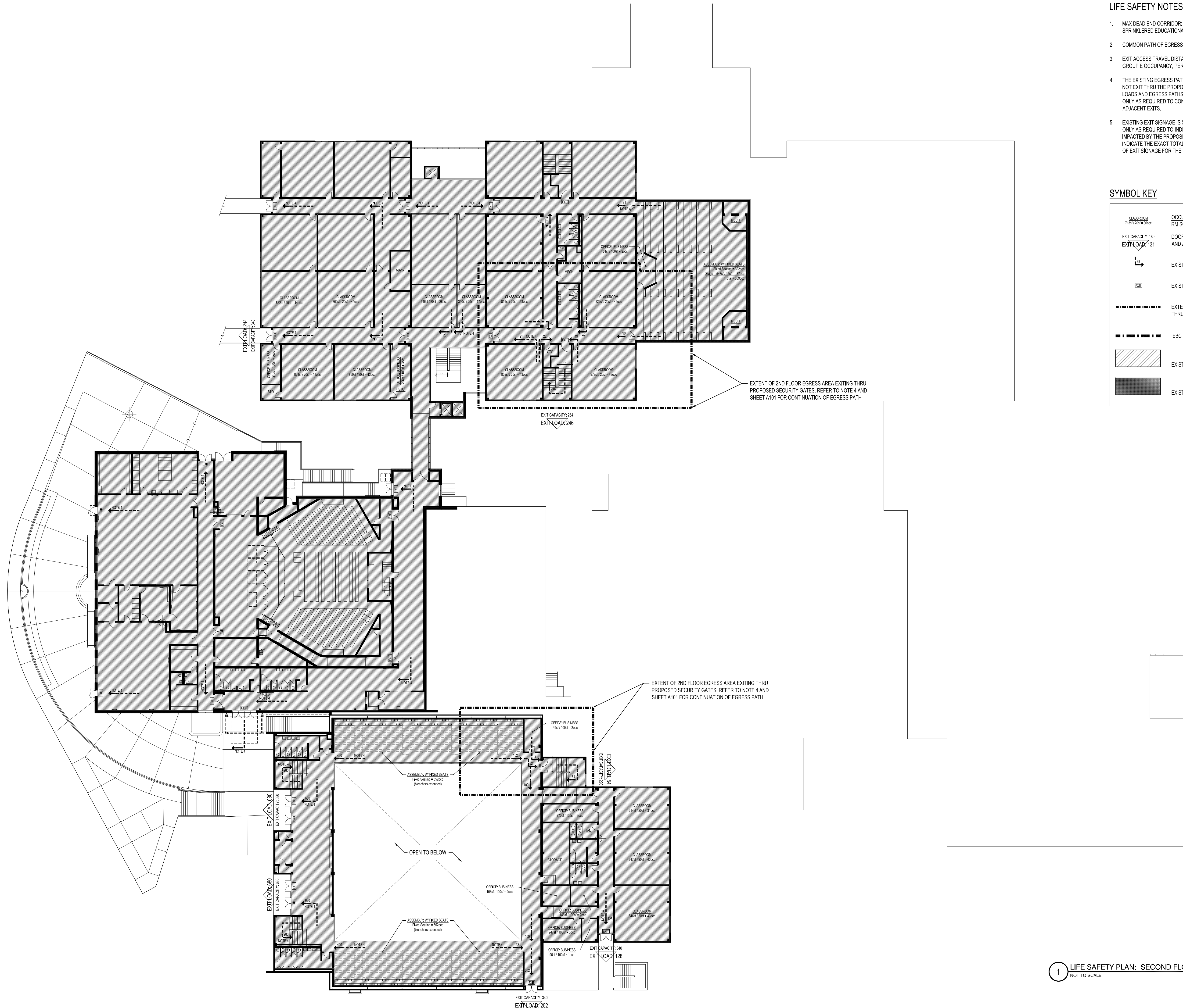
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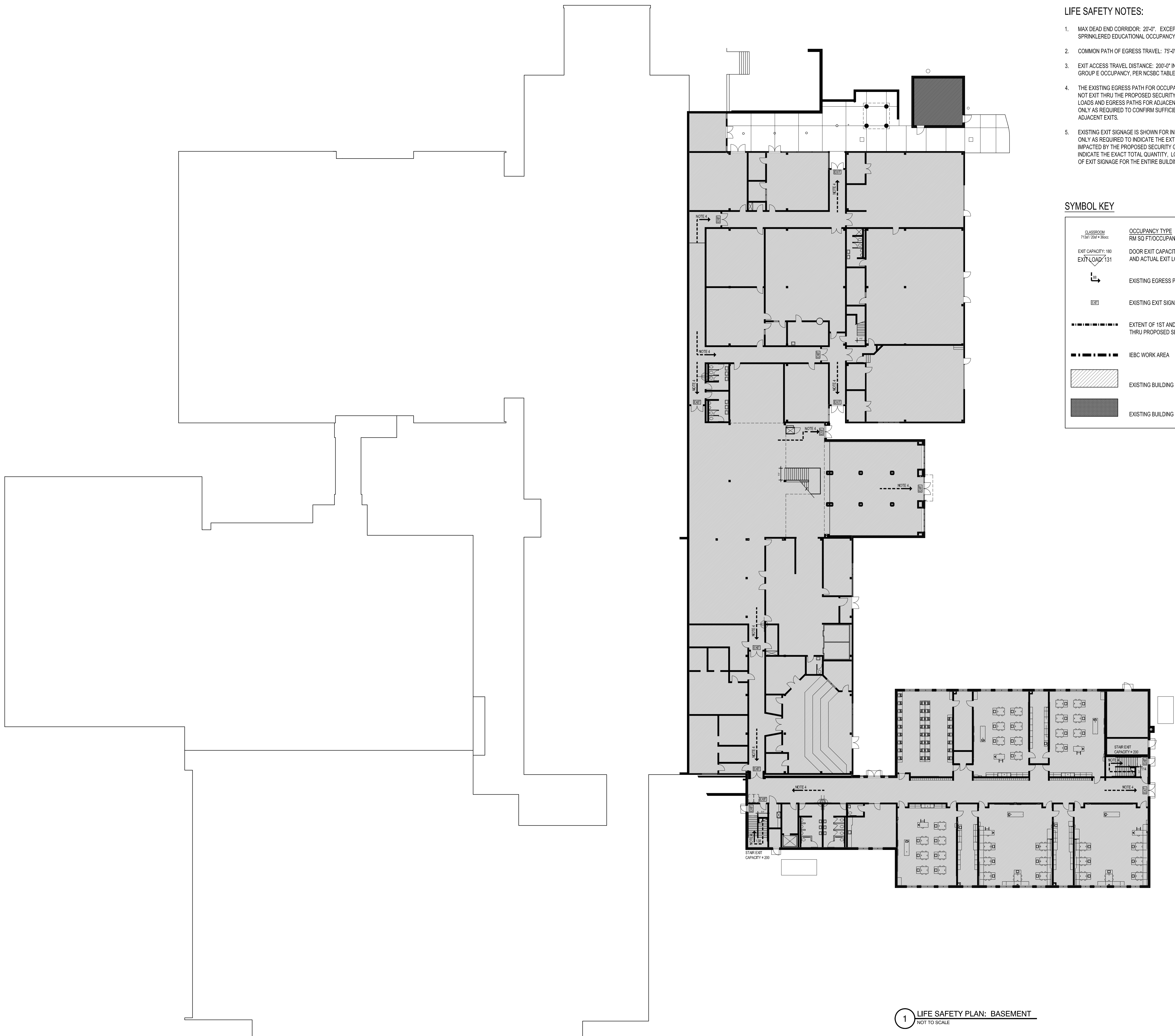


**A102
LIFE SAFETY PLAN:
SECOND FLOOR**

DESIGNED BY: TMF
DATE: 03.19.2020



1 LIFE SAFETY PLAN: SECOND FLOOR
NOT TO SCALE



LIFE SAFETY NOTES:

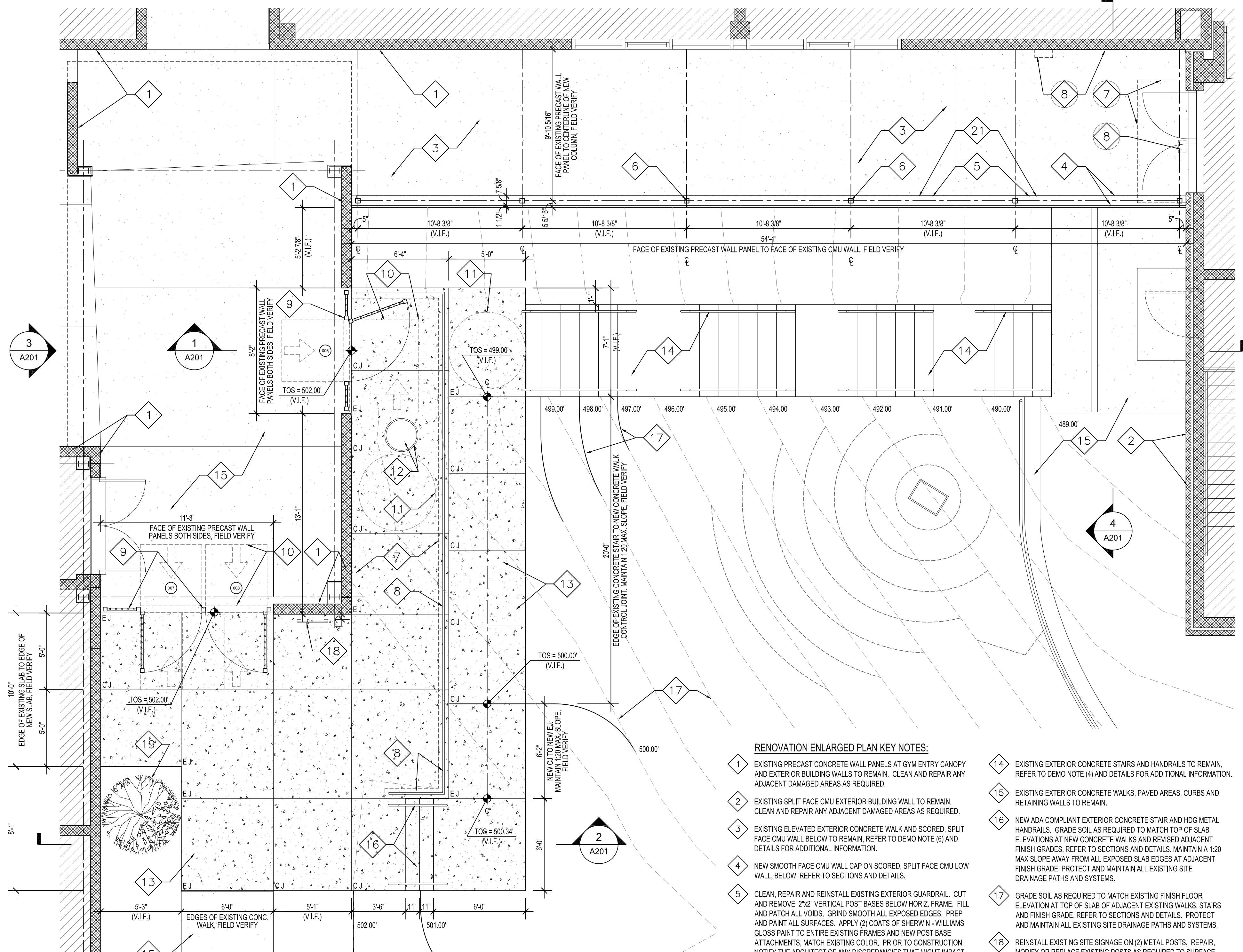
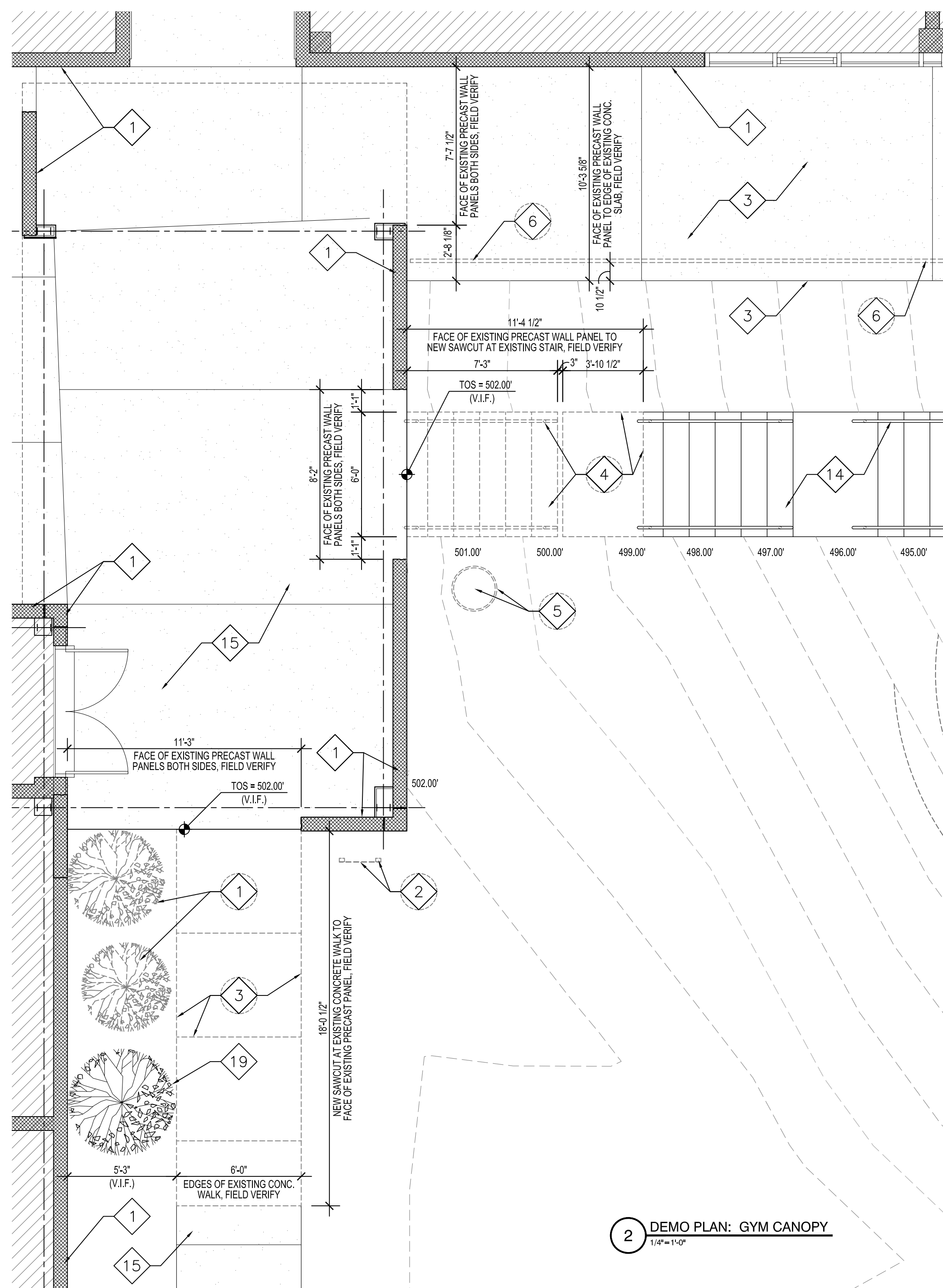
1. MAX DEAD END CORRIDOR: 20'-0". EXCEPTION FOR FULLY SPRINKLERED EDUCATIONAL OCCUPANCY: 50'-0", PER NCSCB 1020.4.
2. COMMON PATH OF EGRESS TRAVEL: 75'-0", PER NCSCB 1006.2.1.
3. EXIT ACCESS TRAVEL DISTANCE: 200'-0" IN A NON-SPRINKLERED GROUP E OCCUPANCY, PER NCSCB TABLE 1017.2.
4. THE EXISTING EGRESS PATH FOR OCCUPANTS IN THIS AREA DOES NOT EXIT THRU THE PROPOSED SECURITY GATES. THE OCCUPANT LOADS AND EGRESS PATHS FOR ADJACENT AREAS ARE SHOWN ONLY AS REQUIRED TO CONFIRM SUFFICIENT EXIT CAPACITIES OF ADJACENT EXITS.
5. EXISTING EXIT SIGNAGE IS SHOWN FOR INFORMATIONAL PURPOSES ONLY AS REQUIRED TO INDICATE THE EXTENT OF EGRESS PATHS IMPACTED BY THE PROPOSED SECURITY GATES AND DO NOT INDICATE THE EXACT TOTAL QUANTITY, LOCATION & CONFIGURATION OF EXIT SIGNAGE FOR THE ENTIRE BUILDING.

SYMBOL KEY

CLASSROOM 7130' (204' x 350')	OCCUPANCY TYPE RM SQ FT/OCCUPANT LOAD PER TABLE 1004.1.2
EXIT CAPACITY: 180 EXIT LOAD: 131	DOOR EXIT CAPACITY AND ACTUAL EXIT LOAD
	EXISTING EGRESS PATH OF TRAVEL & OCCUPANT LOAD
	EXISTING EXIT SIGNAGE, REFER TO NOTE 5.
	EXTENT OF 1ST AND 2ND FLOOR EGRESS AREAS EXITING THRU PROPOSED SECURITY GATES, REFER TO NOTE 4.
	IEBC WORK AREA
	EXISTING BUILDING AREAS OUTSIDE OF WORK AREA
	EXISTING BUILDING WALLS

1 LIFE SAFETY PLAN: BASEMENT
NOT TO SCALE





2 DEMO PLAN: GYM CANOPY
1/4" = 1'-0"

1 ENLARGED FLOOR PLAN: GYM CANOPY
1/4" = 1'-0"

SYMBOL KEY

	IEBC WORK AREA
	EXISTING BUILDING AREAS OUTSIDE OF WORK AREA
	EXISTING BUILDING WALLS
	EXISTING CONCRETE WALKS AND PAVED AREAS
	NEW CONCRETE WALKS AND PAVED AREAS

E J = EXPANSION JOINT
C J = CONTROL JOINT
REFER TO SECTIONS AND DETAILS.

LIFE SAFETY NOTE:
OCCUPANTS OF THE EXISTING SPACES ADJACENT TO THIS NEW CANOPY FOR THIS EXISTING EXTERIOR CORRIDOR AND NEW SECURITY GATES EXIT AS SHOWN ON SHEET A101. THE NEW GATES AND CANOPY DO NOT ALTER OR INCREASE THEIR EGRESS TRAVEL DISTANCES OR DECREASE THE TOTAL EXIT CAPACITY OF THIS BUILDING. REFER TO SHEET A101.

- DEMOLITION KEY NOTES:**
- REMOVE ONLY THOSE EXISTING SHRUBS IN CONFLICT WITH NEW CONC. WALK. PRIOR TO CONSTRUCTION, FIELD VERIFY ALL TREE AND SHRUB LOCATIONS AND REVIEW WITH THE ARCHITECT TO AVOID POTENTIAL DAMAGE. PROTECT ALL TREES AND SHRUB ROOT SYSTEMS TO REMAIN DURING CONSTRUCTION.
 - REMOVE EXISTING SITE SIGNAGE ON (2) METAL POSTS. PROTECT AND STORE FOR REUSE AS DIRECTED BY THE ARCHITECT AFTER CONSTRUCTION OF NEW CONCRETE SLAB IS COMPLETE.
 - SAW CUT SMOOTH AND REMOVE SECTION OF EXISTING CONC. WALK AS SHOWN. REMOVE ONLY TO DEPTH REQUIRED TO PREPARE AREA FOR NEW CONCRETE SLAB. REPAIR ADJACENT CONCRETE SLABS AS REQUIRED.
 - SAW CUT SMOOTH AND REMOVE EXISTING EXTERIOR CONCRETE LANDING, STAIR SECTION AND HANDRAILS AS SHOWN. REPAIR ADJACENT SLABS, WALLS, STAIRS AND RAILS AS REQUIRED. PROTECT AND MAINTAIN ALL EXISTING SITE DRAINAGE PATHS AND SYSTEMS.
 - REMOVE EXISTING EXTERIOR MANHOLE COVER AND FRAME AT EXISTING GRADE. BELOW GRADE UTILITY ACCESS TUBE TO REMAIN. REPAIR ADJACENT SLABS AND WALLS AS REQUIRED. PROTECT AND MAINTAIN ALL EXISTING SITE DRAINAGE PATHS AND SYSTEMS.
 - SAW CUT SMOOTH VERTICAL METAL POSTS AT EXISTING SLAB AND REMOVE EXISTING METAL GUARDRAIL. PROTECT AND STORE FOR REUSE AFTER NEW CANOPY AND CMU WALL ARE COMPLETE. REPAIR ADJACENT EXISTING WALLS AND CONCRETE SLAB AS REQUIRED.
 - REMOVE EXISTING WALL MOUNTED METAL CANOPY ABOVE DOORS, FLASHING AND SUPPORTS. REPAIR ADJACENT EXISTING SPLIT FACE CMU WALLS AND DOOR FRAME AS REQUIRED.
 - REMOVE EXISTING WALL MOUNTED EXTERIOR LIGHTS AND ALL EXPOSED CONDUIT IN CONFLICT WITH NEW CANOPY ROOF. PROTECT AND STORE FOR REUSE AS DIRECTED BY THE ARCHITECT AFTER CONSTRUCTION OF NEW CANOPY IS COMPLETE. REPAIR ADJACENT EXISTING SPLIT FACE CMU AND PRECAST CONCRETE WALL PANELS AS REQUIRED.

- RENOVATION ENLARGED PLAN KEY NOTES:**
- EXISTING PRECAST CONCRETE WALL PANELS AT GYM ENTRY CANOPY AND EXTERIOR BUILDING WALLS TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
 - EXISTING SPLIT FACE CMU EXTERIOR BUILDING WALL TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
 - EXISTING ELEVATED EXTERIOR CONCRETE WALK AND SCORED, SPLIT FACE CMU WALL BELOW TO REMAIN. REFER TO DEMO NOTE (6) AND DETAILS FOR ADDITIONAL INFORMATION.
 - NEW SMOOTH FACE CMU WALL CAP ON SCORED, SPLIT FACE CMU LOW WALL. BELOW, REFER TO SECTIONS AND DETAILS.
 - CLEAN, REPAIR AND REINSTALL EXISTING EXTERIOR GUARDRAIL. CUT AND REMOVE 2"x2" VERTICAL POST BASES BELOW HORIZ. FRAME. FILL AND PATCH ALL VOIDS. GRIND SMOOTH ALL EXPOSED EDGES. PREP AND PAINT ALL SURFACES. APPLY (2) COATS OF SHERWIN-WILLIAMS GLOSS PAINT TO ENTIRE EXISTING FRAMES AND NEW POST BASE ATTACHMENTS. MATCH EXISTING COLOR. PRIOR TO CONSTRUCTION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MIGHT IMPACT THIS DESIGN INTENT. REFER TO DEMO NOTE (6).
 - NEW ALUMINUM CANOPY POST ATTACHED TO NEW CMU WALL CAP WITH CONCEALED FASTENER BASE. BELOW, REFER TO SECTIONS AND DETAILS. BASIS OF DESIGN: AIR VENT EXTERIORS, 1852 BREVARD RD. ARDEN, NC. PHONE: 828.687.0439
 - NEW EXTERIOR CONCRETE WALK ON NEW #57 GRAVEL BED WITH CONTINUOUS RETAINING WALL EDGE. FILL AND GRADE SOIL AS REQUIRED TO MATCH EXISTING FINISH FLOOR ELEVATION AT TOP OF SLAB OF ADJACENT EXISTING WALKS AND FINISH GRADE. CROSS SLOPE SLAB 1:48 MAX AWAY FROM BUILDING. REFER TO SECTIONS AND DETAILS. PROTECT AND MAINTAIN ALL EXISTING SITE DRAINAGE PATHS AND SYSTEMS.
 - NEW ADA COMPLIANT EXTERIOR HDG METAL GUARDRAIL SYSTEM. REFER TO SECTIONS AND DETAILS.
 - NEW INDUSTRIAL ALUMINUM SECURITY FENCE AND ADA COMPLIANT GATES AT EXISTING PRECAST CONCRETE CANOPY OPENINGS. REFER TO SECTIONS AND DETAILS. BASIS OF DESIGN: ULTRA ALUMINUM MANUFACTURING INC., 2124 GRAND COMMERCE DR., HOWELL, MI, SOUTHEAST RSM, PHONE: 706.988.9823
 - REQUIRED ADA COMPLIANT CLEAR FLOOR AREAS AT DOORS.
 - REQUIRED ADA COMPLIANT MANEUVERING TURNING CLEARANCE, 60" DIA.
 - INSTALL NEW MANHOLE COVER AND FRAME IN NEW CONC. SLAB AT EXISTING UTILITY ACCESS TUBE BELOW. EXTEND ANY EXISTING LADDER AND REPAIR AS REQUIRED. FIELD VERIFY LOCATION AND EXTENT OF ACCESS TUBE PRIOR TO INSTALLATION. PRIOR TO CONSTRUCTION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MIGHT IMPACT THIS DESIGN INTENT. REFER TO DEMO NOTE (6).
 - NEW EXTERIOR CONCRETE WALK WITH CONTINUOUS TURN-DOWN EDGE. GRADE SOIL AS REQUIRED TO MATCH EXISTING FINISH FLOOR ELEVATION AT TOP OF SLAB OF ADJACENT EXISTING WALKS, STAIR AND FINISH GRADE. CROSS SLOPE SLAB 1:48 MAX AWAY FROM BUILDING. MAINTAIN A 1:20 MAX SLOPE ALONG THE LENGTH OF NEW WALKS AND AWAY FROM ALL EXPOSED SLAB EDGES AT ADJACENT FINISH GRADE.
 - EXISTING EXTERIOR CONCRETE STAIRS AND HANDRAILS TO REMAIN. REFER TO DEMO NOTE (4) AND DETAILS FOR ADDITIONAL INFORMATION.
 - EXISTING EXTERIOR CONCRETE WALKS, PAVED AREAS, CURBS AND RETAINING WALLS TO REMAIN.
 - NEW ADA COMPLIANT EXTERIOR CONCRETE STAIR AND HDG METAL HANDRAILS. GRADE SOIL AS REQUIRED TO MATCH TOP OF SLAB ELEVATIONS AT NEW CONCRETE WALKS AND REVISED ADJACENT FINISH GRADES. REFER TO SECTIONS AND DETAILS. MAINTAIN A 1:20 MAX SLOPE AWAY FROM ALL EXPOSED SLAB EDGES AT ADJACENT FINISH GRADE. PROTECT AND MAINTAIN ALL EXISTING SITE DRAINAGE PATHS AND SYSTEMS.
 - GRADE SOIL AS REQUIRED TO MATCH EXISTING FINISH FLOOR ELEVATION AT TOP OF SLAB OF ADJACENT EXISTING WALLS, STAIRS AND FINISH GRADE. REFER TO SECTIONS AND DETAILS. PROTECT AND MAINTAIN ALL EXISTING SITE DRAINAGE PATHS AND SYSTEMS.
 - REINSTALL EXISTING SITE SIGNAGE ON (2) METAL POSTS. REPAIR, MODIFY OR REPLACE EXISTING POSTS AS REQUIRED TO SURFACE MOUNT POSTS TO NEW SLAB WITH CONCEALED FASTENER BASES AS DIRECTED BY THE ARCHITECT AFTER CONSTRUCTION OF NEW CONCRETE SLAB IS COMPLETE.
 - EXISTING TREES AND SHRUBS TO REMAIN. PRIOR TO CONSTRUCTION, FIELD VERIFY ALL TREE AND SHRUB LOCATIONS AND REVIEW WITH THE ARCHITECT TO AVOID POTENTIAL DAMAGE. PROTECT ALL TREES AND SHRUB ROOT SYSTEMS DURING CONSTRUCTION. ADJUST GRADE AND ADD NEW MULCH TO MAINTAIN 1:20, MAX. SLOPE AT NEW WALK.
 - EXISTING EXTERIOR METAL ACCESS PANEL DOORS, MANHOLES AND PIPE COVERS SET IN A CONCRETE CURBS TO REMAIN.
 - ALTERNATE - A1: REMOVE AND REPLACE EXISTING METAL GUARDRAIL ABOVE NEW CMU WALL AS SHOWN ON BASE BID DRAWINGS WITH NEW 9 GAUGE COATED CHAIN LINK FENCING SYSTEM. ATTACH TO CANOPY COLUMNS AND MATCH VERTICAL AND HORIZONTAL FRAMES OF METAL RAILING AS SHOWN.
- GENERAL NOTES:**
- REMOVE, REROUTE AND REINSTALL EXISTING AND NEW ELECTRICAL PLUMBING AND MECHANICAL EQUIPMENT, ELECTRICAL CONDUIT AND RACEWAYS, PLUMBING AND WATER SUPPLY PIPING AND EQUIPMENT AS REQUIRED TO MAINTAIN THE NEW ADA COMPLIANT ACCESSIBLE ROUTES IN ALL RENOVATED AREAS. MAINTAIN ALL EXISTING SYSTEMS IMPACTED BY THESE RENOVATIONS IN OPERABLE AND CODE COMPLIANT CONDITION.
 - EXISTING SITE GRADES AND ELEVATIONS ARE BASED ON AVAILABLE SITE SURVEY AND SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS. PRIOR TO CONSTRUCTION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MIGHT IMPACT THIS DESIGN INTENT.
 - ALL AREAS WHERE EXISTING GRADE OR GRASS IS DISTURBED, RE-GRADE TO A SMOOTH SLOPE. PROVIDE 4" TOP SOIL AND SLOPE STABILIZATION. HAND PREP AND PROVIDE SOD WITH A MIX OF COLD AND WARM WEATHER GRASSES. PRIOR TO INSTALL OF SOD, BROADCAST 1 LB. PER 100 SQUARE FEET 6-20-20 ROOT STARTER FERTILIZER. NO STRAW.

