



CANDLER ELEMENTARY SCHOOL - PHASE 2

PARTIAL ROOF REPLACEMENT PROJECT

BUNCOMBE COUNTY SCHOOLS
 121 Candler School Road
 Candler, NC 28715

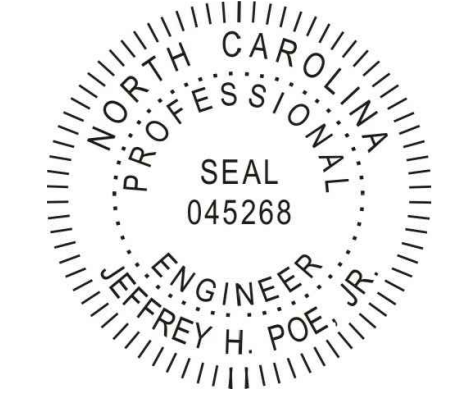
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Terracon
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 2701 Westport Road
 Charlotte, North Carolina
 p: 704.594.1777
 Project No. FH196268
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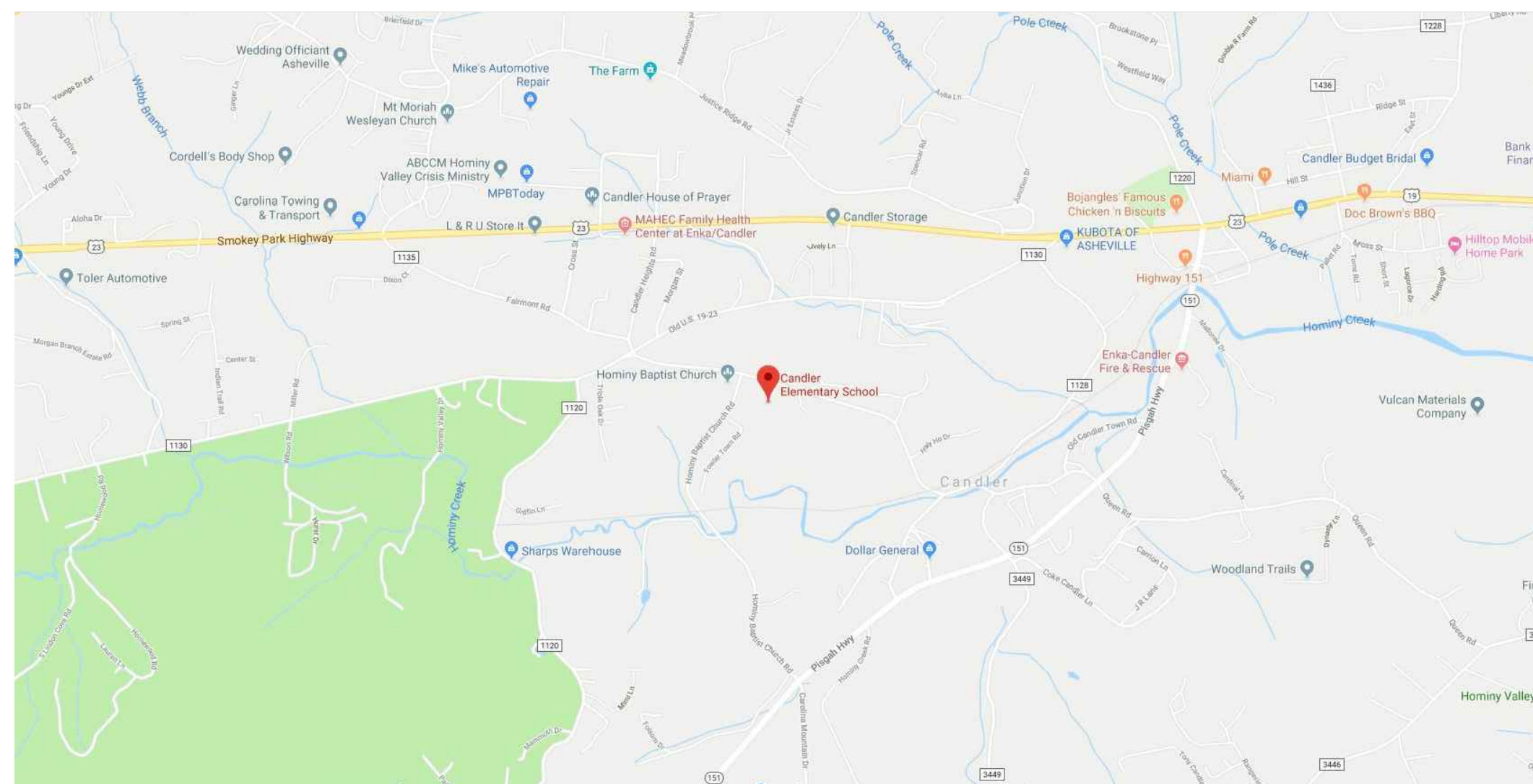