RENOVATION ENLARGED PLAN KEY NOTES:

- 1 EXISTING PRECAST CONCRETE WALL PANELS AT EXTERIOR BUILDING WALLS TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
- 2 EXISTING SPLIT FACE CMU EXTERIOR BUILDING WALL TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
- 3 LINES OF EXISTING CORRIDOR BRIDGE ABOVE TO REMAIN. REFER TO SHEET A102 2ND FLOOR PLAN, SHEET A202, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- 4 NEW INDUSTRIAL ALUMINUM SECURITY FENCE AND ADA COMPLIANT GATES AT EXISTING SPLIT FACE CMU OPENING BELOW BRIDGE. REFER TO SECTIONS AND DETAILS. BASIS OF DESIGN: ULTRA ALUMINUM MANUFACTURING INC., 2124 GRAND COMMERCE DR., HOWELL, MI, SOUTHEAST RSM, PHONE: 706.888.9623
- 5 REQUIRED ADA COMPLIANT CLEAR FLOOR AREAS AT DOORS.
- 6 NEW EXTERIOR CONCRETE WALK WITH CONTINUOUS TURN-DOWN EDGE. GRADE SOIL AS REQUIRED TO MATCH EXISTING FINISH FLOOR ELEVATION AT TOP OF SLAB OF ADJACENT EXISTING WALKS AND FINISH GRADE. CROSS SLOPE SLAB 1:48 MAX AWAY FROM BUILDING. MAINTAIN A 1:20 MAX SLOPE ALONG THE LENGTH OF NEW WALKS AND AWAY FROM ALL EXPOSED SLAB EDGES AT ADJACENT FINISH GRADE.
- 7 EXISTING TREES AND SHRUBS TO REMAIN. PRIOR TO CONSTRUCTION, FIELD VERIFY ALL TREE AND SHRUB LOCATIONS AND REVIEW WITH THE ARCHITECT TO AVOID POTENTIAL DAMAGE. PROTECT ALL TREES AND SHRUB ROOT SYSTEMS DURING CONSTRUCTION. ADJUST GRADE AND ADD NEW MULCH TO MAINTAIN 1:20, MAX. SLOPE AT NEW WALK.
- 8 EXISTING EXTERIOR CONCRETE WALKS, PAVED AREAS, CURBS AND RETAINING WALLS TO REMAIN.
- 9 EXISTING EXTERIOR CONCRETE STAIRS AND HANDRAILS TO REMAIN.
- 10 EXISTING UTILITIES AND CHAINLINK FENCE TO REMAIN.

GENERAL NOTES:

1. REMOVE, REROUTE AND REINSTALL EXISTING AND NEW ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT. ELECTRICAL CONDUIT AND RACEWAYS, PLUMBING AND WATER SUPPLY PIPING AND EQUIPMENT AS REQUIRED TO MAINTAIN THE NEW ADA COMPLIANT ACCESSIBLE ROUTES IN ALL RENOVATED AREAS. MAINTAIN ALL EXISTING SYSTEMS IMPACTED BY THESE RENOVATIONS IN OPERABLE AND CODE COMPLIANT CONDITION.
2. EXISTING SITE GRADES AND ELEVATIONS ARE BASED ON AVAILABLE SITE SURVEY AND SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS. PRIOR TO CONSTRUCTION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MIGHT IMPACT THIS DESIGN INTENT.
3. ALL AREAS WHERE EXISTING GRADE OR GRASS IS DISTURBED, RE-GRADE TO A SMOOTH SLOPE. PROVIDE 4" TOP SOIL AND SLOPE STABILIZATION. HAND PREP AND PROVIDE SOD WITH A MIX OF COLD AND WARM WEATHER GRASSES. PRIOR TO INSTALL OF SOD, BROADCAST 1 LB. PER 100 SQUARE FEET 6-20-20 ROOT STARTER FERTILIZER. NO STRAW.

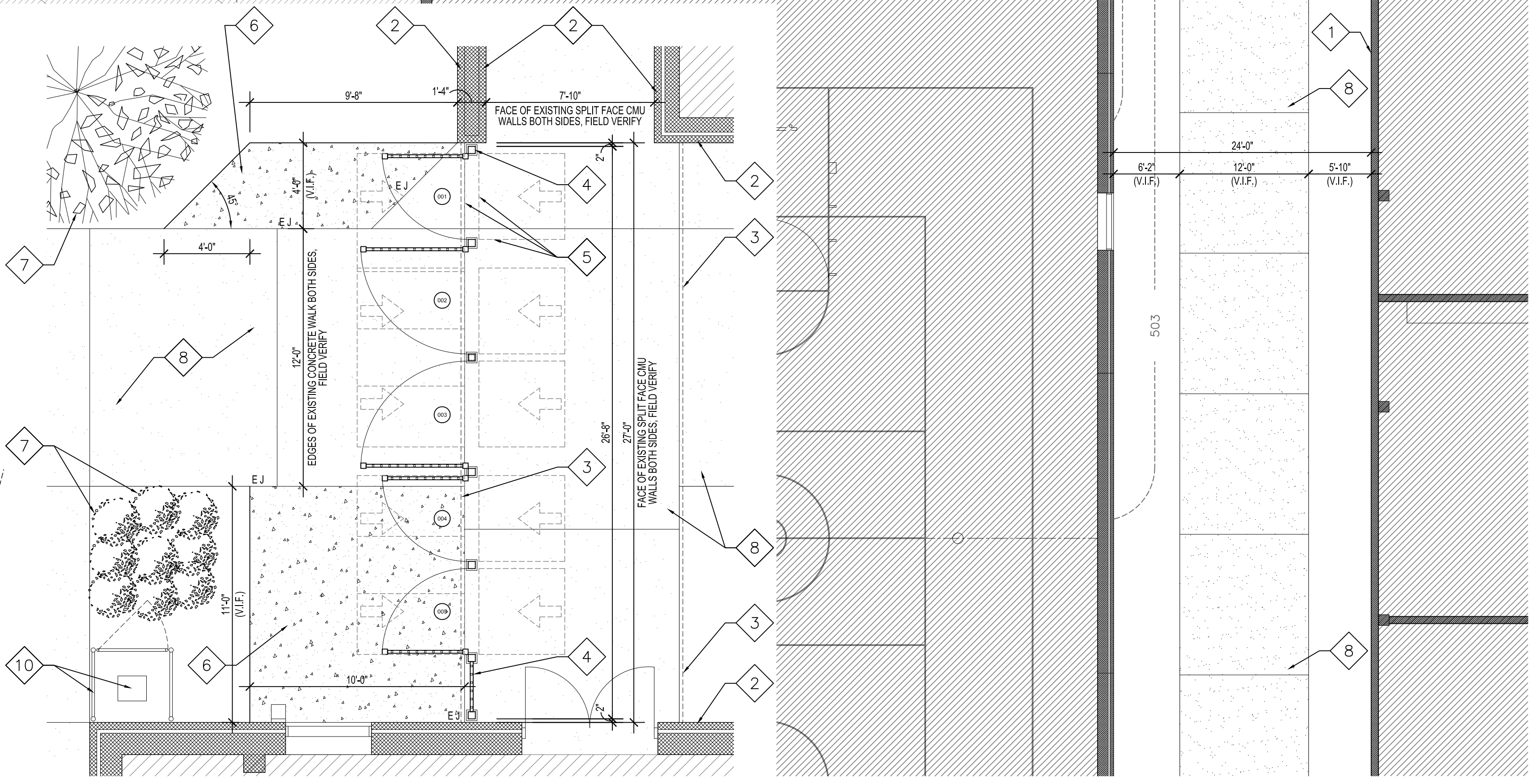
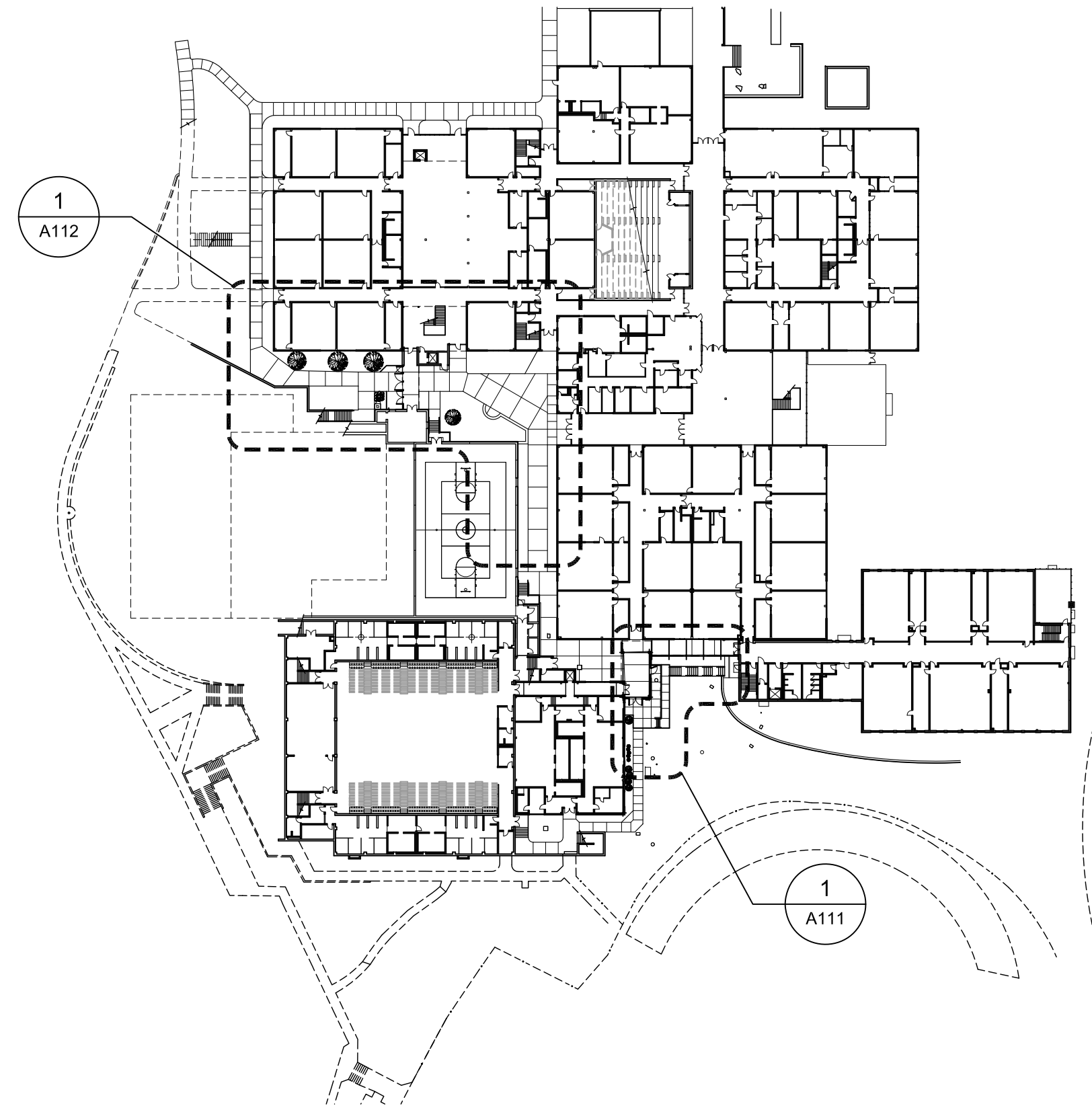
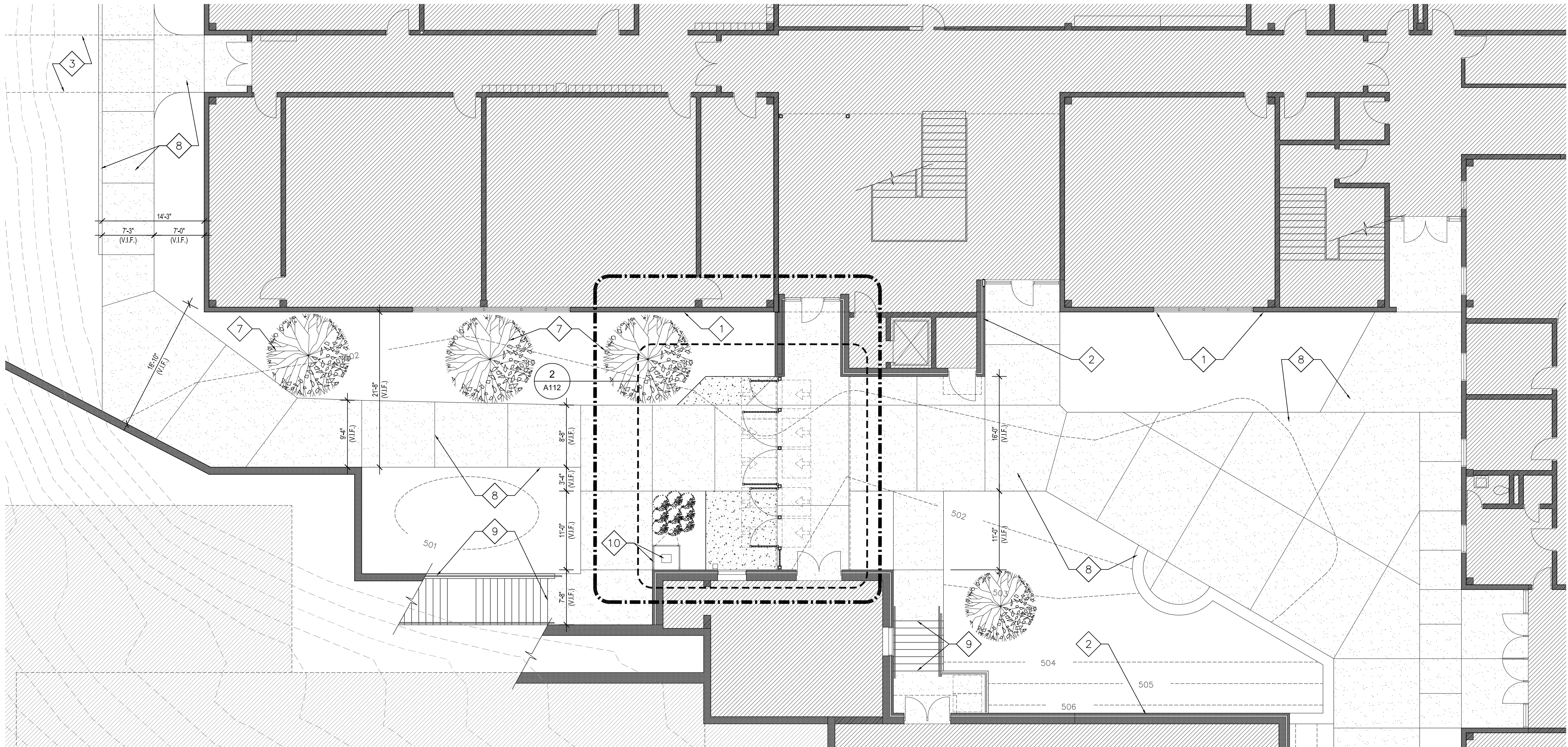
LIFE SAFETY NOTE:

OCCUPANTS OF THE EXISTING SPACES ADJACENT TO THIS NEW CANOPY FOR THIS EXISTING EXTERIOR CORRIDOR AND NEW SECURITY GATES EXIT AS SHOWN ON SHEET A101. THE NEW GATES AND CANOPY DO NOT ALTER OR INCREASE THEIR EGRESS TRAVEL DISTANCES OR DECREASE THE TOTAL EXIT CAPACITY OF THIS BUILDING. REFER TO SHEET A101.

SYMBOL KEY

	IEBC WORK AREA
	EXISTING BUILDING AREAS OUTSIDE OF WORK AREA
	EXISTING BUILDING WALLS
	EXISTING CONCRETE WALKS AND PAVED AREAS
	NEW CONCRETE WALKS AND PAVED AREAS

E J = EXPANSION JOINT
C J = CONTROL JOINT
REFER TO SECTIONS AND DETAILS.



3 KEY PLAN
NOT TO SCALE

2 ENLARGED FLOOR PLAN: PLAZA BRIDGE
1/4" = 1'-0"

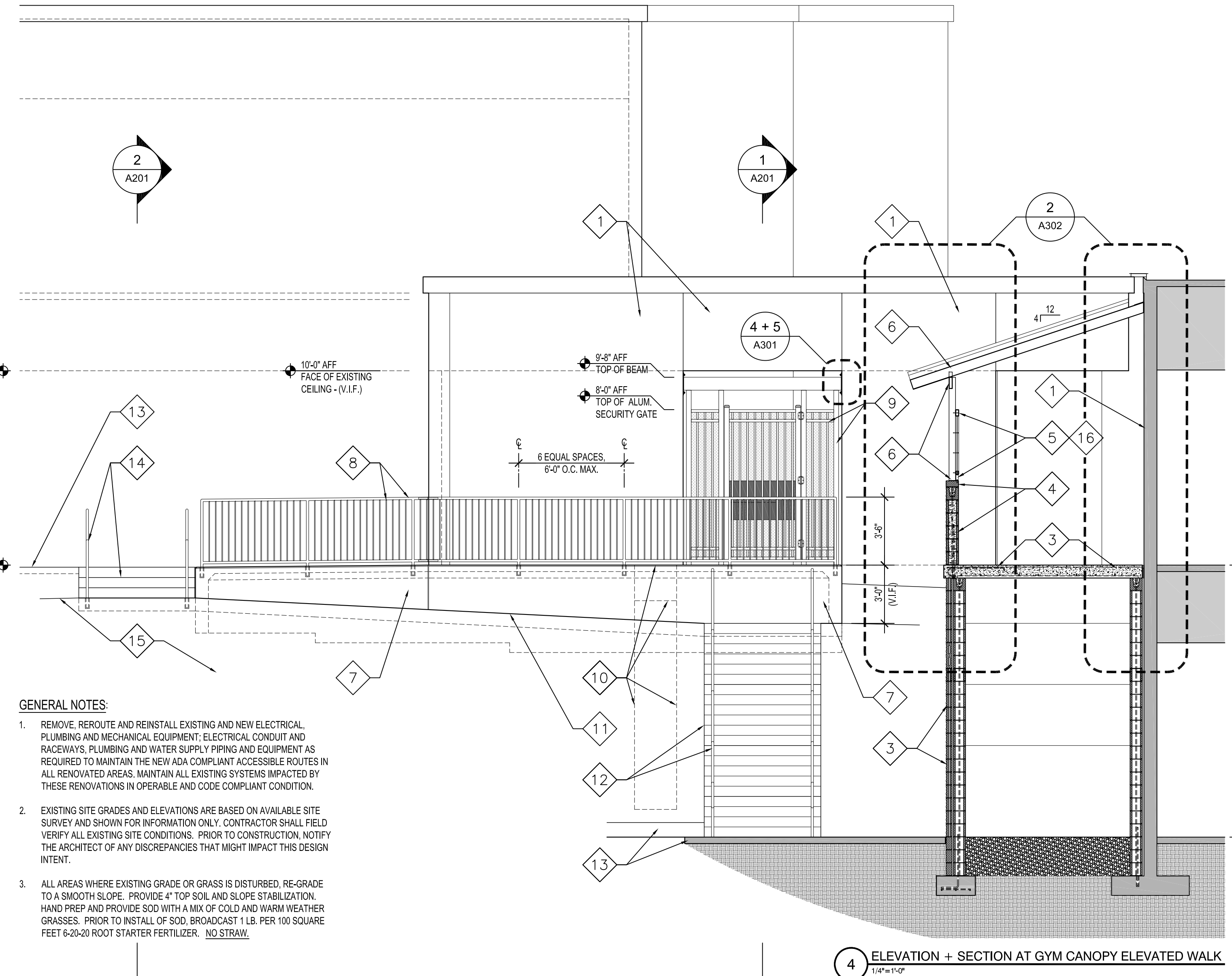
1 PARTIAL MAIN FLOOR PLAN: PLAZA BRIDGE
1/8" = 1'-0"

Buncombe County Schools
Facilities and Planning
Timothy Flerle AIA, Director
175 Bingham Road □ Asheville, N.C. 28806-3800
Phone: (828) 255-5916 Fax: (828) 255-5923



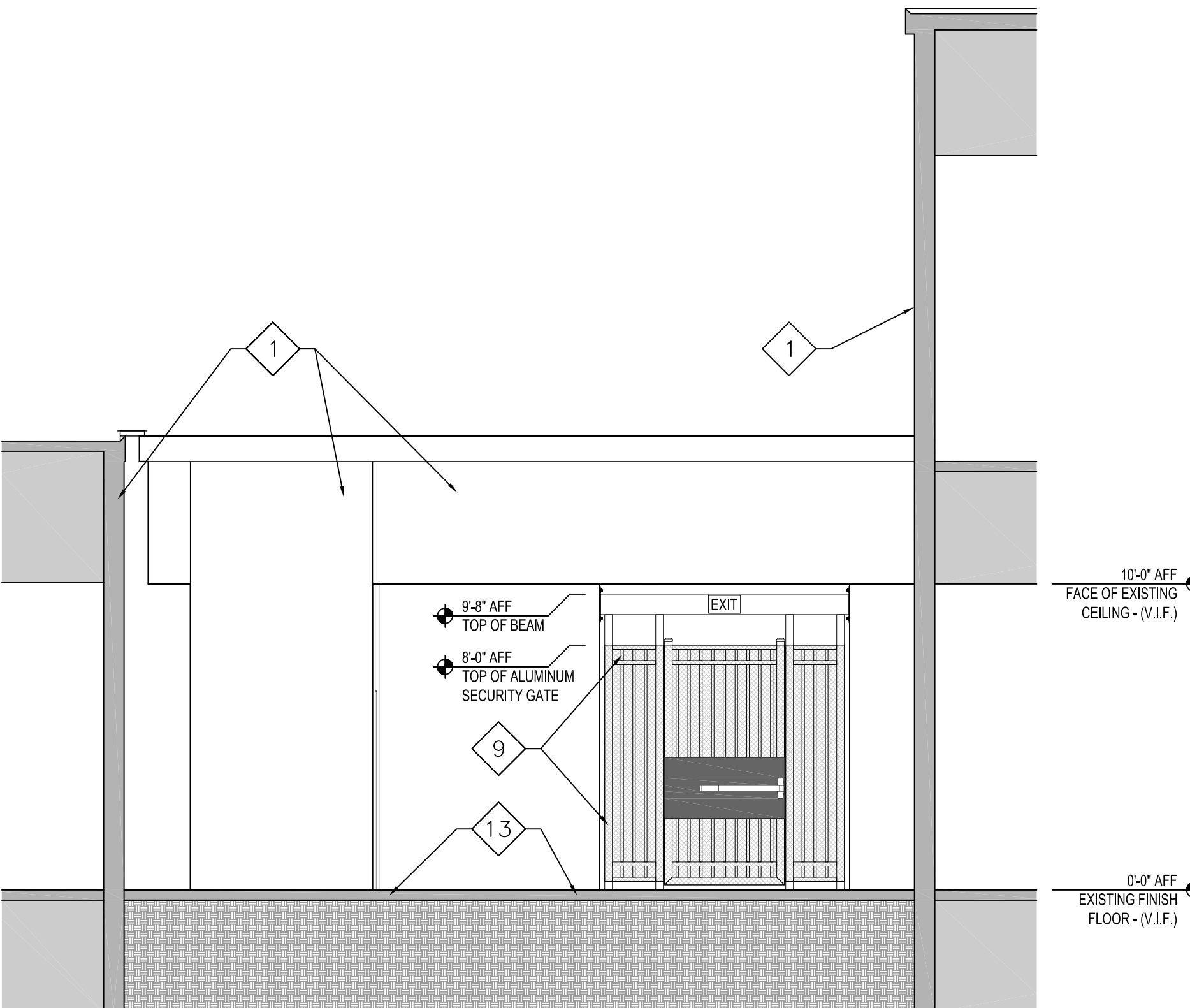


- RENOVATION ELEVATION + SECTION KEY NOTES:**
- 1 EXISTING PRECAST CONC. WALL PANELS WITH METAL SOFFIT PANELS AT GYM ENTRY CANOPY AND EXTERIOR BUILDING WALLS TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
 - 2 EXISTING SPLIT FACE CMU EXTERIOR BUILDING WALL TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
 - 3 EXISTING ELEVATED EXTERIOR CONCRETE WALK AND SCORED, SPLIT FACE CMU WALL BELOW TO REMAIN. REFER TO DEMO NOTE (6) AND DETAILS FOR ADDITIONAL INFORMATION.
 - 4 NEW SMOOTH FACE CMU WALL CAP ON SCORED, SPLIT FACE CMU LOW WALL, BELOW. REFER TO SECTIONS AND DETAILS.
 - 5 CLEAN, REPAIR AND REINSTALL EXISTING EXTERIOR GUARDRAIL. CUT AND REMOVE 2" x 2" VERTICAL POST BASES BELOW HORIZ. FRAME. FILL AND PATCH ALL VOIDS. GRIND SMOOTH ALL EXPOSED EDGES. PREP AND PAINT ALL SURFACES. APPLY (2) COATS OF SHERWIN-WILLIAMS GLOSS PAINT TO ENTIRE EXISTING FRAMES AND NEW POST BASE ATTACHMENTS. MATCH EXISTING COLOR. PRIOR TO CONSTRUCTION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MIGHT IMPACT THIS DESIGN INTENT. REFER TO DEMO NOTE (6).
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 - 7 NEW EXTERIOR CONCRETE WALK ON NEW #57 GRAVEL BED WITH CONTINUOUS RETAINING WALL EDGE. FILL AND GRADE SOIL AS REQUIRED TO MATCH EXISTING FINISH FLOOR ELEVATION AT TOP OF SLAB OF ADJACENT EXISTING WALKS AND FINISH GRADE. CROSS SLOPE SLAB 1:48 MAX AWAY FROM BUILDING. REFER TO SECTIONS AND DETAILS. PROTECT AND MAINTAIN ALL EXISTING SITE DRAINAGE PATHS AND SYSTEMS.
 - 8 NEW ADA COMPLIANT EXTERIOR HDG METAL GUARDRAIL SYSTEM. REFER TO SECTIONS AND DETAILS.
 - 9 NEW INDUSTRIAL ALUMINUM SECURITY FENCE AND ADA COMPLIANT GATES AT EXISTING PRECAST CONCRETE CANOPY OPENINGS. REFER TO SECTIONS AND DETAILS. BASIS OF DESIGN: ULTRA ALUMINUM MANUFACTURING INC., 2124 GRAND COMMERCE DR. HOWELL, MI. SOUTHEAST RSM. PHONE: 706.888.9623
 - 10 INSTALL NEW MANHOLE COVER AND FRAME IN NEW CONC. SLAB AT EXISTING UTILITY ACCESS TUBE BELOW. EXTEND ANY EXISTING LADDER AND REPAIR AS REQUIRED. FIELD VERIFY LOCATION AND EXTENT OF ACCESS TUBE PRIOR TO INSTALLATION. PRIOR TO CONSTRUCTION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MIGHT IMPACT THIS DESIGN INTENT. REFER TO DEMO NOTE (5).
 - 11 NEW EXTERIOR CONCRETE WALK WITH CONTINUOUS TURN-DOWN EDGE. GRADE SOIL AS REQUIRED TO MATCH EXISTING FINISH FLOOR ELEVATION AT TOP OF SLAB OF ADJACENT EXISTING WALKS, STAIR AND FINISH GRADE. CROSS SLOPE SLAB 1:48 MAX AWAY FROM BUILDING. MAINTAIN A 1:20 MAX SLOPE ALONG THE LENGTH OF NEW WALKS AND AWAY FROM ALL EXPOSED SLAB EDGES AT ADJACENT FINISH GRADE.
 - 12 EXISTING EXTERIOR CONCRETE STAIRS AND HANDRAILS TO REMAIN. REFER TO DEMO NOTE (4) AND DETAILS FOR ADDITIONAL INFORMATION.
 - 13 EXISTING EXTERIOR CONCRETE WALKS, PAVED AREAS, CURBS AND RETAINING WALLS TO REMAIN.
 - 14 NEW ADA COMPLIANT EXTERIOR CONCRETE STAIR AND HDG METAL HANDRAILS. GRADE SOIL AS REQUIRED TO MATCH TOP OF SLAB ELEVATIONS AT NEW CONCRETE WALKS AND REVISED ADJACENT FINISH GRADES. REFER TO SECTIONS AND DETAILS. MAINTAIN A 1:20 MAX SLOPE AWAY FROM ALL EXPOSED SLAB EDGES AT ADJACENT FINISH GRADE. PROTECT AND MAINTAIN ALL EXISTING SITE DRAINAGE PATHS AND SYSTEMS.
 - 15 GRADE SOIL AS REQUIRED TO MATCH EXISTING FINISH FLOOR ELEVATION AT TOP OF SLAB OF ADJACENT EXISTING WALKS, STAIRS AND FINISH GRADE. REFER TO SECTIONS AND DETAILS. PROTECT AND MAINTAIN ALL EXISTING SITE DRAINAGE PATHS AND SYSTEMS.
 - 16 ALTERNATE - A1: REMOVE AND REPLACE EXISTING METAL GUARDRAIL ABOVE NEW CMU WALL AS SHOWN ON BASE BID DRAWINGS WITH NEW 9 GAUGE COATED CHAIN LINK FENCING SYSTEM. ATTACH TO CANOPY COLUMNS AND MATCH VERTICAL AND HORIZONTAL FRAMES OF METAL RAILING AS SHOWN.

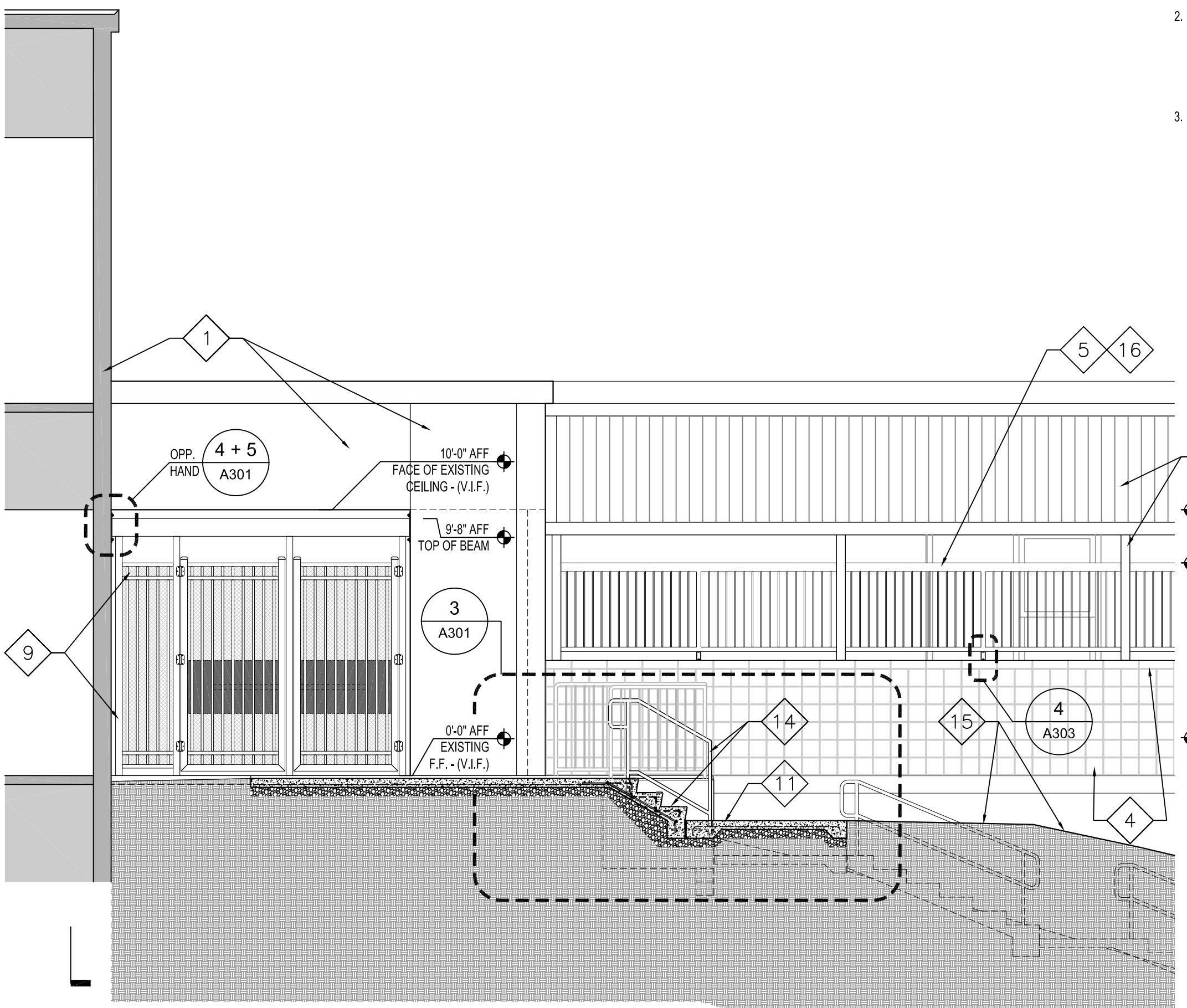


4 ELEVATION + SECTION AT GYM CANOPY ELEVATED WALK
1/4" = 1'-0"

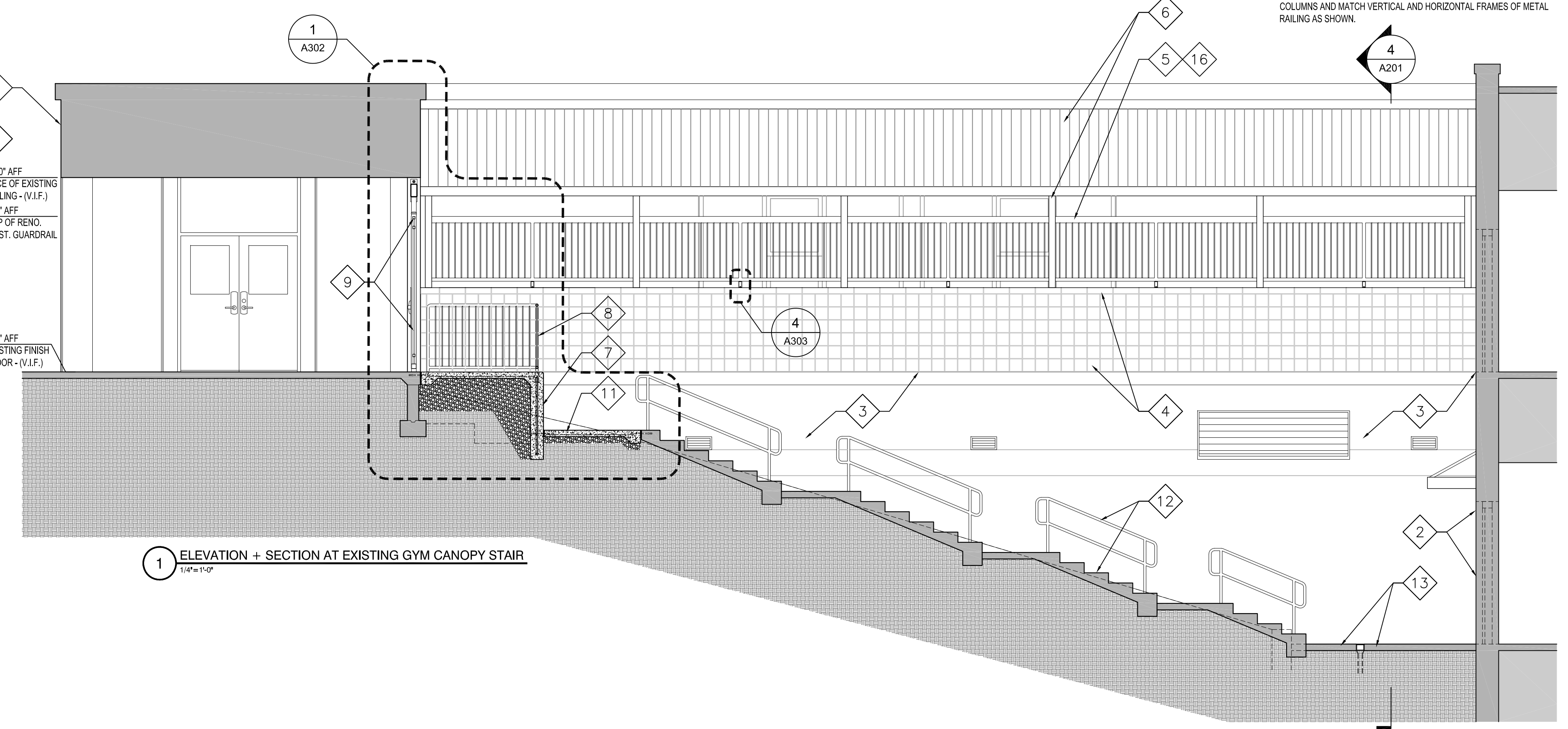
- GENERAL NOTES:**
1. REMOVE, REROUTE AND REINSTALL EXISTING AND NEW ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT, ELECTRICAL CONDUIT AND RACEWAYS, PLUMBING AND WATER SUPPLY PIPING AND EQUIPMENT AS REQUIRED TO MAINTAIN THE NEW ADA COMPLIANT ACCESSIBLE ROUTES IN ALL RENOVATED AREAS. MAINTAIN ALL EXISTING SYSTEMS IMPACTED BY THESE RENOVATIONS IN OPERABLE AND CODE COMPLIANT CONDITION.
 2. EXISTING SITE GRADES AND ELEVATIONS ARE BASED ON AVAILABLE SITE SURVEY AND SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS. PRIOR TO CONSTRUCTION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MIGHT IMPACT THIS DESIGN INTENT.
 3. ALL AREAS WHERE EXISTING GRADE OR GRASS IS DISTURBED, RE-GRADE TO A SMOOTH SLOPE. PROVIDE 4" TOP SOIL AND SLOPE STABILIZATION. HAND PREP AND PROVIDE SOD WITH A MIX OF COLD AND WARM WEATHER GRASSES. PRIOR TO INSTALL OF SOD, BROADCAST 1 LB. PER 100 SQUARE FEET 6-20-20 ROOT STARTER FERTILIZER. NO STRAW.



3 ELEVATION + SECTION AT EXISTING GYM CANOPY
1/4" = 1'-0"



2 ELEVATION + SECTION AT NEW GYM CANOPY STAIR
1/4" = 1'-0"



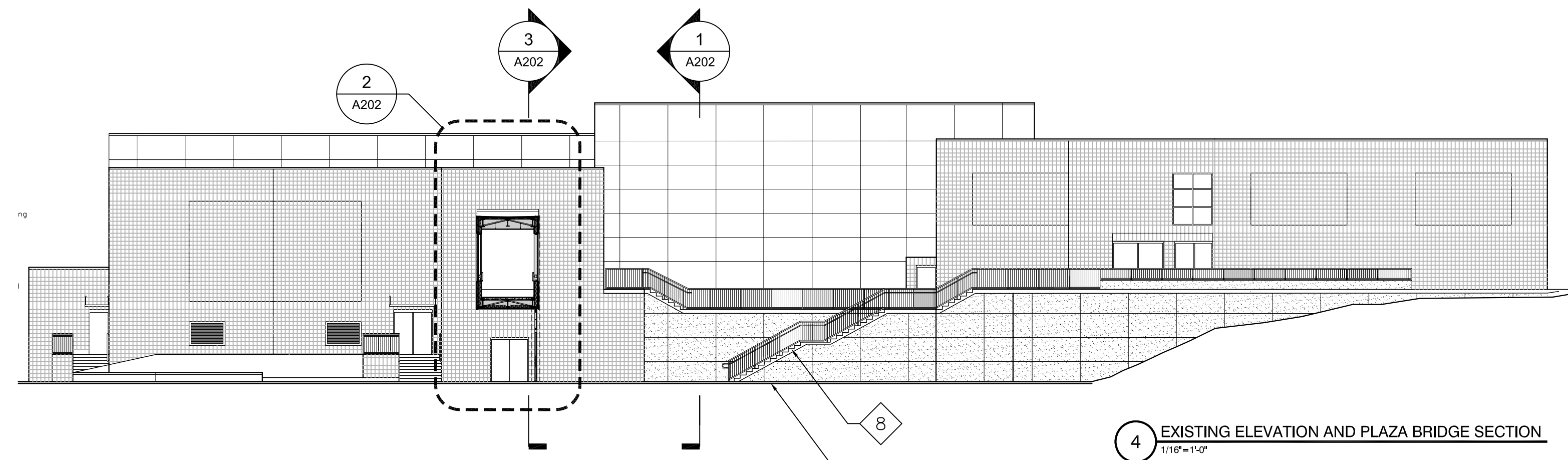
1 ELEVATION + SECTION AT EXISTING GYM CANOPY STAIR
1/4" = 1'-0"

GENERAL NOTES:

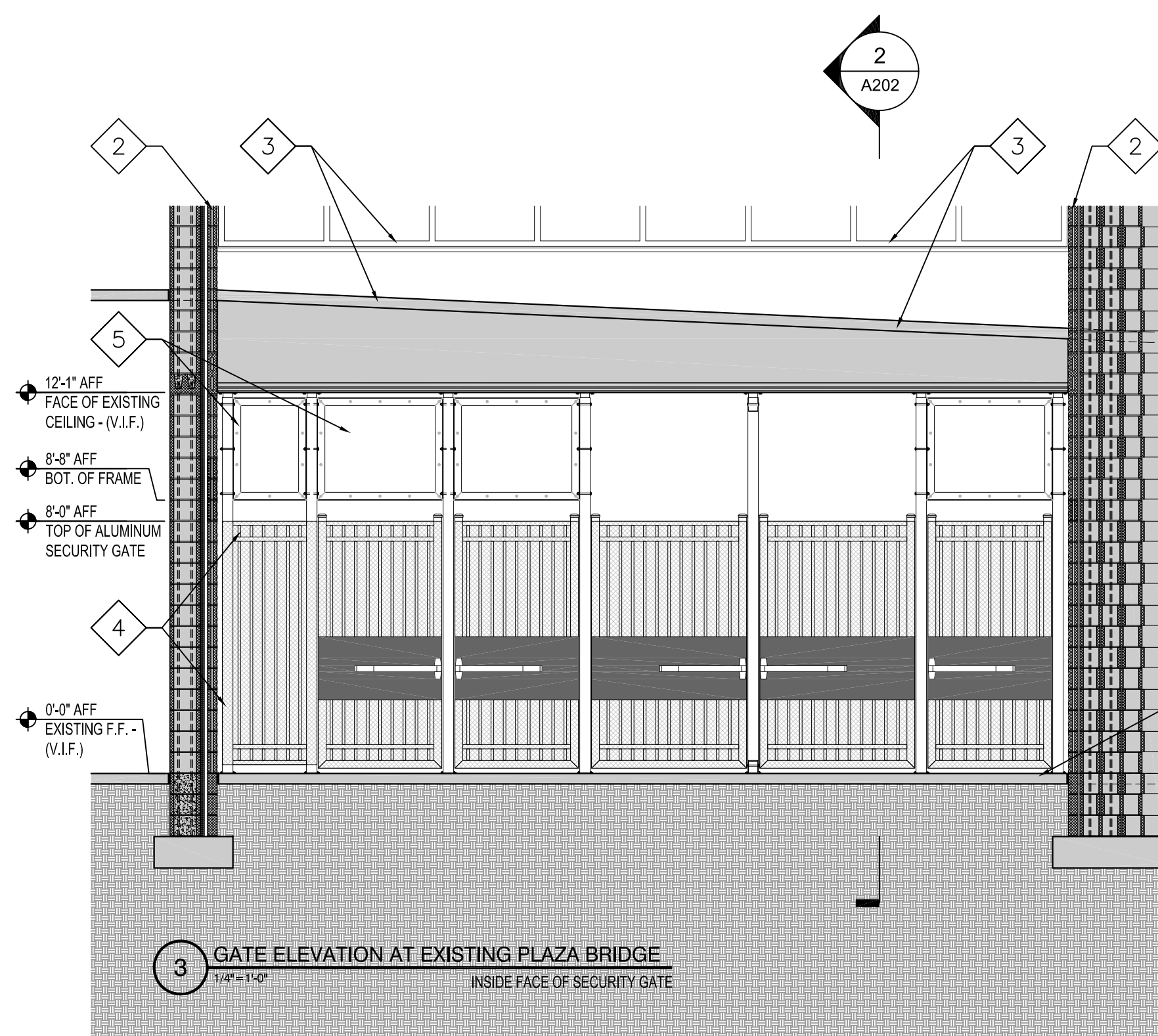
1. REMOVE, REROUTE AND REINSTALL EXISTING AND NEW ELECTRICAL PLUMBING AND MECHANICAL EQUIPMENT, ELECTRICAL CONDUIT AND RACEWAYS, PLUMBING AND WATER SUPPLY PIPING AND EQUIPMENT AS REQUIRED TO MAINTAIN THE NEW ADA COMPLIANT ACCESSIBLE ROUTES IN ALL RENOVATED AREAS. MAINTAIN ALL EXISTING SYSTEMS IMPACTED BY THESE RENOVATIONS IN OPERABLE AND CODE COMPLIANT CONDITION.
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RENOVATION ELEVATION + SECTION KEY NOTES:

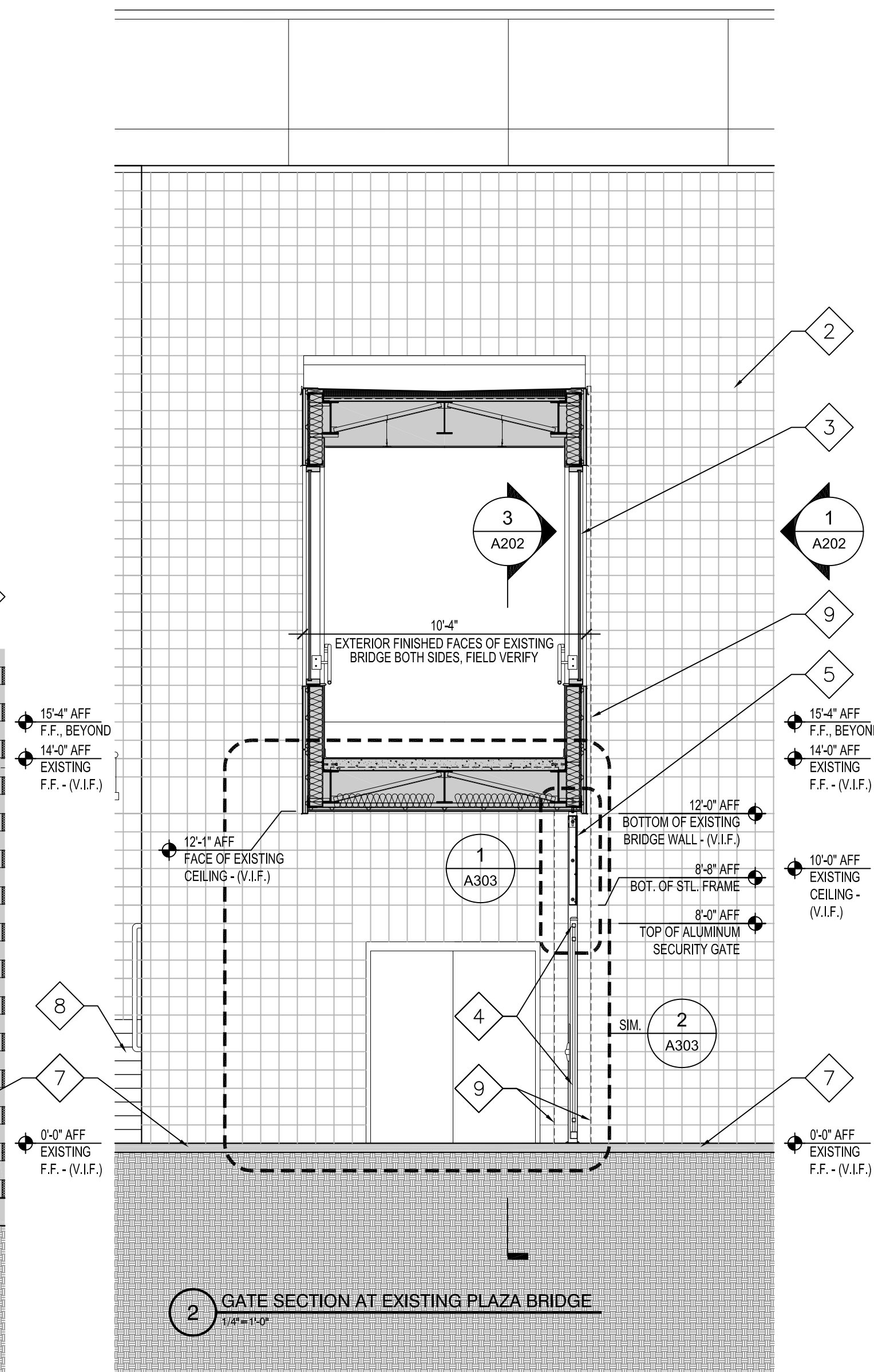
1. EXISTING PRECAST CONCRETE WALL PANELS AT EXTERIOR BUILDING WALLS TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
2. EXISTING SPLIT FACE CMU EXTERIOR BUILDING WALL TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
3. EXISTING CORRIDOR BRIDGE ABOVE TO REMAIN. REFER TO SHEET A102 2ND FLOOR PLAN, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
4. NEW INDUSTRIAL ALUMINUM SECURITY FENCE AND ADA COMPLIANT GATES AT EXISTING SPLIT FACE CMU OPENING BELOW BRIDGE. REFER TO SECTIONS AND DETAILS. BASIS OF DESIGN: ULTRA ALUMINUM MANUFACTURING INC., 2124 GRAND COMMERCE DR., HOWELL, MI; SOUTHEAST RSM, PHONE: 706.988.9623
5. NEW METAL PANELS ON STEEL ANGLE FRAMES, REFER TO SHEET A303.
6. NEW EXTERIOR CONCRETE WALK WITH CONTINUOUS TURN-DOWN EDGE. GRADE SOIL AS REQUIRED TO MATCH EXISTING FINISH FLOOR ELEVATION AT TOP OF SLAB OF ADJACENT EXISTING WALKS AND FINISH GRADE. CROSS SLOPE SLAB 1:48 MAX AWAY FROM BUILDING. MAINTAIN A 1:20 MAX SLOPE ALONG THE LENGTH OF NEW WALKS AND AWAY FROM ALL EXPOSED SLAB EDGES AT ADJACENT FINISH GRADE.
7. EXISTING EXTERIOR CONCRETE WALKS, PAVED AREAS, CURBS AND RETAINING WALLS TO REMAIN.
8. EXISTING EXTERIOR CONCRETE STAIRS AND HANDRAILS TO REMAIN.
9. LINES OF EXISTING SPLIT FACE CMU EXTERIOR BUILDING WALL AT GATE JAMB OPPOSITE SIDE TO REMAIN. REFER TO FLOOR PLAN, SHEET A112.