PROJECT NAME AND ADDRESS:

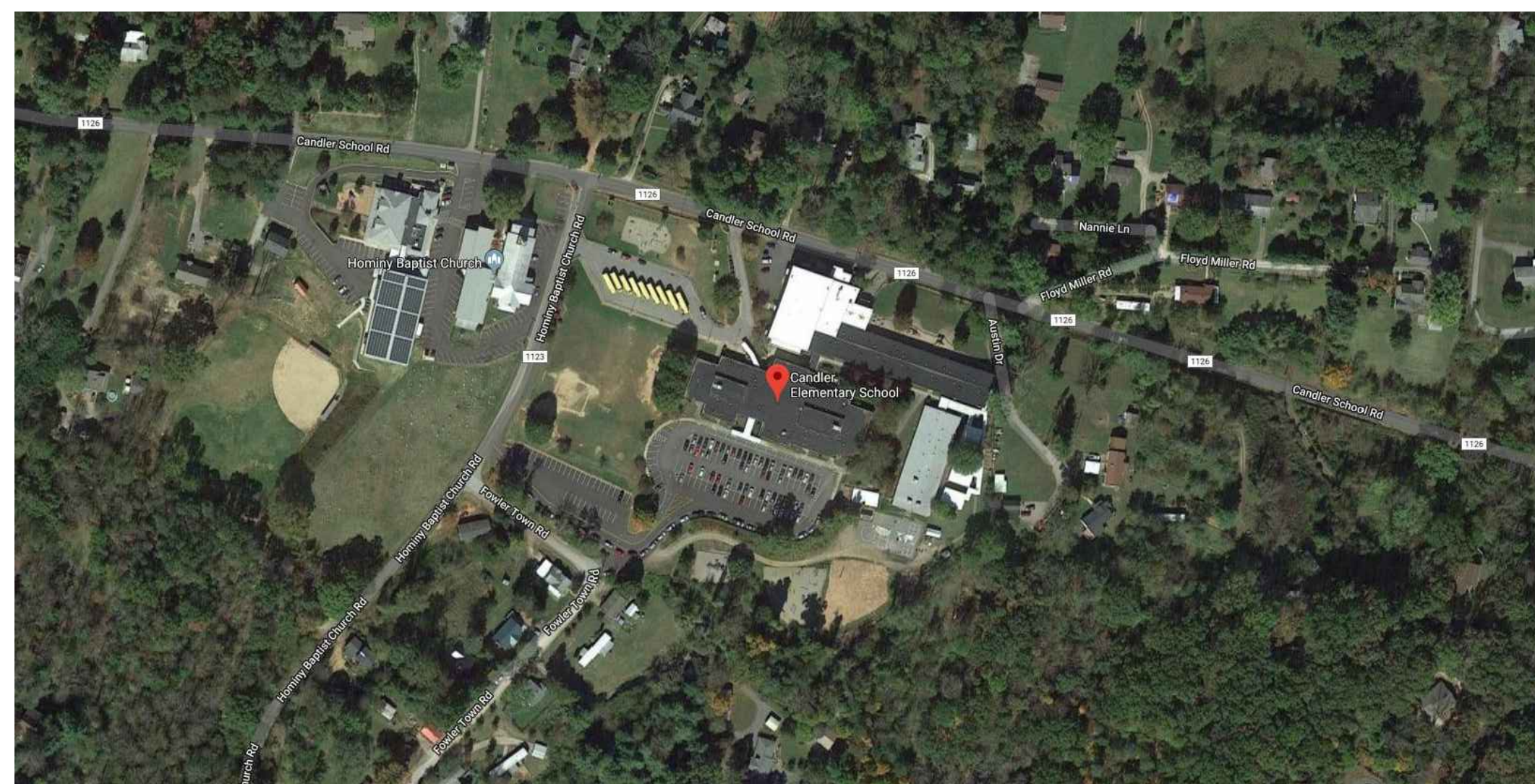
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 CANDLER ELEMENTARY SCHOOL - PHASE 2
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121 Candler School Road
 Candler, NC 28715