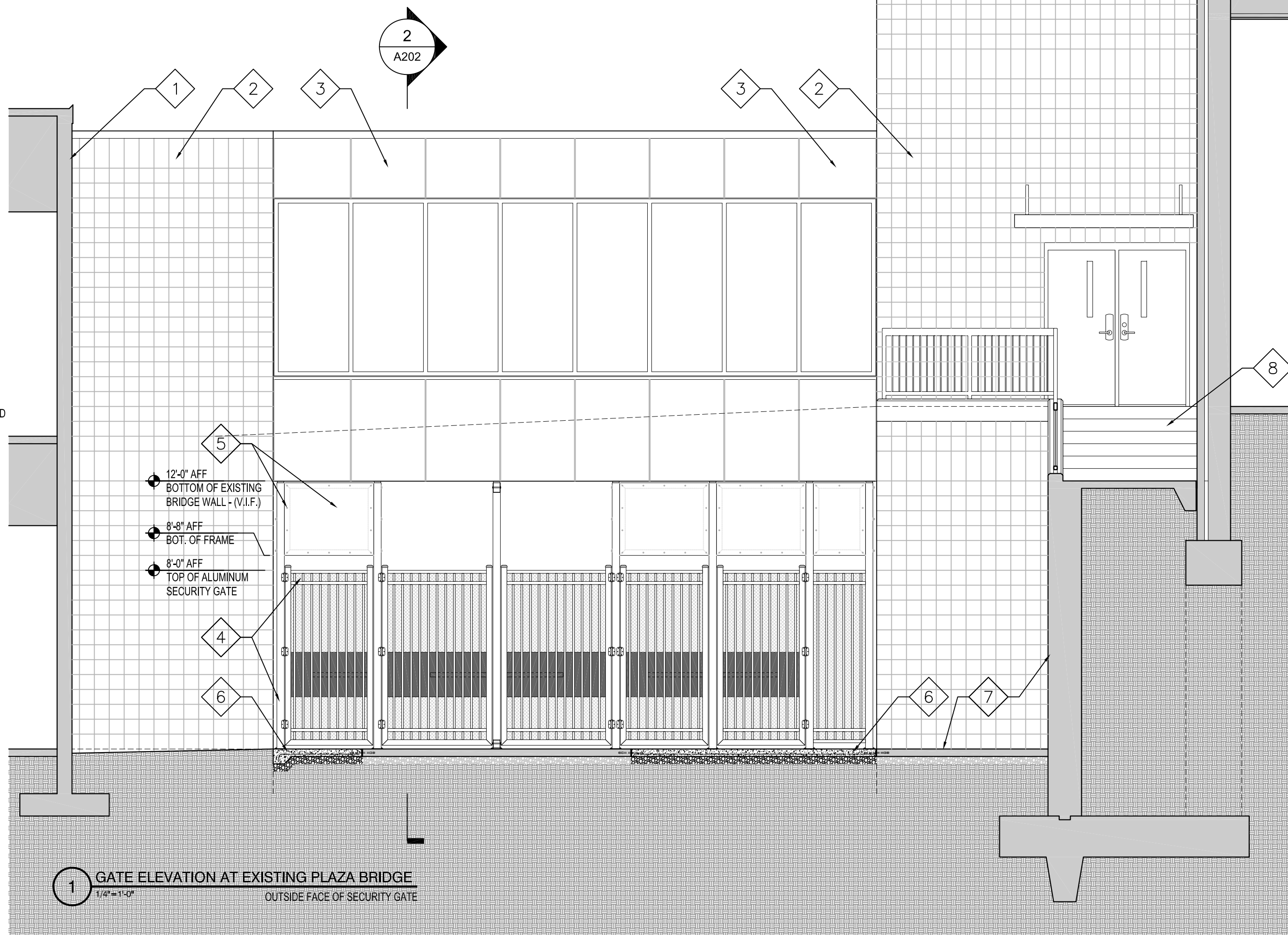
4 EXISTING ELEVATION AND PLAZA BRIDGE SECTION
1/16"=1'-0"



3 GATE ELEVATION AT EXISTING PLAZA BRIDGE
1/4"=1'-0"
INSIDE FACE OF SECURITY GATE

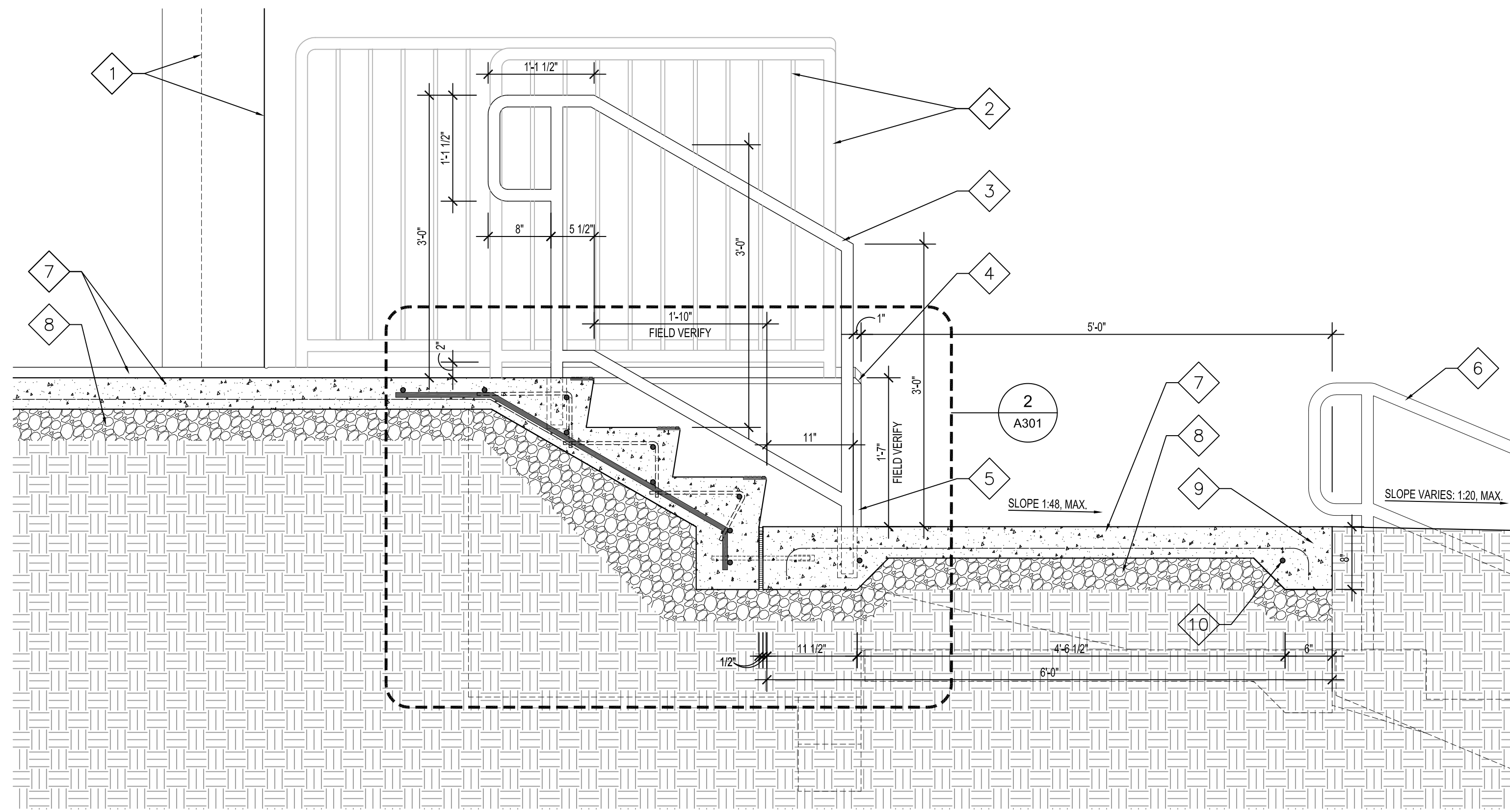


2 GATE SECTION AT EXISTING PLAZA BRIDGE
1/4"=1'-0"

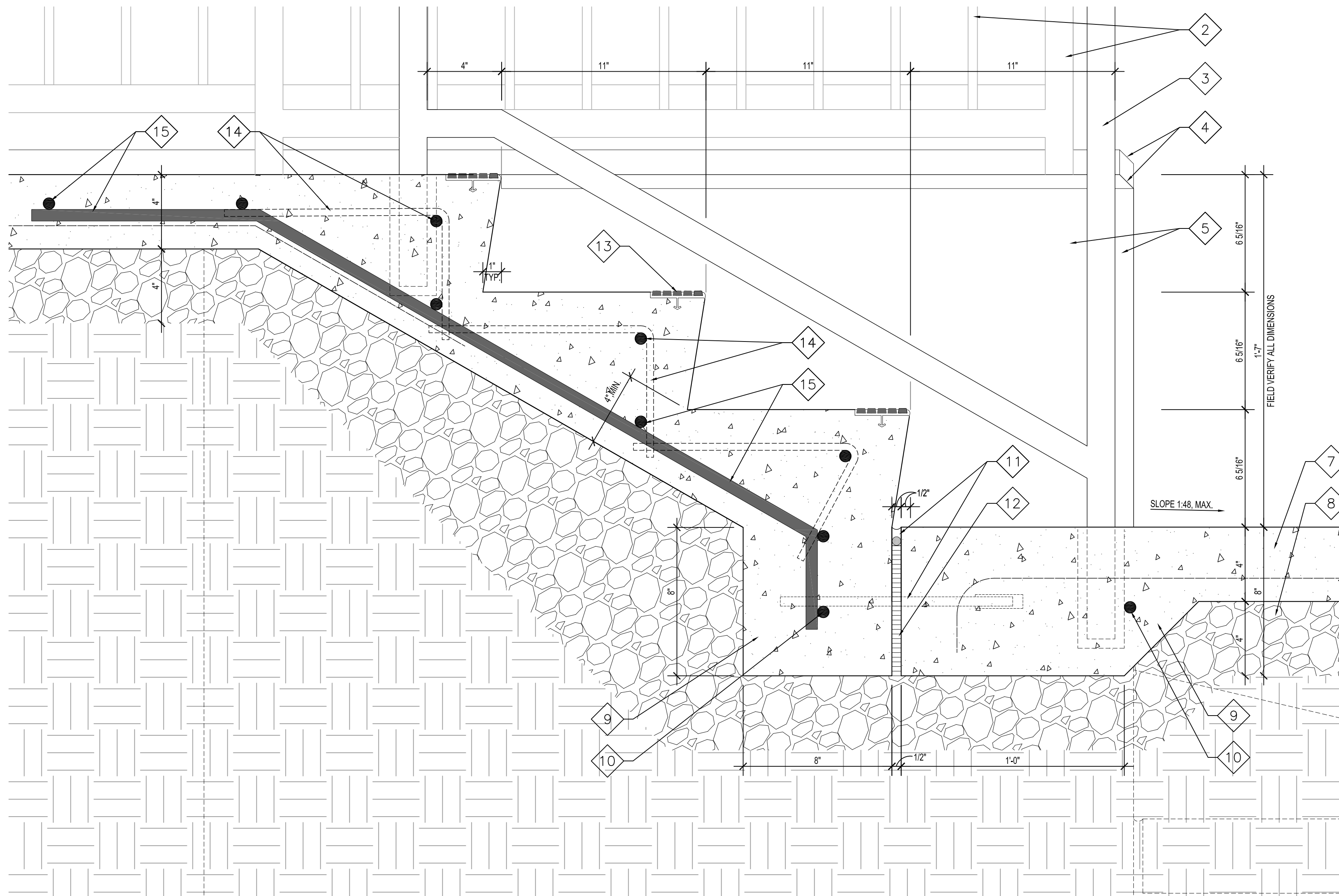


1 GATE ELEVATION AT EXISTING PLAZA BRIDGE
1/4"=1'-0"
OUTSIDE FACE OF SECURITY GATE

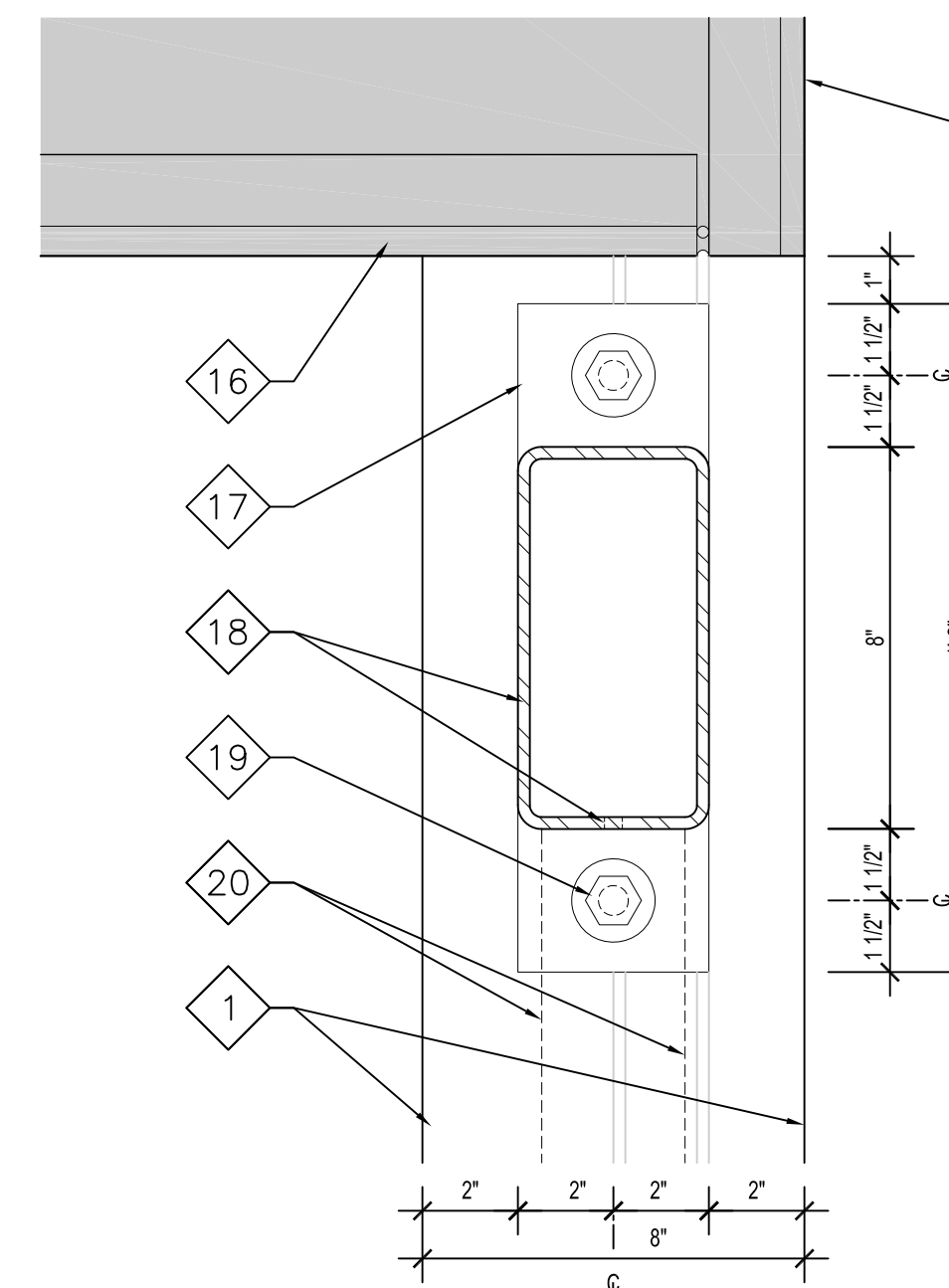




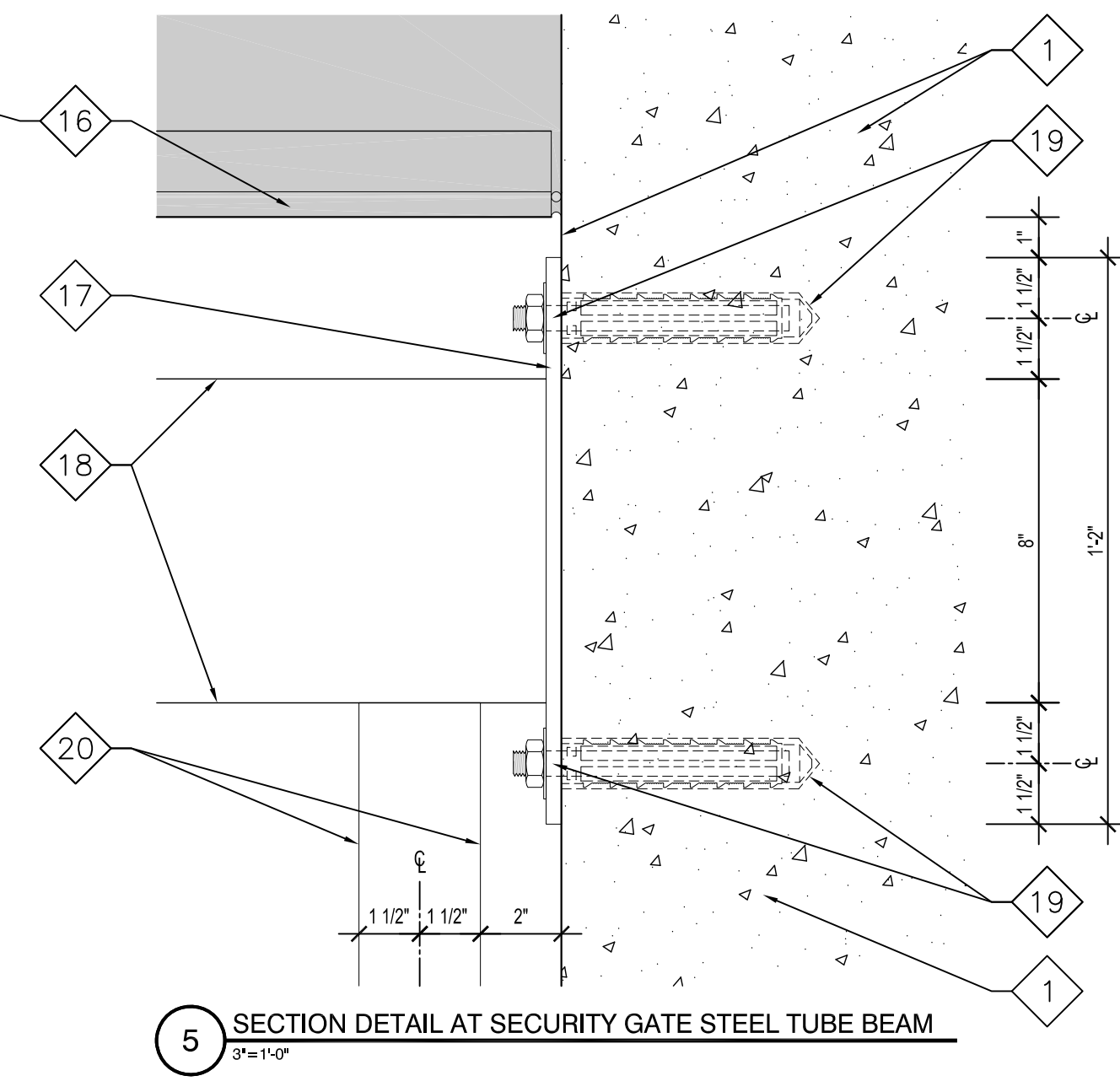
3 SECTION DETAIL AT GYM CANOPY NEW STAIR AND WALK
7/8"=1'-0"



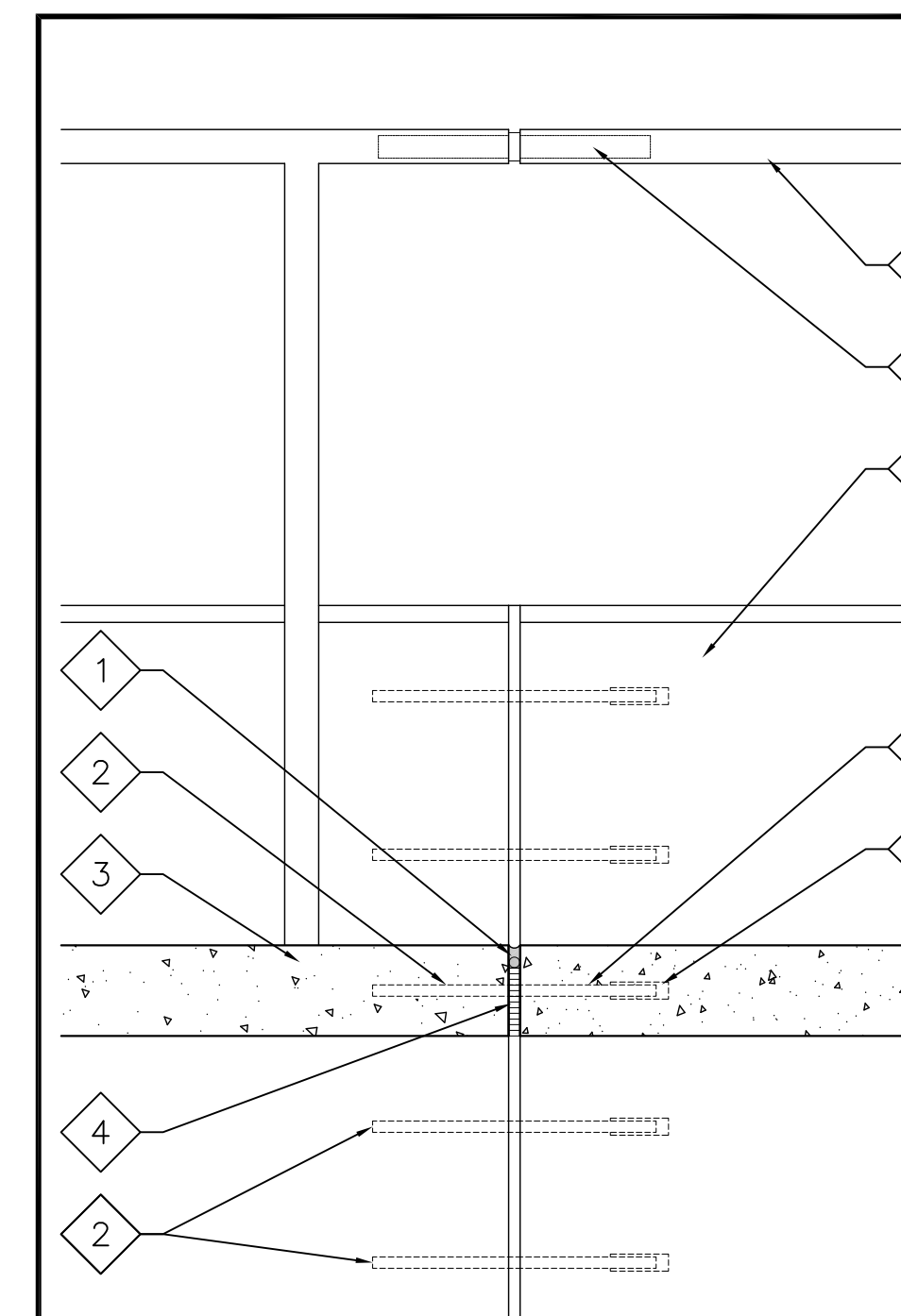
2 SECTION DETAIL AT GYM CANOPY NEW STAIR AND WALK
3/8"=1'-0"



4 SECTION DETAIL AT SECURITY GATE STEEL TUBE BEAM
3/8"=1'-0"



5 SECTION DETAIL AT SECURITY GATE STEEL TUBE BEAM
3/8"=1'-0"



1 EXPANSION JOINT DETAIL
1 1/2"=1'-0"

- EXPANSION JOINT DETAIL KEY NOTES:**
- 3/4" DEEP JOINT SEALER
 - 12" LONG #4 DOWEL AT 24" O.C. OR A MINIMUM OF 2 PER VERTICAL WALL.
 - CONCRETE SLAB
 - 1/2" COMPRESSIBLE FILLER BOARD
 - COAT BAR WITH BOND BREAKING COMPOUND OR USE SLEEVE.
 - DOWEL CAP, END FILLED WITH COMPRESSIBLE MATERIAL.
 - PROVIDE S 40 GALV. STEEL INNER SLEEVE FASTENED TO ONE SIDE OF RAIL AT ALL HANDRAIL JOINTS.
 - HANDRAIL AND POST, BEYOND.
 - CONCRETE WALL, BEYOND.

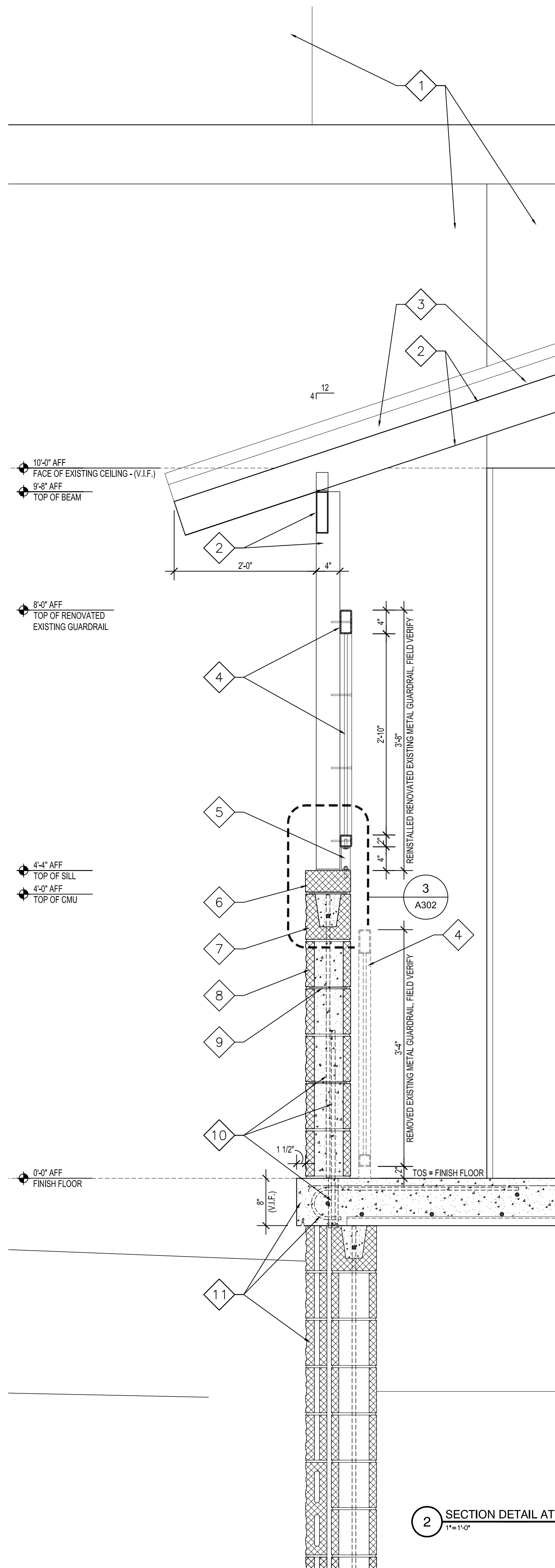
RENOVATION SECTION + DETAIL KEY NOTES:

- EXISTING PRECAST CONCRETE WALL PANELS AT GYM CANOPY AND EXTERIOR BUILDING WALLS TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
- TYPICAL GUARDRAIL CONSTRUCTION: 1 1/2" SCHEDULE 40 STEEL PIPE RAIL AND POSTS. GALVANIZED AFTER FABRICATION. PROVIDE INNER SLEEVE AT ALL JOINTS. BORE POST HOLES 2 1/2" DIA. MAX INTO CONCRETE. ANCHOR POST 6" MIN. DEEP AND GROUT FULL WITH EPOXY GROUT. DOME GROUT FILL. REFER TO EXPANSION JOINT DETAIL. INSTALL 1/2" ROUND STEEL PICKETS AT EQUAL SPACES, 4" MAX. CLEAR, TYP.
- TYPICAL HANDRAIL CONSTRUCTION: 1 1/2" SCHEDULE 40 STEEL PIPE RAIL AND POSTS. GALVANIZED AFTER FABRICATION. PROVIDE INNER SLEEVE AT ALL JOINTS. BORE POST HOLES 2 1/2" DIA. MAX INTO CONCRETE. ANCHOR POST 6" MIN. DEEP AND GROUT FULL WITH EPOXY GROUT. DOME GROUT FILL. REFER TO EXPANSION JOINT DETAIL.
- PROVIDE 1" CHAMFERED CORNER AT CONC. SLAB WITH TURN-DOWN EDGE.
- NEW EXTERIOR CONCRETE WALK ON NEW #57 GRAVEL BED WITH CONTINUOUS RETAINING WALL EDGE, BEYOND.
- EXISTING EXTERIOR CONCRETE STAIRS AND HANDRAILS TO REMAIN. REFER TO DEMO NOTE (4) AND DETAILS FOR ADDITIONAL INFORMATION.
- 4000 PSI CONCRETE SLAB WITH 4# W2.9/2.9 WELDED WIRE FABRIC REINFORCING. LIGHT BROOM FINISH.
- #57 GRAVEL FILL
- TURN-DOWN SLAB EDGE CONTINUOUS AT NEW CONCRETE WALKS AND STAIRS, TYP.
- #5 REBAR, CONTINUOUS WITH 3" CLEAR FROM ALL SIDES.
- EXPANSION JOINT = E.J. REFER TO DETAIL 1/A301.
- 1/2" COMPRESSIBLE FILLER BOARD
- 3" EXTRUDED ALUMINUM STAIR NOSING. BASIS OF DESIGN: #XRS-3-BF BARRIER FREE DESIGN BY GRATING PACIFIC, INC.
- (1) #5 REBAR CONTINUOUS ON #4 REBAR AT 24" O.C. SUPPORTS AT EACH STAIR. MAINTAIN MAX. AVAILABLE CONCRETE COVER ON ALL SIDES.
- #5 REBAR AT 24" O.C. FOLLOWING STAIR SLAB SLOPE AND #5 REBAR CONTINUOUS AT 12" O.C. MAX. AS SHOWN. MAINTAIN MAX. AVAILABLE CONCRETE COVER ON ALL SIDES.
- EXISTING EXTERIOR CEILING AND FASCIA ASSEMBLY AT GYM CANOPY TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
- NEW 4" x 1'-2" x 3/8" STEEL PLATE. CONTINUOUS WELD TO 4" x 8" x 1/4" STEEL TUBE BEAM PRIOR TO GALVANIZING, BOTH ENDS.
- NEW 4" x 8" x 1/4" HDG STEEL TUBE BEAM. DRILL MIN. (2) DRAIN HOLES IN BOTTOM FACE PRIOR TO GALVANIZING.
- ATTACH TO EXISTING PRECAST WALL PANELS WITH 5/8" DIA. HDG STEEL FASTENER WITH SCREEN INSERT. BASIS OF DESIGN: HILTI HIT-HY 2790. 6 1/2" MIN. EMBEDMENT. BOLT POSITION MIN. EDGE DISTANCE IS 1 3/4" VERT. AND MIN. END DISTANCE IS 8" HORIZ.
- NEW INDUSTRIAL ALUMINUM SECURITY FENCE AND ADA COMPLIANT GATES AT EXISTING PRECAST CONCRETE CANOPY OPENINGS. REFER TO SECTIONS AND DETAILS. BASIS OF DESIGN: ULTRA ALUMINUM MANUFACTURING INC. 2124 GRAND COMMERCE DR., HOWELL, MI. SOUTHEAST RSM. PHONE: 706.988.9623

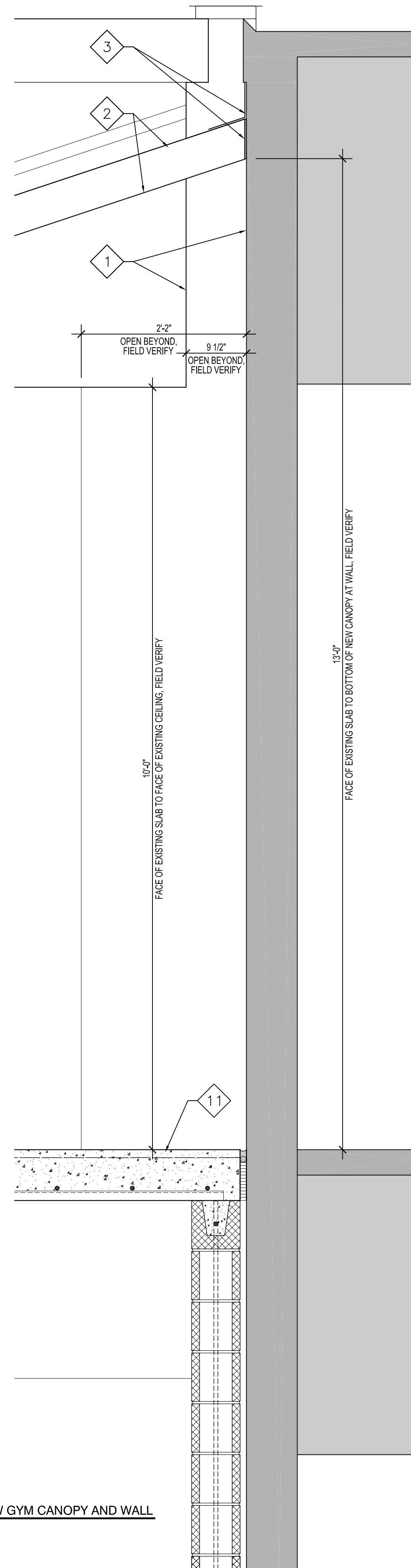
GENERAL NOTES:

- REMOVE, REROUTE AND REINSTALL EXISTING AND NEW ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT. ELECTRICAL CONDUIT AND RACEWAYS, PLUMBING AND WATER SUPPLY PIPING AND EQUIPMENT AS REQUIRED TO MAINTAIN THE NEW ADA COMPLIANT ACCESSIBLE ROUTES IN ALL RENOVATED AREAS. MAINTAIN ALL EXISTING SYSTEMS IMPACTED BY THESE RENOVATIONS IN OPERABLE AND CODE COMPLIANT CONDITION.
- EXISTING SITE GRADES AND ELEVATIONS ARE BASED ON AVAILABLE SITE SURVEY AND SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS. PRIOR TO CONSTRUCTION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MIGHT IMPACT THIS DESIGN INTENT.
- ALL AREAS WHERE EXISTING GRADE OR GRASS IS DISTURBED, RE-GRADE TO A SMOOTH SLOPE. PROVIDE 4" TOP SOIL AND SLOPE STABILIZATION. HAND PREP AND PROVIDE SOD WITH A MIX OF COLD AND WARM WEATHER GRASSES. PRIOR TO INSTALL OF SOD, BROADCAST 1 LB. PER 100 SQUARE FEET 6-20-20 ROOT STARTER FERTILIZER. NO STRAW.

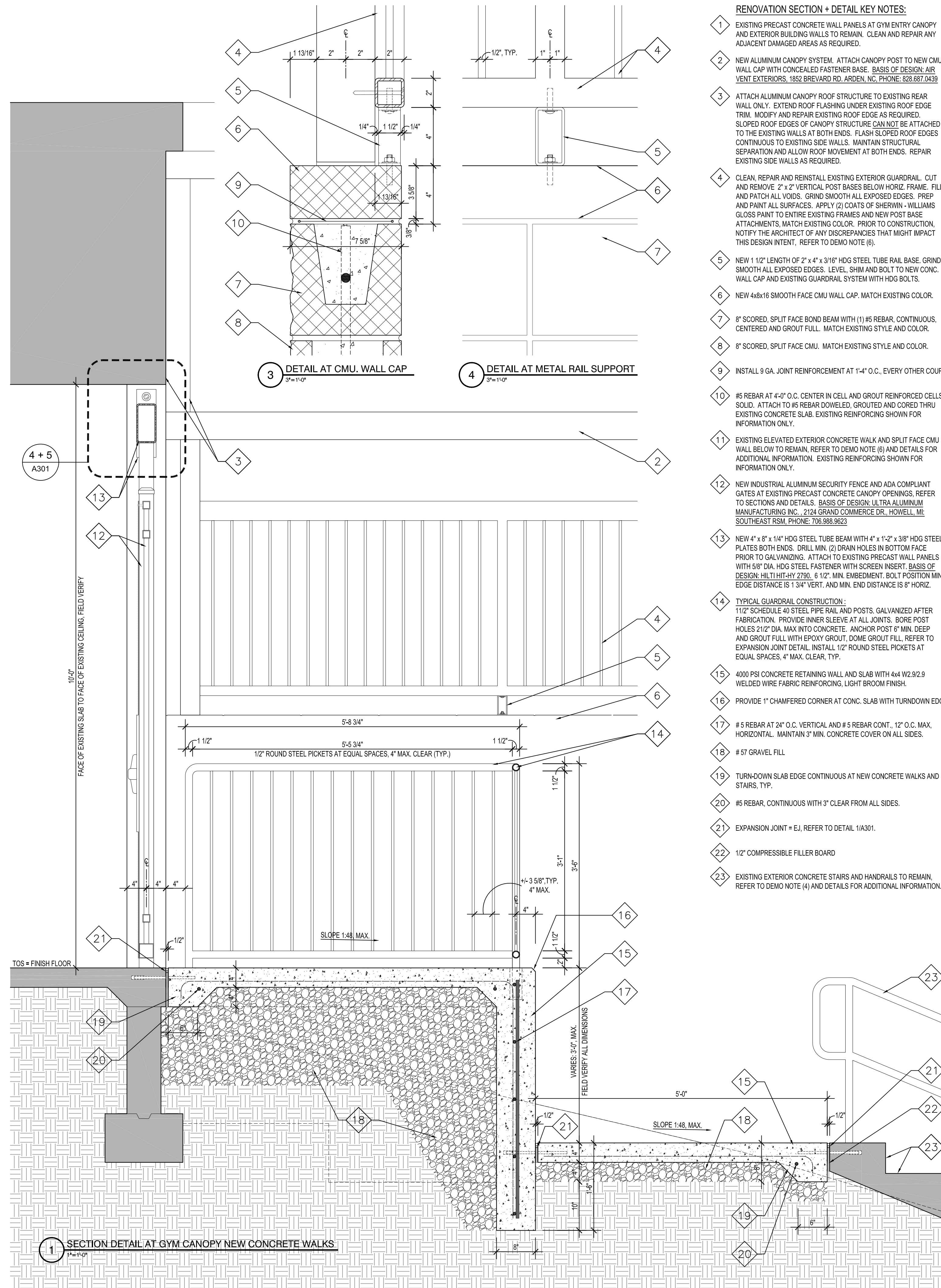




2 SECTION DETAIL AT NEW GYM CANOPY AND WALL
3/16=1/8"



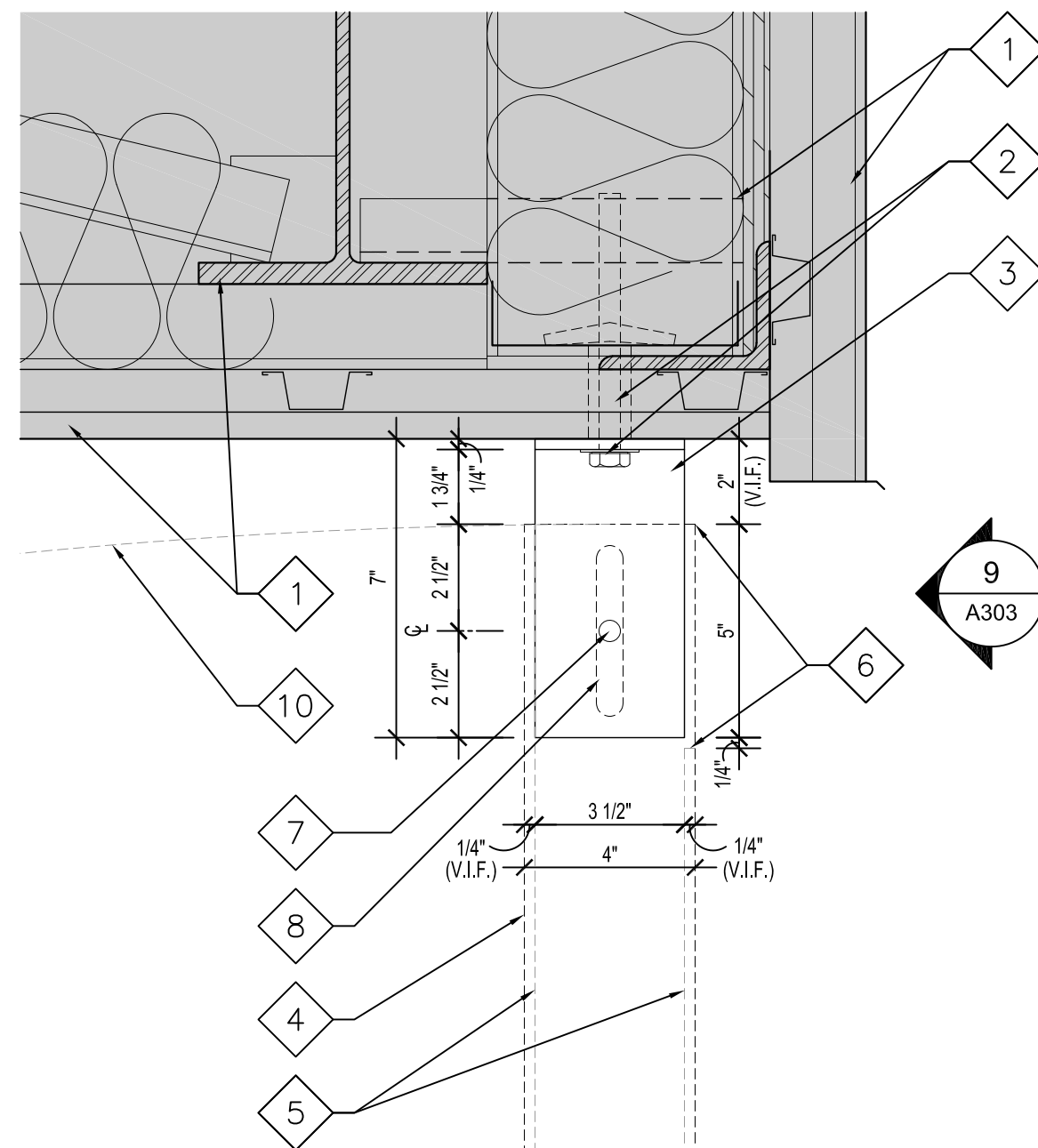
1 SECTION DETAIL AT GYM CANOPY NEW CONCRETE WALKS
3/16=1/8"



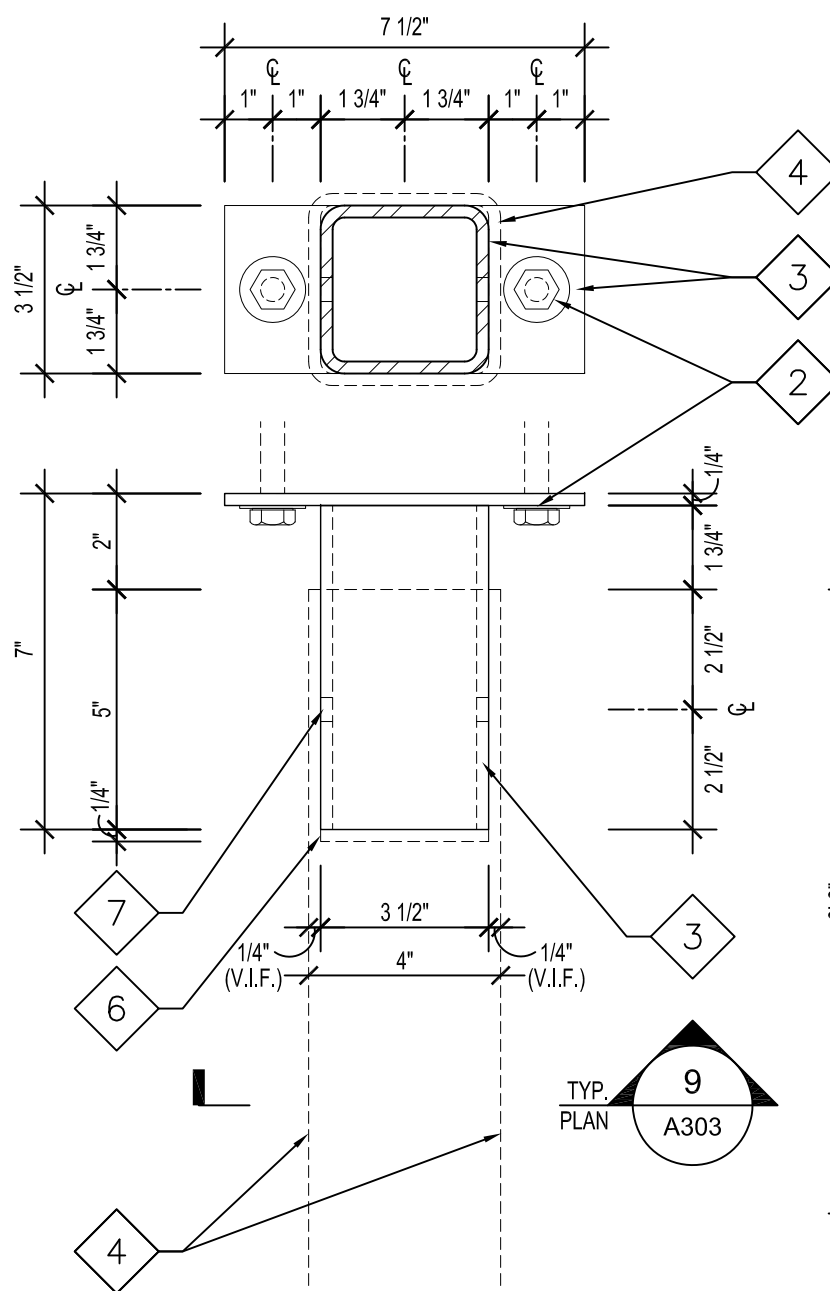
RENOVATION SECTION + DETAIL KEY NOTES:

- 1 EXISTING PRECAST CONCRETE WALL PANELS AT GYM ENTRY CANOPY AND EXTERIOR BUILDING WALLS TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
- 2 NEW ALUMINUM CANOPY SYSTEM. ATTACH CANOPY POST TO NEW CMU WALL CAP WITH CONCEALED FASTENER BASE. BASIS OF DESIGN: AIR VENT EXTERIORS, 1852 BREVARO RD. ARDEN, NC. PHONE: 828.687.0439
- 3 ATTACH ALUMINUM CANOPY ROOF STRUCTURE TO EXISTING REAR WALL ONLY. EXTEND ROOF FLASHING UNDER EXISTING ROOF EDGE TRIM. MODIFY AND REPAIR EXISTING ROOF EDGE AS REQUIRED. SLOPED ROOF EDGES OF CANOPY STRUCTURE CAN NOT BE ATTACHED TO THE EXISTING WALLS AT BOTH ENDS. FLASH SLOPED ROOF EDGES CONTINUOUS TO EXISTING SIDE WALLS. MAINTAIN STRUCTURAL SEPARATION AND ALLOW ROOF MOVEMENT AT BOTH ENDS. REPAIR EXISTING SIDE WALLS AS REQUIRED.
- 4 CLEAN, REPAIR AND REINSTALL EXISTING EXTERIOR GUARDRAIL. CUT AND REMOVE 2" x 2" VERTICAL POST BASES BELOW HORIZ. FRAME. FILL AND PATCH ALL VOIDS. GRIND SMOOTH ALL EXPOSED EDGES. PREP AND PAINT ALL SURFACES. APPLY (2) COATS OF SHERWIN-WILLIAMS GLOSS PAINT TO ENTIRE EXISTING FRAMES AND NEW POST BASE ATTACHMENTS. MATCH EXISTING COLOR. PRIOR TO CONSTRUCTION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MIGHT IMPACT THIS DESIGN INTENT. REFER TO DEMO NOTE (6).
- 5 NEW 1 1/2" LENGTH OF 2" x 4" x 3/16" HDG STEEL TUBE RAIL BASE. GRIND SMOOTH ALL EXPOSED EDGES. LEVEL, SHIM AND BOLT TO NEW CONC. WALL CAP AND EXISTING GUARDRAIL SYSTEM WITH HDG BOLTS.
- 6 NEW 4x8x16 SMOOTH FACE CMU WALL CAP. MATCH EXISTING COLOR.
- 7 8" SCORED, SPLIT FACE BOND BEAM WITH (1) #5 REBAR, CONTINUOUS, CENTERED AND GROUT FULL. MATCH EXISTING STYLE AND COLOR.
- 8 8" SCORED, SPLIT FACE CMU. MATCH EXISTING STYLE AND COLOR.
- 9 INSTALL 9 GA. JOINT REINFORCEMENT AT 1'-4" O.C., EVERY OTHER COURSE.
- 10 #5 REBAR AT 4'-0" O.C. CENTER IN CELL AND GROUT REINFORCED CELLS SOLID. ATTACH TO #5 REBAR DOWELED, GROUTED AND CORED THRU EXISTING CONCRETE SLAB. EXISTING REINFORCING SHOWN FOR INFORMATION ONLY.
- 11 EXISTING ELEVATED EXTERIOR CONCRETE WALK AND SPLIT FACE CMU WALL BELOW TO REMAIN. REFER TO DEMO NOTE (6) AND DETAILS FOR ADDITIONAL INFORMATION. EXISTING REINFORCING SHOWN FOR INFORMATION ONLY.
- 12 NEW INDUSTRIAL ALUMINUM SECURITY FENCE AND ADA COMPLIANT GATES AT EXISTING PRECAST CONCRETE CANOPY OPENINGS. REFER TO SECTIONS AND DETAILS. BASIS OF DESIGN: ULTRA ALUMINUM MANUFACTURING INC., 2124 GRAND COMMERCE DR., HOWELL, MI. SOUTHEAST RSM. PHONE: 708.988.9623
- 13 NEW 4" x 8" x 1/4" HDG STEEL TUBE BEAM WITH 4" x 1'-2" x 3/8" HDG STEEL PLATES BOTH ENDS. DRILL MIN. (2) DRAIN HOLES IN BOTTOM FLANGE PRIOR TO GALVANIZING. ATTACH TO EXISTING PRECAST WALL PANELS WITH 5/8" DIA. HDG STEEL FASTENER WITH SCREEN INSERT. BASIS OF DESIGN: HILTI HIT-HY 2790, 6 1/2" MIN. EMBEDMENT. BOLT POSITION MIN. EDGE DISTANCE IS 1 3/4" VERT. AND MIN. END DISTANCE IS 8" HORIZ.
- 14 TYPICAL GUARDRAIL CONSTRUCTION: 1 1/2" SCHEDULE 40 STEEL PIPE RAIL AND POSTS. GALVANIZED AFTER FABRICATION. PROVIDE INNER SLEEVE AT ALL JOINTS. BORE POST HOLES 2 1/2" DIA. MAX INTO CONCRETE. ANCHOR POST 6" MIN. DEEP AND GROUT FULL WITH EPOXY GROUT, DOME GROUT FILL. REFER TO EXPANSION JOINT DETAIL. INSTALL 1/2" ROUND STEEL PICKETS AT EQUAL SPACES, 4" MAX. CLEAR, TYP.
- 15 4000 PSI CONCRETE RETAINING WALL AND SLAB WITH 4x4 W2.9/2.9 WELDED WIRE FABRIC REINFORCING. LIGHT BROOM FINISH.
- 16 PROVIDE 1" CHAMFERED CORNER AT CONC. SLAB WITH TURNDOWN EDGE.
- 17 #5 REBAR AT 24" O.C. VERTICAL AND #5 REBAR CONT., 12" O.C. MAX. HORIZONTAL. MAINTAIN 3" MIN. CONCRETE COVER ON ALL SIDES.
- 18 #57 GRAVEL FILL
- 19 TURN-DOWN SLAB EDGE CONTINUOUS AT NEW CONCRETE WALKS AND STAIRS, TYP.
- 20 #5 REBAR, CONTINUOUS WITH 3" CLEAR FROM ALL SIDES.
- 21 EXPANSION JOINT = EJ. REFER TO DETAIL 1/A301.
- 22 1/2" COMPRESSIBLE FILLER BOARD
- 23 EXISTING EXTERIOR CONCRETE STAIRS AND HANDRAILS TO REMAIN. REFER TO DEMO NOTE (4) AND DETAILS FOR ADDITIONAL INFORMATION.

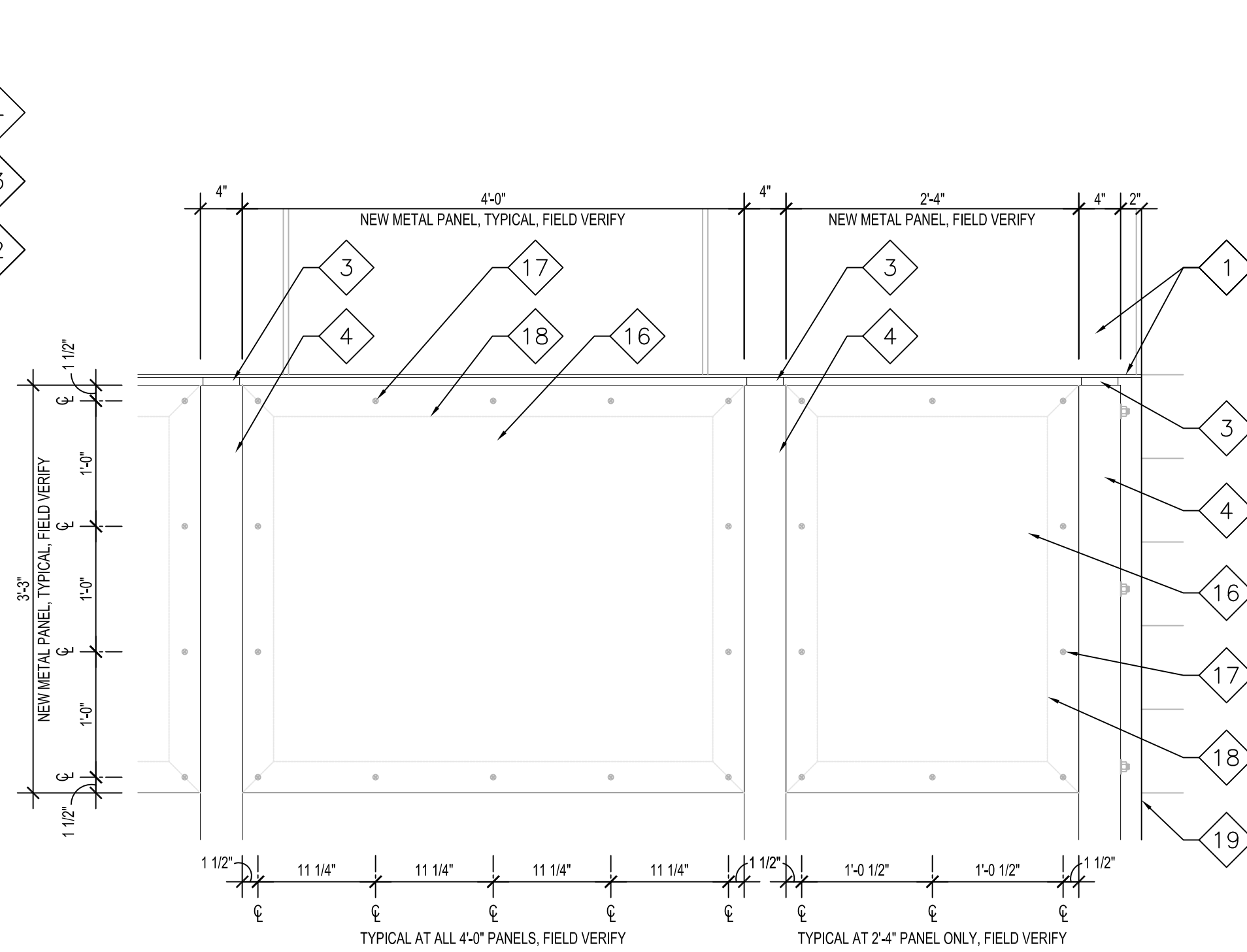




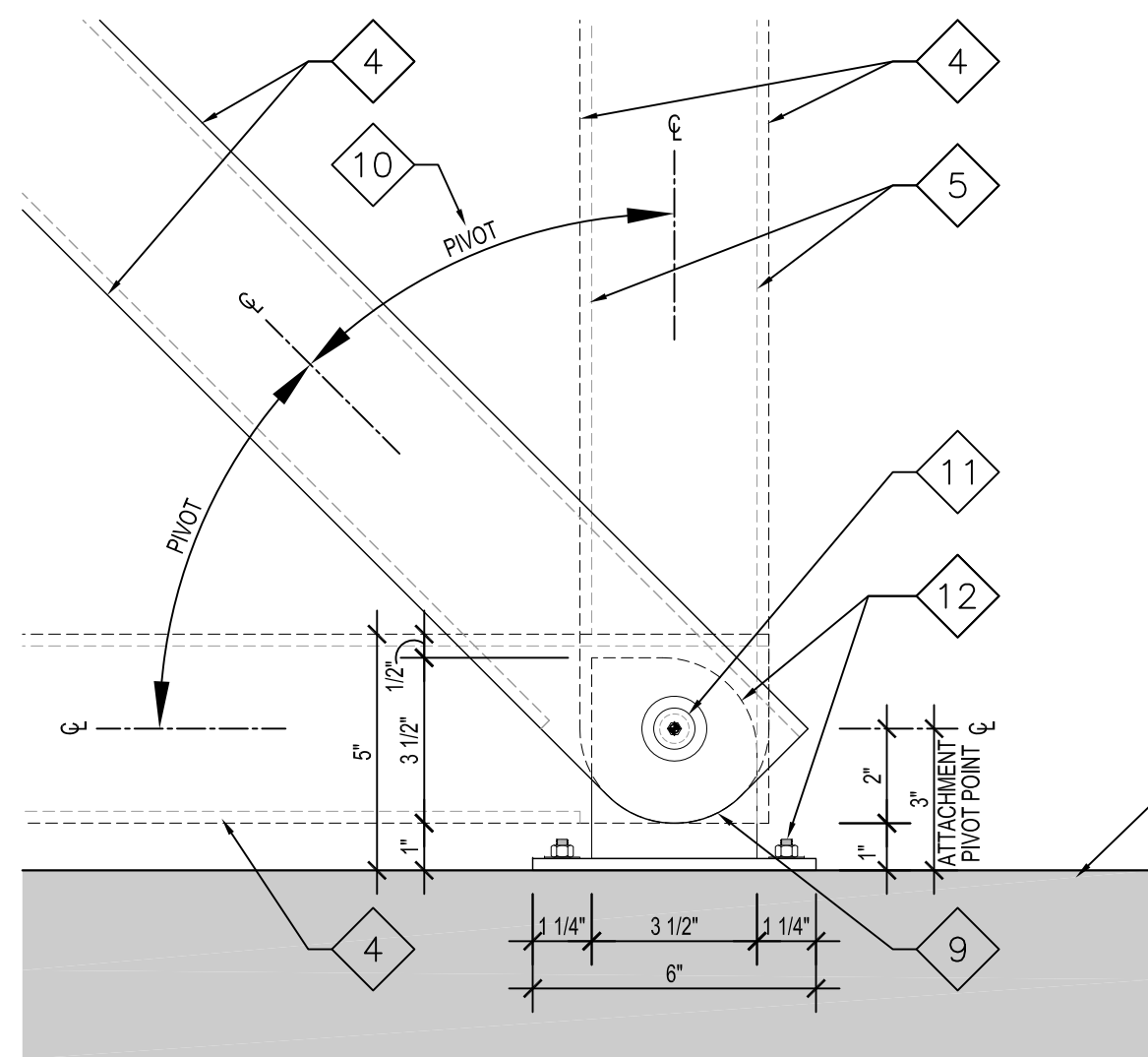
8 DROP DOWN GATE POST EXPANSION INSERT
 3'-11 1/2" HEAD DETAIL - SIDE FACE



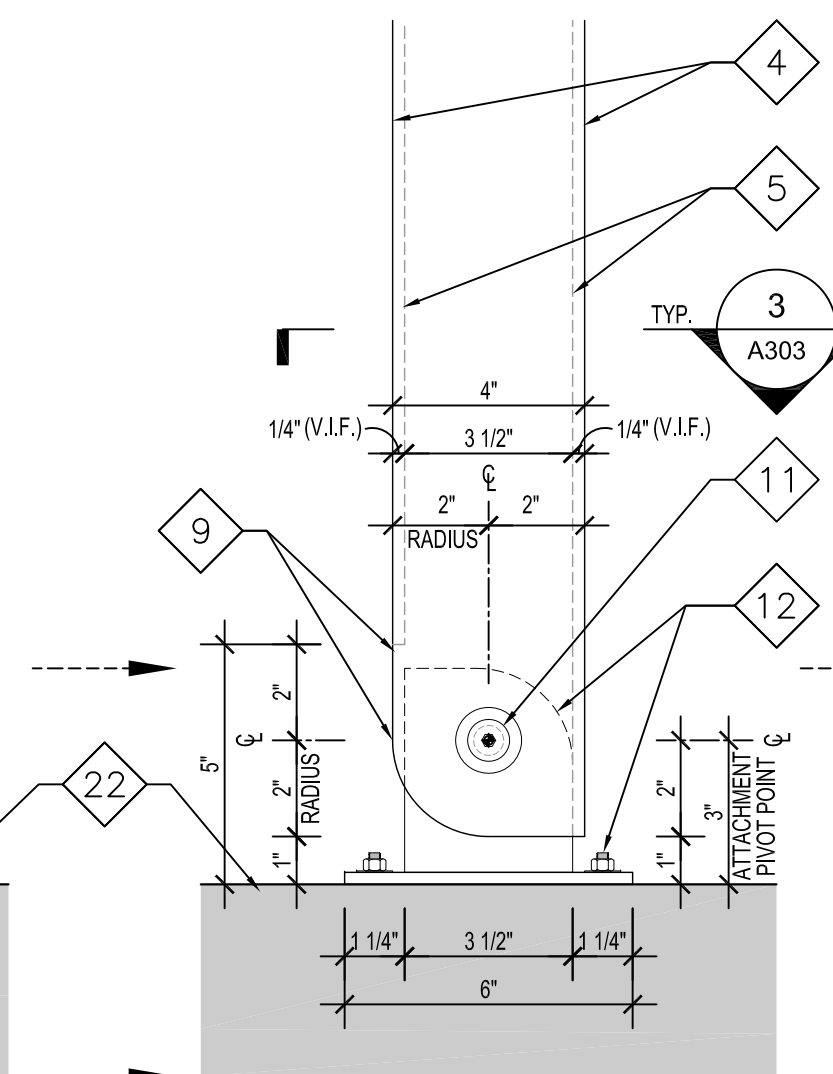
9 GATE POST EXPANSION INSERT - TYP.
 3'-11 1/2" HEAD DETAIL - PLAN AND FRONT FACE



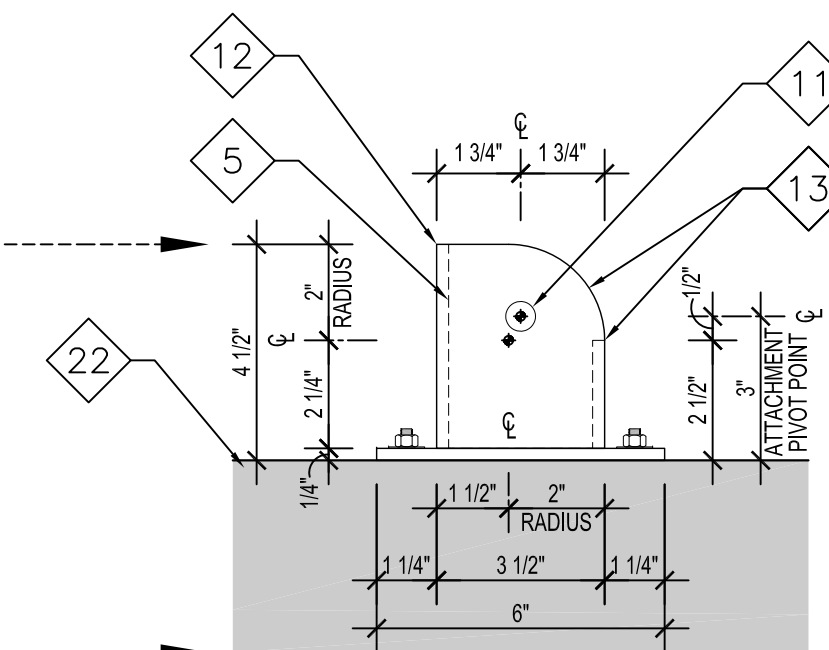
10 METAL PANELS AT PLAZA BRIDGE GATE
 1'-11 1/2" ENLARGED ELEVATION DETAIL



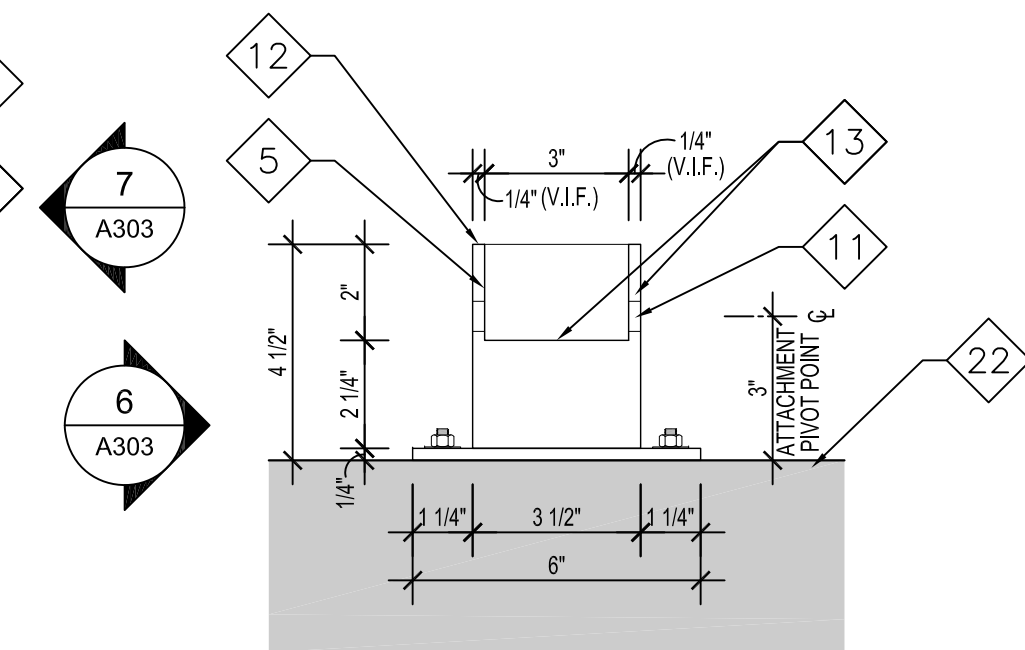
4 DROP DOWN GATE POST BASE PLATE ASSEMBLY
 3'-11 1/2" SILL DETAIL - SIDE FACE - ROTATION PATH



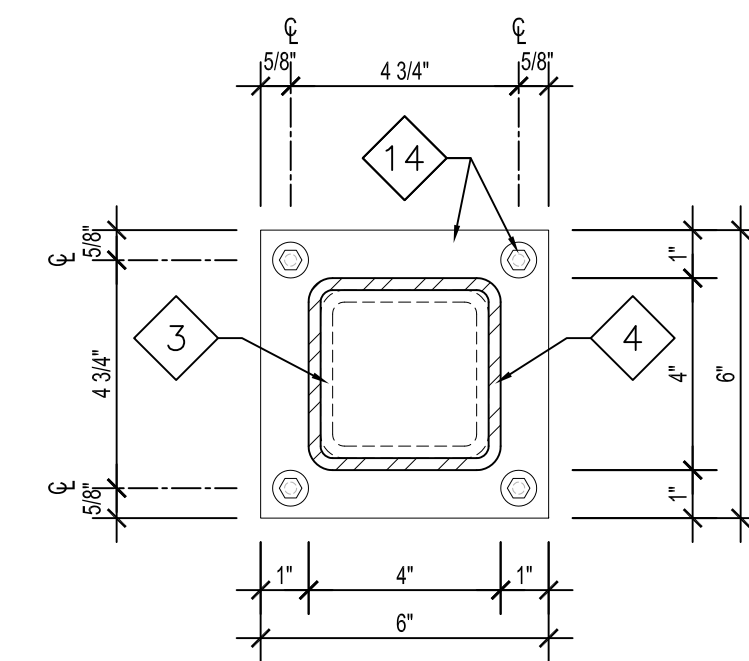
5 DROP DOWN POST BASE PLATE
 3'-11 1/2" SILL DETAIL - SIDE FACE



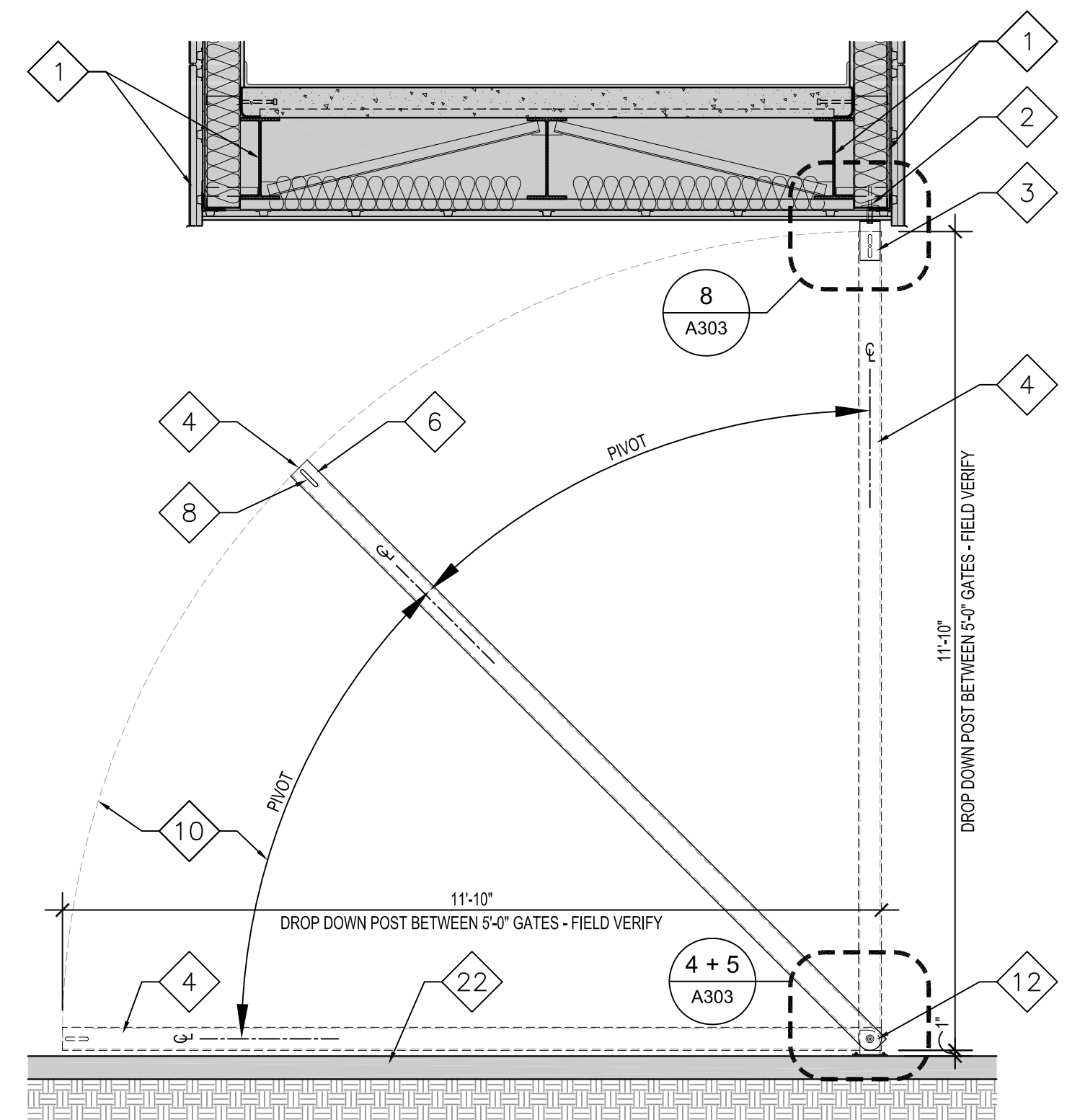
6 DROP DOWN POST BASE PLATE
 3'-11 1/2" SILL DETAIL - SIDE FACE - INSERT



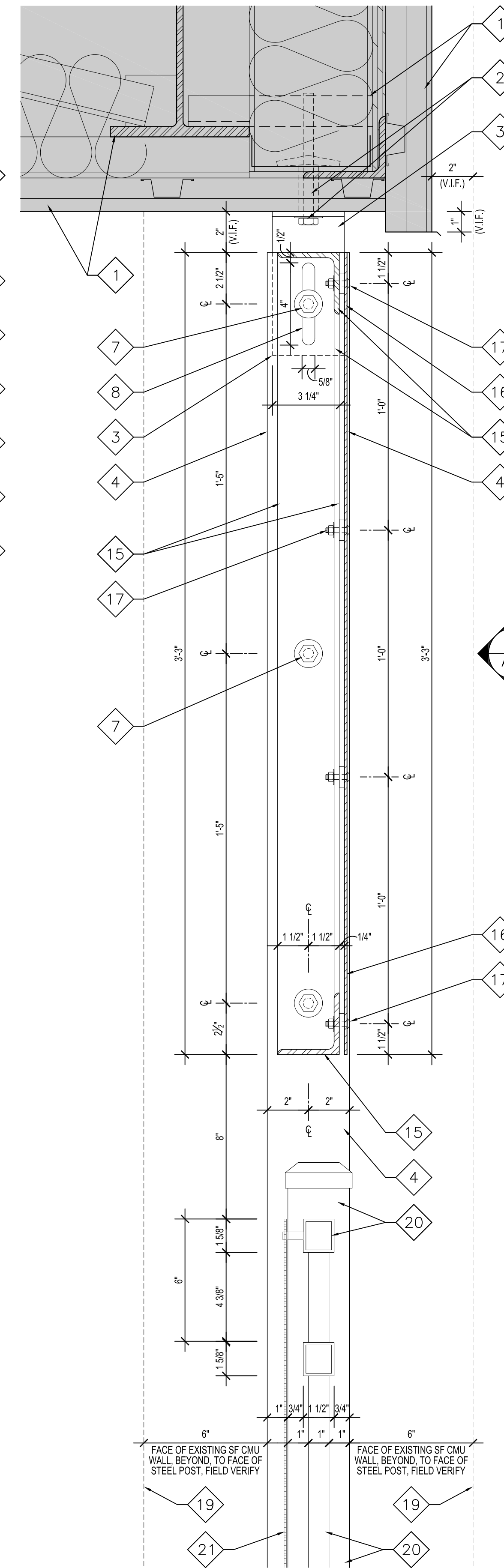
7 DROP DOWN POST BASE PLATE
 3'-11 1/2" SILL DETAIL - FRONT FACE - INSERT



3 GATE POST BASE PLATE - TYP.
 3'-11 1/2" SILL DETAIL - PLAN



2 DROP DOWN POST B/T (2) 5'-0" GATES AT PLAZA BRIDGE
 1'-2" ENLARGED DETAIL - SIDE FACE - ROTATION PATH



1 SECTION DETAIL AT METAL PANELS ABOVE PLAZA BRIDGE GATE
 3'-11 1/2"

RENOVATION SECTION + DETAIL KEY NOTES:

- 1 EXISTING CORRIDOR BRIDGE TO REMAIN. STRUCTURE INDICATED IS BASED ON AVAILABLE DOCUMENTATION AND SHOWN FOR INFORMATION ONLY. FIELD VERIFY EXISTING SUBSTRATE MATERIALS AT GATE POST ATTACHMENT LOCATIONS PRIOR TO CONSTRUCTION.
- 2 ATTACH EXPANSION INSERTS TO EXISTING CORRIDOR BRIDGE STRUCTURE WITH 1/2" DIA. HDG STEEL FASTENERS. FIELD VERIFY EXISTING SUBSTRATE MATERIALS TO DETERMINE REQUIRED ATTACHMENT ANCHOR.
- 3 EXPANSION INSERT AT ALL HDG 4x4 STEEL TUBE GATE POSTS. 5/34" LENGTH OF 3 1/2" x 3 1/2" x 1/4" STEEL TUBE. CONTINUOUS WELD TO 3 1/2" x 7 1/2" x 1/4" STEEL ANCHOR PLATE PRIOR TO GALVANIZING. ATTACH TO GATE POST AT EXPANSION SLOTS WITH 1/2" DIA. HDG STEEL FASTENER.
- 4 4" x 4" x 1/4" HDG STEEL TUBE SECURITY GATE POST.
- 5 LINE OF INSIDE FACE OF HDG STEEL TUBE. FIELD VERIFY STEEL TUBE WALL THICKNESS.
- 6 CUT AND GRIND SMOOTH 5/16" NOTCH PRIOR TO GALVANIZING AS INDICATED AT FRONT FACE OF 4" x 4" x 1/4" HDG STEEL TUBE SECURITY GATE DROP DOWN POST BETWEEN 5'-0" GATES ONLY.
- 7 DRILL HOLE FOR 1/2" DIA. HDG STEEL FASTENER PRIOR TO GALVANIZING AS INDICATED FOR ATTACHMENT TO 4" x 4" x 1/4" HDG STEEL TUBE SECURITY GATE POSTS, BOTH SIDES TYPICAL.
- 8 CUT AND GRIND SMOOTH 4" x 5/8" EXPANSION SLOTS PRIOR TO GALVANIZING AS INDICATED AT TOP OF 4" x 4" x 1/4" HDG STEEL TUBE SECURITY GATE POSTS AND 3" x 3" x 1/4" HDG STEEL ANGLE FRAMES, BOTH SIDES TYPICAL.
- 9 CUT AND GRIND SMOOTH 4" NOTCH WITH (2) 2" RADIUS CORNERS PRIOR TO GALVANIZING AS INDICATED AT BASE OF 4" x 4" x 1/4" HDG STEEL TUBE SECURITY GATE DROP DOWN POST BETWEEN 5'-0" GATES ONLY.
- 10 RADIUS INDICATES THE PATH AND CLEARANCES OF THE 4" x 4" x 1/4" HDG STEEL TUBE GATE DROP DOWN POST BETWEEN 5'-0" GATES ONLY.
- 11 DRILL HOLE FOR 1/2" DIA. TAMPER PROOF HDG STEEL PIVOT PIN FASTENER PRIOR TO GALVANIZING AS INDICATED FOR ATTACHMENT AT DROP DOWN POST ONLY, BOTH SIDES TYPICAL.
- 12 DROP DOWN POST BASE PLATE. 4 1/4" LENGTH OF 3 1/2" x 3 1/2" x 1/4" STEEL TUBE. CONTINUOUS WELD TO 6" x 6" x 1/4" STEEL ANCHOR PLATE PRIOR TO GALVANIZING. ATTACH TO EXISTING SLAB WITH (4) HDG STEEL ANCHOR BOLTS AS INDICATED. ATTACH TO GATE POST BETWEEN 5'-0" GATES ONLY WITH 1/2" DIA. TAMPER PROOF HDG STEEL PIVOT PIN FASTENER.
- 13 CUT AND GRIND SMOOTH 2" NOTCH WITH (2) 2" RADIUS CORNERS PRIOR TO GALVANIZING AS INDICATED AT TOP OF 3 1/2" x 3 1/2" x 1/4" HDG STEEL TUBE OF DROP DOWN POST BASE PLATE ONLY.
- 14 4" x 4" x 1/4" HDG STEEL TUBE GATE POST BASE PLATE. CONTINUOUS WELD 6" x 6" x 1/4" STEEL ANCHOR PLATE TO 4" x 4" x 1/4" STEEL TUBE POSTS PRIOR TO GALVANIZING. ATTACH TO EXISTING SLAB WITH (4) HDG STEEL ANCHOR BOLTS AS INDICATED.
- 15 3" x 3" x 1/4" HDG STEEL ANGLE FRAME. CONTINUOUS WELD AND GRIND SMOOTH ALL MITERED CORNER JOINTS. CUT AND GRIND SMOOTH 4" x 5/8" EXPANSION SLOTS PRIOR TO GALVANIZING AS INDICATED, BOTH SIDES TYP.
- 16 1/8" MIN. ALUMINUM PANEL WITH FINISHED SURFACES BOTH SIDES AND ALL FINISHED EDGES AS REQUIRED FOR OWNER SUPPLIED ART WORK PROCESS. REVIEW WITH ARCHITECT PRIOR TO ORDERING ANY MATERIAL.
- 17 ATTACH PANELS TO STEEL ANGLE FRAME WITH ALUMINUM COMPATIBLE FASTENERS AS INDICATED. PROVIDE EXPANSION SLOTS AS REQUIRED AT ATTACHMENT JOBS IN STEEL ANGLE ONLY AND PROVIDE 1/4" MIN. EXTERIOR GRADE VINYL SPACERS BETWEEN STEEL AND ALUMINUM PANELS.
- 18 LINE OF 3" x 3" x 1/4" HDG STEEL ANGLE FRAME AT OPPOSITE FACE OF GATE ONLY, REFER TO GATE ELEVATIONS SHEET A202.
- 19 LINES OF EXISTING SPLIT FACE CMU EXTERIOR BUILDING WALL AT GATE JAMB OPPOSITE SIDE TO REMAIN, REFER TO FLOOR PLAN, SHEET A112.
- 20 NEW INDUSTRIAL ALUMINUM SECURITY FENCE AND ADA COMPLIANT GATES AT EXISTING PRECAST CONCRETE CANOPY OPENINGS. REFER TO SECTIONS AND DETAILS. BASIS OF DESIGN: ULTRA ALUMINUM MANUFACTURING INC., 2124 GRAND COMMERCE DR., HOWELL, MI. SOUTHEAST RSM. PHONE: 706.888.9623
- 21 EXPANDED ALUMINUM FLATTENED MESH TO BE WELDED TO INSIDE FACE OF GATES AND FENCE SECTIONS PRIOR TO APPLYING FINAL POWDER COATED FINISH TO ALL EXPOSED SURFACES. REFER TO ELEVATIONS FOR LOCATIONS. REVIEW MESH TYPE WITH ARCHITECT PRIOR TO ANY MATERIAL PURCHASE.
- 22 EXISTING CONCRETE SLAB TO REMAIN. STRUCTURE INDICATED IS BASED ON AVAILABLE DOCUMENTATION AND SHOWN FOR INFORMATION ONLY. FIELD VERIFY EXISTING SUBSTRATE MATERIALS AT GATE POST ATTACHMENT LOCATIONS PRIOR TO CONSTRUCTION.

GENERAL NOTES:

1. REMOVE, REROUTE AND REINSTALL EXISTING AND NEW ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT. ELECTRICAL CONDUIT AND RACEWAYS, PLUMBING AND WATER SUPPLY PIPING AND EQUIPMENT AS REQUIRED TO MAINTAIN THE NEW ADA COMPLIANT ACCESSIBLE ROUTES IN ALL RENOVATED AREAS. MAINTAIN ALL EXISTING SYSTEMS IMPACTED BY THESE RENOVATIONS IN OPERABLE AND CODE COMPLIANT CONDITION.
2. EXISTING SITE GRADES AND ELEVATIONS ARE BASED ON AVAILABLE SITE SURVEY AND SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS. PRIOR TO CONSTRUCTION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MIGHT IMPACT THIS DESIGN INTENT.
3. ALL AREAS WHERE EXISTING GRADE OR GRASS IS DISTURBED, RE-GRADE TO A SMOOTH SLOPE. PROVIDE 4" TOP SOIL AND SLOPE STABILIZATION. HAND PREP AND PROVIDE SOD WITH A MIX OF COLD AND WARM WEATHER GRASSES. PRIOR TO INSTALL OF SOD, BROADCAST 1 LB. PER 100 SQUARE FEET 6-20-20 ROOT STARTER FERTILIZER. NO STRAW.

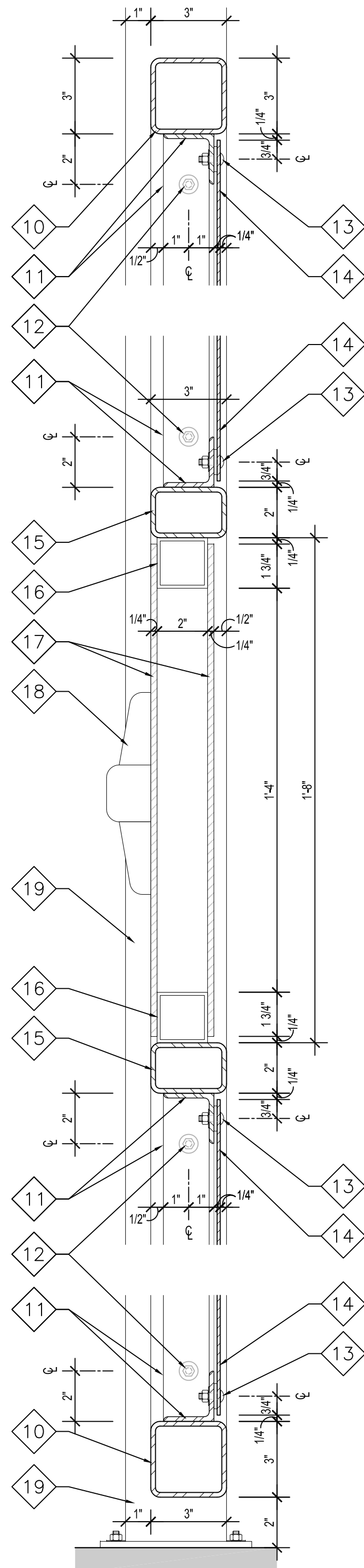


RENOVATION SECTION + DETAIL KEY NOTES:

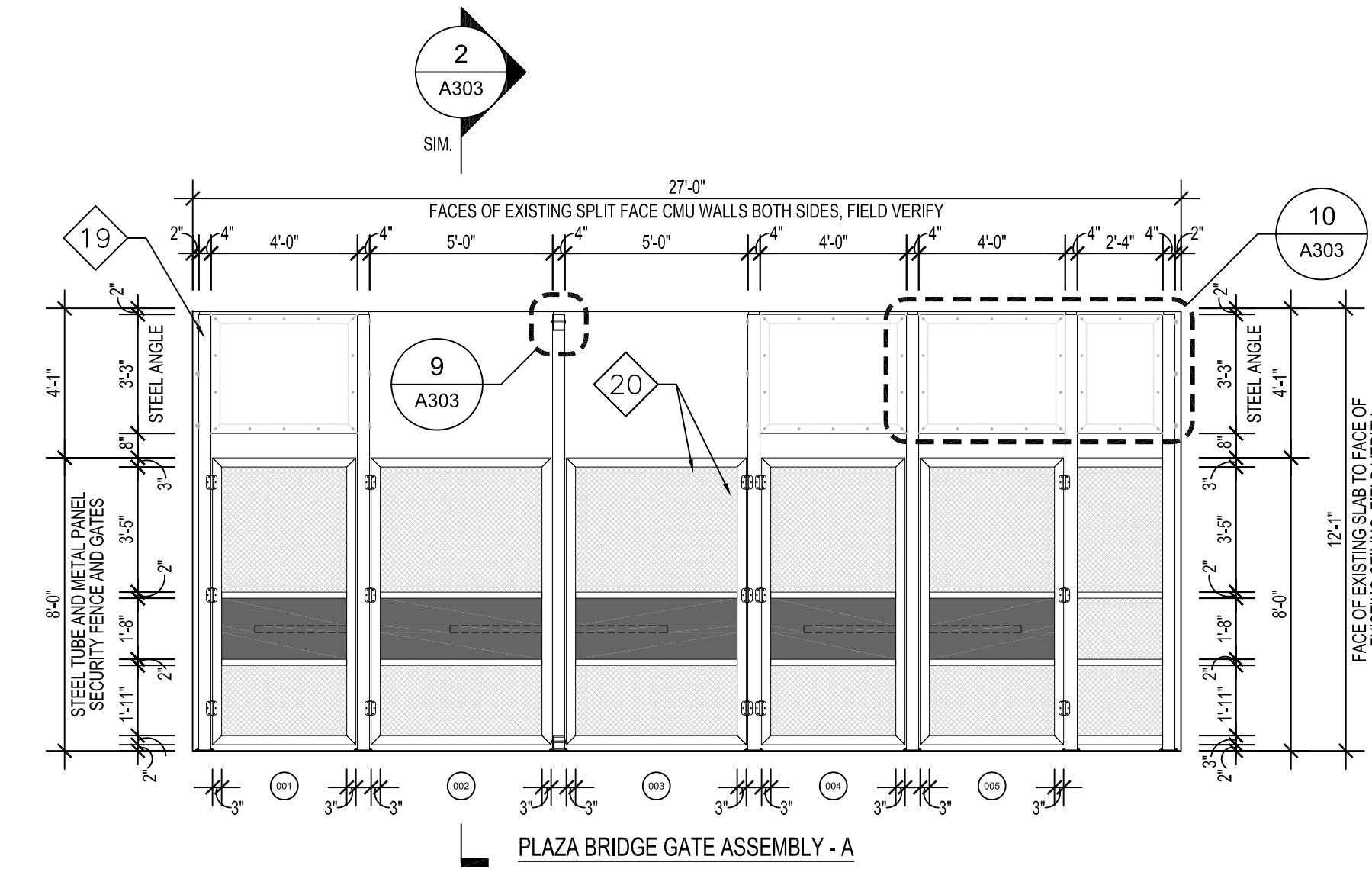
- 1 EXISTING PRECAST CONCRETE WALL PANELS AT EXTERIOR BUILDING WALLS TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
- 2 EXISTING SPLIT FACE CMU EXTERIOR BUILDING WALL TO REMAIN. CLEAN AND REPAIR ANY ADJACENT DAMAGED AREAS AS REQUIRED.
- 3 EXISTING CORRIDOR BRIDGE ABOVE TO REMAIN. REFER TO SHEET A102 2ND FLOOR PLAN, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- 4 ALTERNATE - A2: REMOVE AND REPLACE NEW INDUSTRIAL ALUMINUM SECURITY FENCE SYSTEM AS SHOWN ON BASE BID DRAWINGS WITH NEW STEEL TUBE, ANGLE FRAME AND PANEL SECURITY FENCE AND ADA COMPLIANT GATES AT ALL EXISTING OPENINGS. REFER TO ELEVATIONS, SECTIONS AND DETAILS THIS SHEET.
- 5 NEW METAL PANELS ON STEEL ANGLE FRAMES. REFER TO SHEET A303.
- 6 NEW EXTERIOR CONCRETE WALK WITH CONTINUOUS TURN-DOWN EDGE. GRADE SOIL AS REQUIRED TO MATCH EXISTING FINISH FLOOR ELEVATION AT TOP OF SLAB OF ADJACENT EXISTING WALKS AND FINISH GRADE. CROSS SLOPE SLAB 1:48 MAX AWAY FROM BUILDING. MAINTAIN A 1:20 MAX SLOPE ALONG THE LENGTH OF NEW WALKS AND AWAY FROM ALL EXPOSED SLAB EDGES AT ADJACENT FINISH GRADE.
- 7 EXISTING EXTERIOR CONCRETE WALKS, PAVED AREAS, CURBS AND RETAINING WALLS TO REMAIN.
- 8 EXISTING EXTERIOR CONCRETE STAIRS AND HANDRAILS TO REMAIN.
- 9 LINES OF EXISTING SPLIT FACE CMU EXTERIOR BUILDING WALL AT GATE JAMB OPPOSITE SIDE TO REMAIN. REFER TO FLOOR PLAN, SHEET A112.
- 10 2" x 3" x 3/16" HDG STEEL TUBE FRAME. CONTINUOUS WELD AND GRIND SMOOTH ALL MITERED CORNER JOINTS PRIOR TO GALVANIZING.
- 11 2" x 2" x 1/8" HDG STEEL ANGLE FRAME. CONTINUOUS WELD AND GRIND SMOOTH ALL MITERED CORNER JOINTS PRIOR TO GALVANIZING.
- 12 DRILL HOLE FOR 1/4" DIA. HDG STEEL FASTENER PRIOR TO GALVANIZING AS INDICATED FOR ATTACHMENT TO 3" x 3" x 3/16" HDG STEEL TUBE SECURITY GATE FRAME, BOTH SIDES TYPICAL.
- 13 ATTACH FLATTENED MESH PANELS TO STEEL ANGLE FRAME WITH ALUMINUM COMPATIBLE FASTENERS AS INDICATED. PROVIDE EXPANSION SLOTS AS REQUIRED AT ATTACHMENT HOLES IN STEEL ANGLE ONLY AND PROVIDE 1/8" MIN. EXTERIOR GRADE VINYL SPACERS BETWEEN STEEL AND ALUMINUM PANELS.
- 14 1/8" MIN. EXPANDED ALUMINUM FLATTENED MESH PANEL. PROVIDE FINISHED EDGES AND ALL EXPOSED SURFACES. REVIEW MESH TYPE WITH ARCHITECT PRIOR TO ANY MATERIAL PURCHASE.
- 15 2" x 3" x 3/16" HDG STEEL TUBE FRAME. CONTINUOUS WELD AND GRIND SMOOTH ALL JOINTS PRIOR TO GALVANIZING.
- 16 2" x 2" x 1/8" HDG STEEL TUBE FRAME. CONTINUOUS WELD AND GRIND SMOOTH ALL JOINTS PRIOR TO GALVANIZING. ATTACH TO 2"x3" STEEL TUBE FRAME AND PROTECTOR PANELS.
- 17 1/8" MIN. HDG STEEL PANIC HARDWARE PROTECTOR PANELS. PROVIDE FINISHED EDGES AND ALL EXPOSED SURFACES. REVIEW ARCHITECT PRIOR TO ANY MATERIAL PURCHASE.
- 18 PANIC HARDWARE BEYOND, REFER TO DOOR AND HARDWARE SCHEDULES SHEET A601.
- 19 4" x 4" x 1/4" HDG STEEL TUBE SECURITY GATE POST.
- 20 LINE OF 2" x 3" x 3/16" HDG STEEL ANGLE FRAME AT OPPOSITE FACE OF GATE ONLY, REFER TO GATE ELEVATIONS SHEET A401.
- 21 3" x 3" x 1/4" HDG STEEL TUBE SECURITY GATE POST.

GENERAL NOTES:

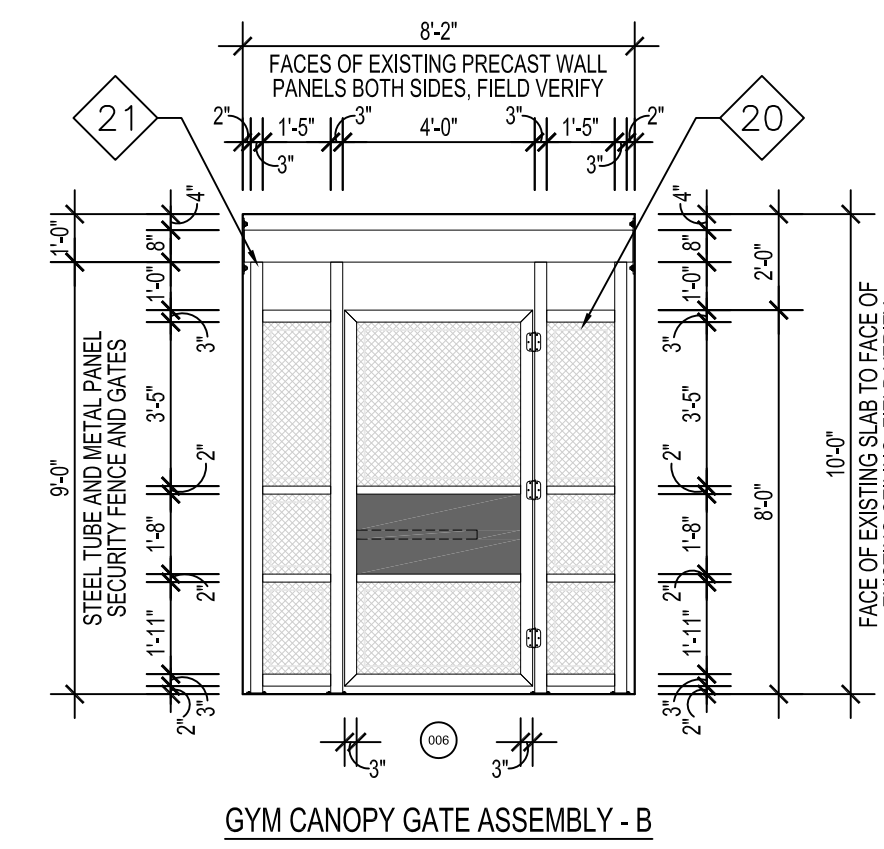
1. REMOVE, REROUTE AND REINSTALL EXISTING AND NEW ELECTRICAL PLUMBING AND MECHANICAL EQUIPMENT; ELECTRICAL CONDUIT AND RACEWAYS; PLUMBING AND WATER SUPPLY PIPING AND EQUIPMENT AS REQUIRED TO MAINTAIN THE NEW ADA COMPLIANT ACCESSIBLE ROUTES IN ALL RENOVATED AREAS. MAINTAIN ALL EXISTING SYSTEMS IMPACTED BY THESE RENOVATIONS IN OPERABLE AND CODE COMPLIANT CONDITION.
2. EXISTING SITE GRADES AND ELEVATIONS ARE BASED ON AVAILABLE SITE SURVEY AND SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS. PRIOR TO CONSTRUCTION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MIGHT IMPACT THIS DESIGN INTENT.
3. ALL AREAS WHERE EXISTING GRADE OR GRASS IS DISTURBED, RE-GRADE TO A SMOOTH SLOPE. PROVIDE 4" TOP SOIL AND SLOPE STABILIZATION. HAND PREP AND PROVIDE SOD WITH A MIX OF COLD AND WARM WEATHER GRASSES. PRIOR TO INSTALL OF SOD, BROADCAST 1 LB. PER 100 SQUARE FEET 6-20-20 ROOT STARTER FERTILIZER. NO STRAW.



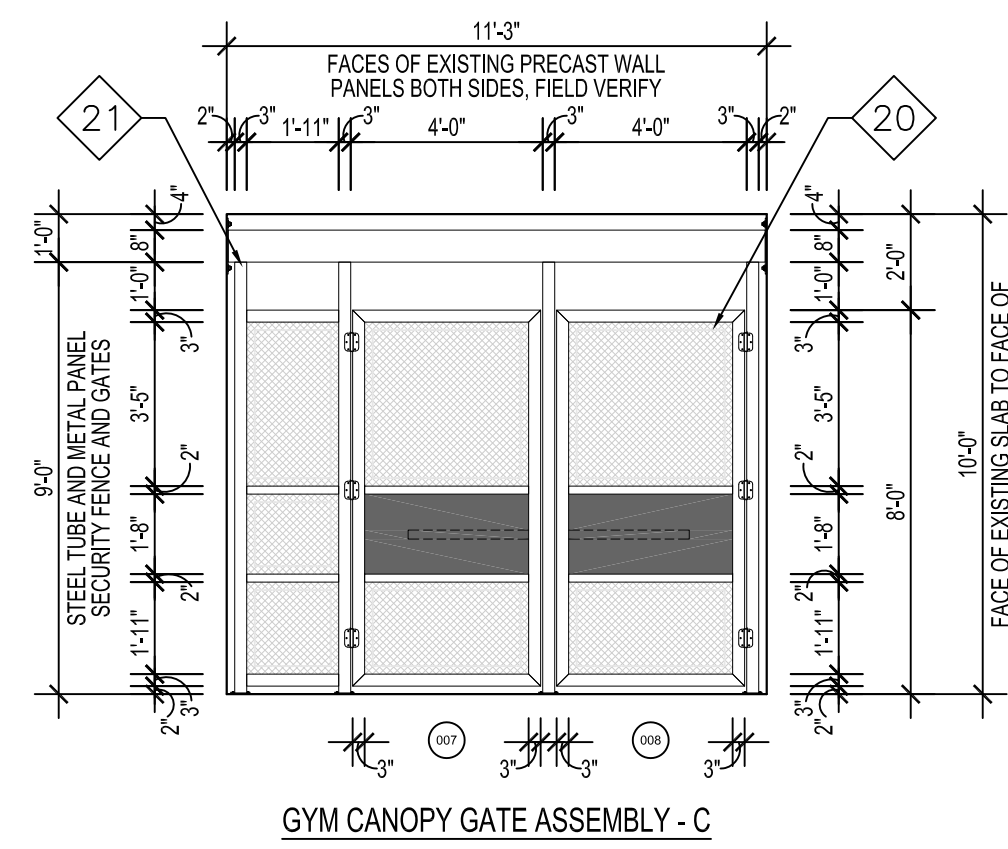
4 SECTION DETAIL AT GATE
3/8"=1'-0"
ALTERNATE - A2



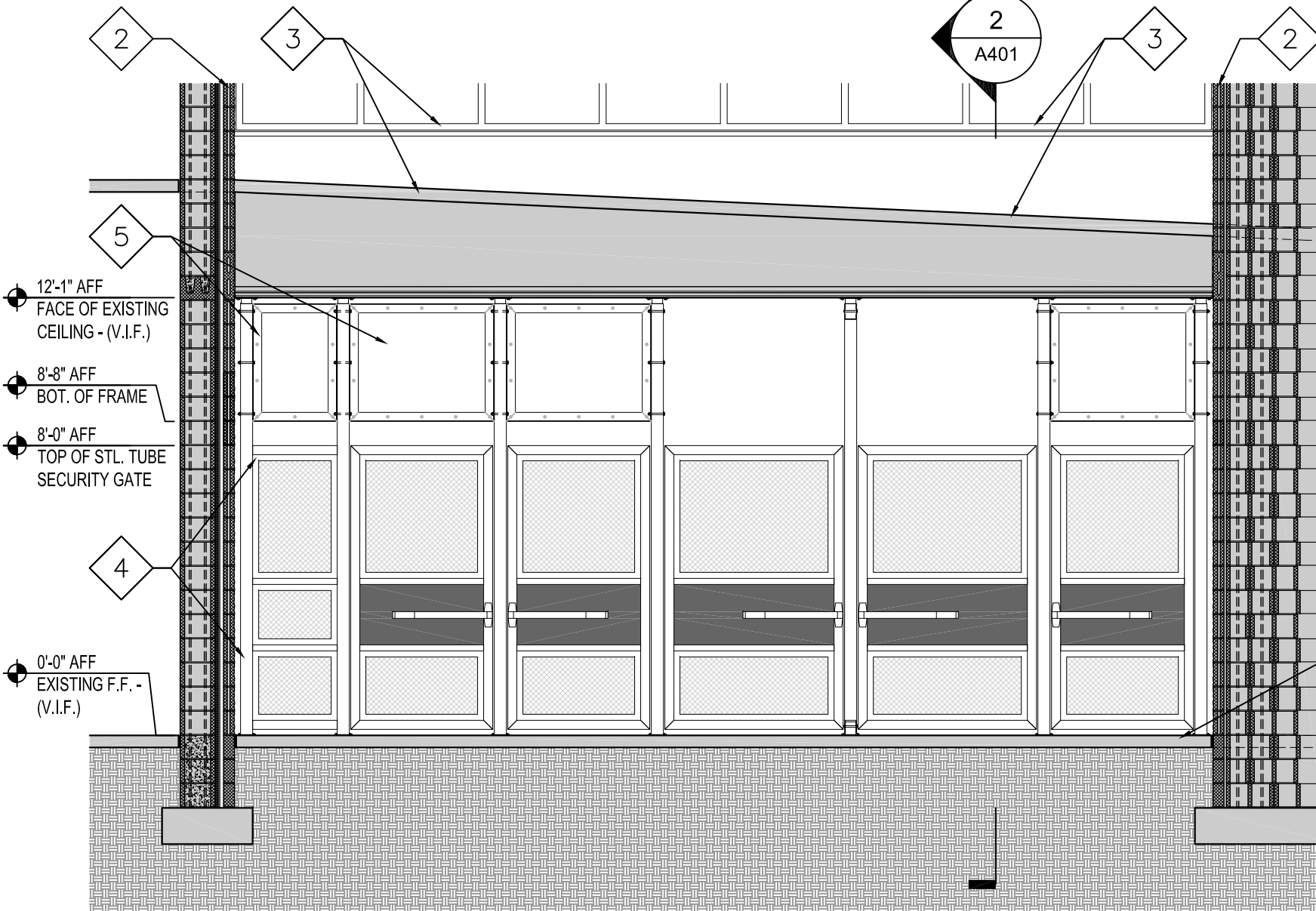
5 SECURITY GATE ELEVATIONS
1/4"=1'-0" OUTSIDE FACE OF SECURITY GATES
ALTERNATE - A2



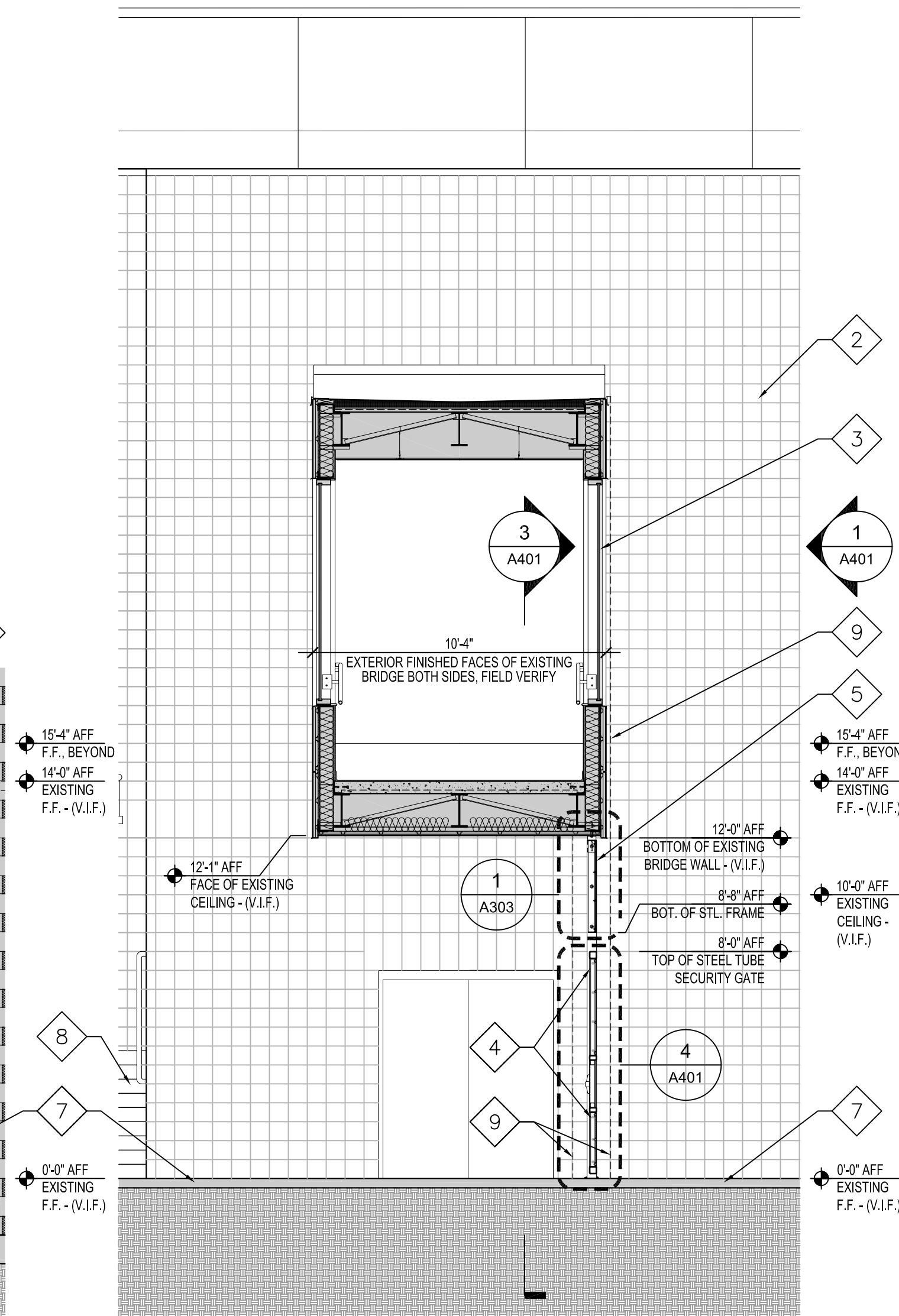
GYM CANOPY GATE ASSEMBLY - B



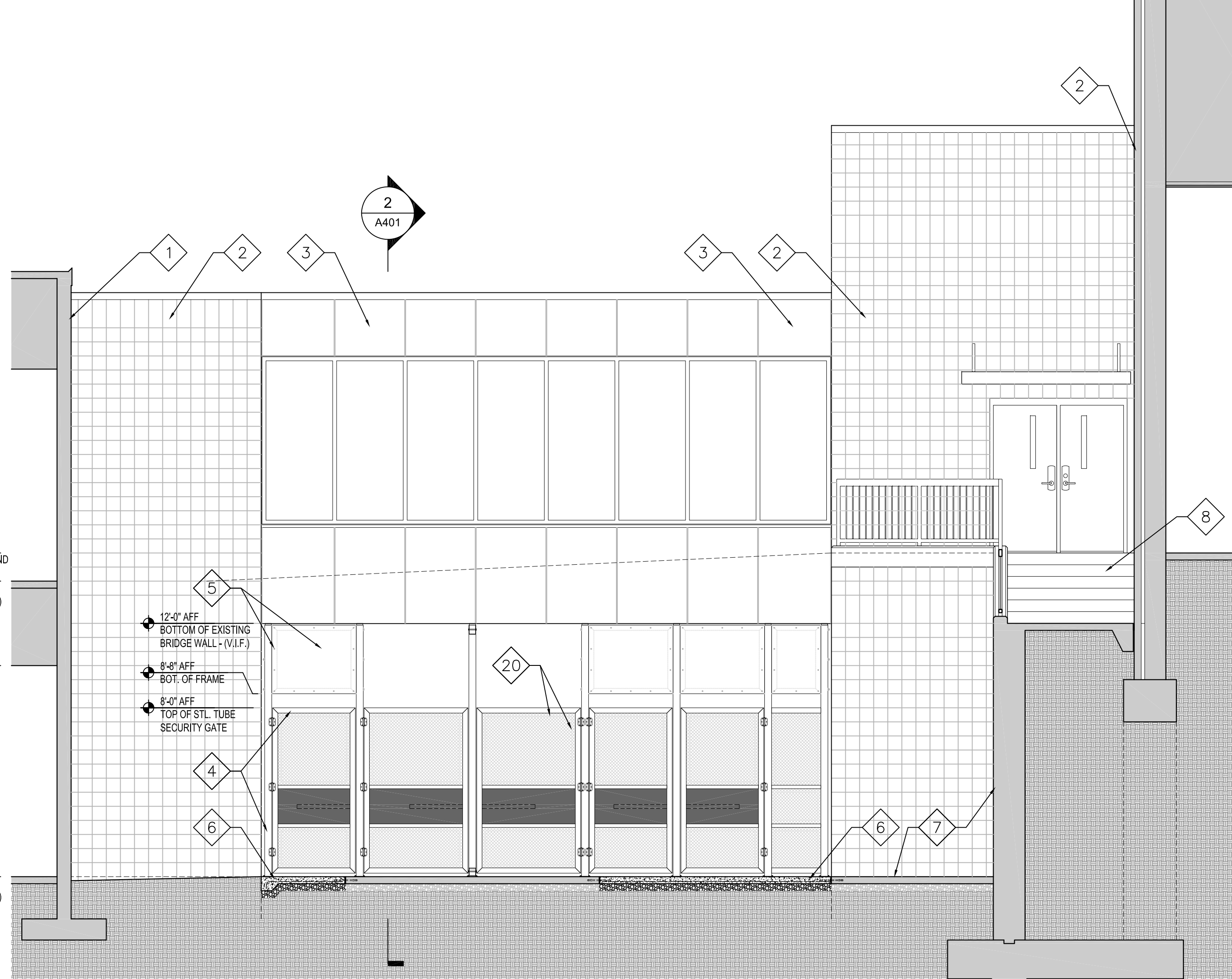
GYM CANOPY GATE ASSEMBLY - C



3 GATE ELEVATION AT EXISTING PLAZA BRIDGE
1/4"=1'-0"
INSIDE FACE OF SECURITY GATE - ALTERNATE - A2



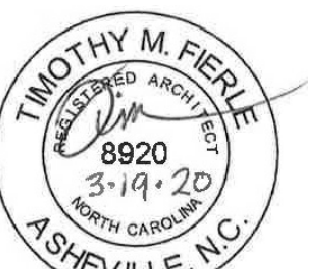
2 GATE SECTION AT EXISTING PLAZA BRIDGE
1/4"=1'-0"
ALTERNATE - A2



1 GATE ELEVATION AT EXISTING PLAZA BRIDGE
1/4"=1'-0"
OUTSIDE FACE OF SECURITY GATE - ALTERNATE - A2

Buncombe County Schools
Facilities and Planning

Timothy Flerle AIA, Director
175 Bingham Road □ Asheville, N.C. 28806-3800
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A401
ALTERNATE - A2:
ELEVATIONS,
SECTIONS
AND DETAILS

DESIGNED BY: TMF
DATE: 03.19.2020

HARWARE SCHEDULE

HARDWARE GROUP NO. HW-01				HARDWARE GROUP NO. HW-04			
FOR USE ON SECURITY GATES: 001 TO HAVE:				FOR USE ON SECURITY GATES: 006, 008; ALL TO HAVE:			
QT.	DESCRIPTION	CATALOG NUMBER	FINISH MFG.	QT.	DESCRIPTION	CATALOG NUMBER	FINISH MFG.
3 ea	HINGE	5BB1 4.5 X 4.5 NRP	BBLK IVE	3 ea	HINGE	5BB1 4.5 X 4.5 NRP	BBLK IVE
1 ea	PANIC HARDWARE	99-EO-WH	315 VON	1 ea	PANIC HARDWARE	99-EO-WH	315 VON
1 ea	ELECT. EXIT DEVICE TRIM	AD-400-993R-70-MT-TLR-P 4B	643e SCE	1 ea	ELECT. EXIT DEVICE TRIM	AD-400-993R-70-MT-TLR-P 4B	643e SCE
1 ea	GATE PLATE	BY GATE MANUF.- TO SECURE PANIC DEVICES TO GATES	BLK	1 ea	GATE PLATE	BY GATE MANUF.- TO SECURE PANIC DEVICES TO GATES	BLK
1 ea	GATE CENTER POST	STEEL TUBE - ATTACH STRIKE BOXES FOR PANIC LATCHING	BLK	1 ea	GATE CENTER POST	BY GATE MANUF.- ATTACH STRIKE BOXES FOR PANIC LATCHING	BLK
1 ea	PIM (BY OTHERS)	PIM400-485 AS REQ'D, SITE SURVEY TO DETERMINE QUANTITY REQUIRED BY SECURITY INTEGRATOR	SCE	1 ea	PIM (BY OTHERS)	PIM400-485 AS REQ'D, SITE SURVEY TO DETERMINE QUANTITY REQUIRED BY SECURITY INTEGRATOR	SCE
1		BALANCE OF HARDWARE BY GATE MANUF.		1		BALANCE OF HARDWARE BY GATE MANUF.	
GATE NORMALLY CLOSED AND LOCKED. VALID KEY OR CREDENTIAL REQUIRED TO ENTER UPON PRESENTATION OF VALID CREDENTIALS TO LOCK MOUNTED READER, UNLOCK AND PERMIT ENTRANCE. FREE EGRESS AT ALL TIMES. COORDINATE WITH ELECTRICAL AND SECURITY.				GATE NORMALLY CLOSED AND LOCKED. VALID KEY OR CREDENTIAL REQUIRED TO ENTER UPON PRESENTATION OF VALID CREDENTIALS TO LOCK MOUNTED READER, UNLOCK AND PERMIT ENTRANCE. FREE EGRESS AT ALL TIMES. COORDINATE WITH ELECTRICAL AND SECURITY.			

HARDWARE GROUP NO. HW-02				HARDWARE GROUP NO. HW-05			
FOR USE ON SECURITY GATES: 002, 003; ALL TO HAVE:				FOR USE ON SECURITY GATES: 007 TO HAVE:			
QT.	DESCRIPTION	CATALOG NUMBER	FINISH MFG.	QT.	DESCRIPTION	CATALOG NUMBER	FINISH MFG.
4 ea	HINGE	5BB1HW 5 X 4.5 NRP	BBLK IVE	3 ea	HINGE	5BB1 4.5 X 4.5 NRP	BBLK IVE
1 ea	PANIC HARDWARE	99-EO-WH	315 VON	1 ea	PANIC HARDWARE	99-EO-WH	315 VON
1 ea	ELECT. EXIT DEVICE TRIM	AD-400-993R-70-MT-TLR-P 4B	643e SCE	1 ea	ELECT. EXIT DEVICE TRIM	AD-400-993R-70-MT-TLR-P 4B	643e SCE
1 ea	GATE PLATE	BY GATE MANUF.- TO SECURE PANIC DEVICES TO GATES	BLK	1 ea	GATE PLATE	BY GATE MANUF.- TO SECURE PANIC DEVICES TO GATES	BLK
1 ea	GATE CENTER POST	DROP DOWN STEEL TUBE - ATTACH STRIKE BOXES FOR PANIC LATCHING	BLK	1 ea	GATE CENTER POST	BY GATE MANUF.- ATTACH STRIKE BOXES FOR PANIC LATCHING	BLK
1		BALANCE OF HARDWARE BY GATE MANUF.		1		BALANCE OF HARDWARE BY GATE MANUF.	
GATE NORMALLY CLOSED AND LOCKED. VALID KEY REQUIRED TO ENTER, LOCK, TO UNLOCK AND PERMIT ENTRANCE. FREE EGRESS AT ALL TIMES. COORDINATE WITH ELECTRICAL AND SECURITY.				GATE NORMALLY CLOSED AND LOCKED. VALID KEY REQUIRED TO LOCK, UNLOCK AND PERMIT ENTRANCE. FREE EGRESS AT ALL TIMES. COORDINATE WITH ELECTRICAL AND SECURITY.			

HARDWARE GROUP NO. HW-03			
FOR USE ON SECURITY GATES: 004, 005; ALL TO HAVE:			
QT.	DESCRIPTION	CATALOG NUMBER	FINISH MFG.
3 ea	HINGE	5BB1 4.5 X 4.5 NRP	BBLK IVE
1 ea	PANIC HARDWARE	99-EO-WH	315 VON
1 ea	ELECT. EXIT DEVICE TRIM	AD-400-993R-70-MT-TLR-P 4B	643e SCE
1 ea	GATE PLATE	BY GATE MANUF.- TO SECURE PANIC DEVICES TO GATES	BLK
1 ea	GATE CENTER POST	STEEL TUBE - ATTACH STRIKE BOXES FOR PANIC LATCHING	BLK
1		BALANCE OF HARDWARE BY GATE MANUF.	
GATE NORMALLY CLOSED AND LOCKED. VALID KEY REQUIRED TO LOCK, UNLOCK AND PERMIT ENTRANCE. FREE EGRESS AT ALL TIMES. COORDINATE WITH ELECTRICAL AND SECURITY.			

GENERAL NOTES

- REMOVE, REROUTE AND REINSTALL EXISTING AND NEW ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT, ELECTRICAL CONDUIT AND RACEWAYS, PLUMBING AND WATER SUPPLY PIPING AND EQUIPMENTS AS REQUIRED TO MAINTAIN THE NEW ADA COMPLIANT ACCESSIBLE ROUTES IN ALL RENOVATED AREAS. MAINTAIN ALL EXISTING SYSTEMS IMPACTED BY THESE RENOVATIONS IN OPERABLE AND CODE COMPLIANT CONDITION.
- EXISTING SITE GRADES AND ELEVATIONS ARE BASED ON AVAILABLE SITE SURVEY AND SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS. PRIOR TO CONSTRUCTION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MIGHT IMPACT THIS DESIGN INTENT.
- ALL AREAS WHERE EXISTING GRADE OR GRASS IS DISTURBED, RE-GRADE TO A SMOOTH SLOPE. PROVIDE 4" TOP SOIL AND SLOPE STABILIZATION. HAND PREP AND PROVIDE SOD WITH A MIX OF COLD AND WARM WEATHER GRASSES. PRIOR TO INSTALL OF SOD, BROADCAST 1 LB. PER 100 SQUARE FEET 6-20-20 ROOT STARTER FERTILIZER. NO STRAW.

DOOR SCHEDULE

DOOR NO.	LOCATION	DOOR TYPE	WIDTH x HEIGHT	THK.	MAT'L.	FRAME	FRAME TYPE	DETAILS			REMARKS	
								HEAD	JAMB	SILL		
001	PLAZA BRIDGE	A	4'-0" x 7'-10"	3"	ALUM. W/ PICKETS	4"x4" STEEL	1	4/A303	-	2/A202	HW-1	EGRESS GATE WITH CARD ACCESS READER
002	PLAZA BRIDGE	B	5'-0" x 7'-10"	3"	ALUM. W/ PICKETS	4"x4" STEEL	1	9/A303	-	2/A302	HW-2	EGRESS GATE WITH DROP DOWN CENTER POST (NO CARD ACCESS READER)
003	PLAZA BRIDGE	B	5'-0" x 7'-10"	3"	ALUM. W/ PICKETS	4"x4" STEEL	1	9/A303	-	2/A302	HW-2	EGRESS GATE WITH DROP DOWN CENTER POST (NO CARD ACCESS READER)
004	PLAZA BRIDGE	A	4'-0" x 7'-10"	3"	ALUM. W/ PICKETS	4"x4" STEEL	1	4/A303	-	2/A202	HW-3	EGRESS GATE WITH (NO CARD ACCESS READER)
005	PLAZA BRIDGE	A	4'-0" x 7'-10"	3"	ALUM. W/ PICKETS	4"x4" STEEL	1	4/A303	-	2/A202	HW-3	EGRESS GATE WITH (NO CARD ACCESS READER)
006	GYM CANOPY	A	4'-0" x 7'-10"	3"	ALUM. W/ PICKETS	3"x3" ALUM.	2	4/A301 5/A301	-	1/A302	HW-4	EGRESS GATE WITH CARD ACCESS READER
007	GYM CANOPY	A	4'-0" x 7'-10"	3"	ALUM. W/ PICKETS	3"x3" ALUM.	2	4/A301 5/A301	-	1/A302	HW-5	EGRESS GATE WITH (NO CARD ACCESS READER)
008	GYM CANOPY	A	4'-0" x 7'-10"	3"	ALUM. W/ PICKETS	3"x3" ALUM.	2	4/A301 5/A301	-	1/A302	HW-4	EGRESS GATE WITH CARD ACCESS READER

NOTES:

- INDUSTRIAL ALUMINUM SECURITY FENCE AND ADA COMPLIANT GATES AT EXISTING OPENINGS. REFER TO SECTIONS AND DETAILS. BASIS OF DESIGN: ULTRA ALUMINUM MANUFACTURING INC., 2124 GRAND COMMERCE DR., HOWELL, MI. SOUTHEAST RSM, PHONE: 706.988.9623.
- CARD ACCESS READERS BY OTHERS. REROUTE POWER USING SAME CIRCUIT ONLY AS REQUIRED. FIELD VERIFY CAPACITY AND LOCATION OF EXISTING POWER SERVICE PANELS PRIOR TO CONSTRUCTION.
- REROUTE POWER USING SAME CIRCUIT ONLY AS REQUIRED FOR ALL ELECTRIC HARDWARE DEVICES. FIELD VERIFY CAPACITY AND LOCATION OF EXISTING POWER SERVICE PANELS PRIOR TO CONSTRUCTION.

CHAIN LINK FENCE SPECIFICATION: (FOR ALTERNATE -A1 ONLY)

- KNUCKLED ON ALL SELVAGES OF MESH FABRIC.
- 2" 9 GA MESH FABRIC W/ BLACK COATING. INSTALLED BETWEEN TOP AND BOTTOM RAILS OF CONTINUOUS FRAMES MOUNTED TO BACK FACE OF NEW CANOPY COLUMNS ON NEW CMU CAPPED LOW WALL. MESH FABRIC TO BE INSTALLED TO THE OUTSIDE OF FRAME.
- CONTINUOUS FRAME RAILS AND POSTS TO BE 2.375" OD SCHEDULE 40 GALV STEEL (BLACK) CONFORMING TO ASTM F1083 W/ NO LESS THAN 1.8 OZ OF ZINC PER FT. 10'-0" SPACING MAX. ALIGN POST SPACING WITH CENTERLINE OF NEW CANOPY COLUMNS AND PROVIDE (1) POST CENTERED BETWEEN EACH COLUMN. REFER TO 3/A302 AND 4/A302 FOR CENTER POST ATTACHMENT DETAIL.
- TOP AND BOTTOM RAILS SHALL RUN CONTINUOUSLY OVER POSTS AND BE FIT WITH EXPANSION COUPLINGS SPACED AS RECOMMENDED BY MFG. ALLOW EXPANSION AS RECOMMENDED BY MFG. AT ALL POST TO CANOPY COLUMN ATTACHMENT LOCATIONS.
- ALL HOG WIRE, NUTS, BOLTS FASTENERS, BANDS, CLAMPS AND ACCESSORIES SHALL BE HOT DIPPED GALVANIZED AND INTENDED FOR THE CHAIN LINK FENCING SYSTEM BY THE FENCE SYSTEM MFG.
- PEEN ENDS OF BOLTS OR SCORE THREADS FOR ADDED SECURITY AT GATES.

INDUSTRIAL ALUMINUM SECURITY FENCE AND ADA COMPLIANT GATES:

BASIS OF DESIGN: ULTRA ALUMINUM MANUFACTURING INC., 2124 GRAND COMMERCE DR., HOWELL, MI. SOUTHEAST RSM, PHONE: 706.988.9623

FINISH: AAMA 2604-5 PREMIUM POWDER. MAIN BODY OF GATES AND FENCE SECTIONS - MATT BLACK.

MATERIALS:

- EXTRUDED ALUMINUM WITH MINIMUM ULTIMATE STRENGTH OF 35,000 PSI.
- ALL FASTENERS TO BE CORROSION RESISTANT S.S. - PAINT ALL EXPOSED SURFACES TO MATCH GATE AND FENCE FINISH.
- EXPANDED ALUMINUM FLATTENED MESH TO BE WELDED TO INSIDE FACE OF GATES AND FENCE SECTIONS PRIOR TO APPLYING FINAL POWDER COATED FINISH TO ALL EXPOSED SURFACES. REFER TO ELEVATIONS FOR LOCATIONS. REVIEW MESH TYPE WITH ARCHITECT PRIOR TO ANY MATERIAL PURCHASE.
- PANIC HARDWARE PROTECTOR PANEL - 24" HIGH, 16 GA. STEEL, GALV. AND POWDER COATED - FINISH ALL EXPOSED SURFACES - MATT BLACK. BASIS OF DESIGN: DAC INDUSTRIES INC., 600 ELEVENTH STREET N.W., GRAND RAPIDS, MI. PHONE: 800.888.9788

WARRANTY: LIFE WARRANTY AGAINST DEFECTS IN WORKMANSHIP AND/OR MATERIALS. POWDER COAT FINISH GUARANTEED FOR LIFE AGAINST CRACKING, PEELING AND CHIPPING.

SECURITY GATE ELEVATIONS KEY NOTES:

- 4" x 4" x 1/4" HDG STEEL TUBE SECURITY GATE POST.
- NEW 4" x 4" x 1/4" HDG STEEL TUBE SECURITY GATE DROP DOWN POST BETWEEN 5'-0" GATES ONLY. MODIFY TOP AND BOTTOM OF POST AND PROVIDE BASE PLATE WITH 1/2" DIA. TAMPER PROOF HDG STEEL PIVOT PIN FASTENER AS INDICATED. REFER TO SECTIONS AND DETAILS SHEET A303.
- 1/8" MIN. ALUMINUM PANEL WITH FINISHED SURFACES BOTH SIDES AND ALL FINISHED EDGES AS REQUIRED FOR OWNER SUPPLIED ART WORK PROCESS. REVIEW WITH ARCHITECT PRIOR TO ORDERING ANY MATERIAL.
- LINE OF 3" x 3" x 1/4" HDG STEEL ANGLE FRAME AT OPPOSITE FACE OF GATE ONLY. REFER TO GATE ELEVATIONS SHEET A202.
- PANIC HARDWARE PROTECTOR PANEL - 24" HIGH, 16 GA. STEEL, GALV. AND POWDER COATED - FINISH ALL EXPOSED SURFACES - MATT BLACK. BASIS OF DESIGN: DAC INDUSTRIES INC., 600 ELEVENTH STREET N.W., GRAND RAPIDS, MI. PHONE: 800.888.9788
- HATCH INDICATES EXPANDED ALUMINUM FLATTENED MESH TO BE WELDED TO INSIDE FACE OF GATES AND FENCE SECTIONS PRIOR TO APPLYING FINAL POWDER COATED FINISH TO ALL EXPOSED SURFACES. REVIEW MESH TYPE WITH ARCHITECT PRIOR TO ANY MATERIAL PURCHASE.
- NEW INDUSTRIAL ALUMINUM SECURITY FENCE AND ADA COMPLIANT GATES AT EXISTING OPENINGS. REFER TO SECTIONS AND DETAILS. BASIS OF DESIGN: ULTRA ALUMINUM MANUFACTURING INC., 2124 GRAND COMMERCE DR., HOWELL, MI. SOUTHEAST RSM, PHONE: 706.988.9623
- NEW 4" x 1'-2" x 3/8" STEEL PLATE. CONTINUOUS WELD TO 4" x 8" x 1/4" STEEL TUBE BEAM PRIOR TO GALVANIZING, BOTH ENDS.
- NEW 4" x 8" x 1/4" HDG STEEL TUBE BEAM. DRILL MIN. (2) DRAIN HOLES IN BOTTOM FACE PRIOR TO GALVANIZING.