Project Location



VICINITY MAP



LOCATION MAP

Abbreviations

- MAX. MAXIMUM
- MIN. MINIMUM
- N.I.C. NOT IN CONTRACT
- O.C. ON CENTER
- TYP. TYPICAL
- SIM. SIMILAR

Details / Elevations / Sections Identifier

- ELEVATION/DETAIL/SECTION LABEL
- SHEET SHOWN ON
- SHADING IDENTIFIES EXISTING CONDITIONS AND NOT IN SCOPE OF WORK

CLIENT

BUNCOMBE COUNTY SCHOOLS
 175 Bingham Road
 Asheville, North Carolina 28806

ENGINEERING CONSULTANT

TERRACON CONSULTANTS, INC.
 2701 Westport Road

PROJECT CONTACT:

Jeff H. Poe Jr., PE, MSCE, RRC
 Project Engineer/Facilities
 e: Jeff.Poe@terracon.com
 p: 704.594.8939

ISSUE DATE:

03.12.2020

ISSUE FOR:

DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION

ADDENDUM:

No. DATE DESCRIPTION:

PROJECT TEAM:

DESIGNED BY:

JHP

DRAWN BY:

IMM

APR REVIEWER:

VTN

TERRACON'S PROJECT NUMBER:

FH196268

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

G-101



**APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS**
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: CANDLER ELEMENTARY SCHOOL PARTIAL ROOF REPLACEMENT PROJECT - PHASE 2
Address: 121 CANDLER SCHOOL ROAD, CANDLER, NC 28715
Proposed Use: ELEMENTARY SCHOOL (NO CHANGE)
Owner or Authorized Agent: BUNCOMBE COUNTY SCHOOLS Phone # N/A
Owned By: N/A City/County N/A Private State
Code Enforcement Jurisdiction: City N/A County N/A

LEAD DESIGN PROFESSIONAL: TERRACON CONSULTING, INC.

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #
Architectural	TERRACON CONSULTING, INC.	JEFF H. POE JR.	045268	(704) 594-8939
Civil	N/A	N/A	N/A	(N/A) N/A
Electrical	N/A	N/A	N/A	(N/A) N/A
Fire Alarm	N/A	N/A	N/A	(N/A) N/A
Plumbing	N/A	N/A	N/A	(N/A) N/A
Mechanical	N/A	N/A	N/A	(N/A) N/A
Sprinkler-Standpipe	N/A	N/A	N/A	(N/A) N/A
Structural	N/A	N/A	N/A	(N/A) N/A
Retaining Walls >5' High	N/A	N/A	N/A	(N/A) N/A
Other	N/A	N/A	N/A	(N/A) N/A

YEAR EDITION OF CODE: 2018 NCBC

New Construction Renovation (Existing Bldg) Uprfit Alteration

BUILDING DATA

Construction Type: I-A I-B II-A II-B III-A III-B

Mixed construction: No Yes Types N/A

Sprinklers: No Yes NFPA 13 NFPA 13R NFPA 13D

Standpipes: No Yes Class I II III Wet Dry

Fire District: No Yes

Building Height: 14' Feet 1 Number of Stories Unlimited per N/A

Mezzanine: No Yes

High Rise: No Yes Central Reference Sheet # (if provided) N/A

Gross Building Area:

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
6th Floor	N/A	N/A	N/A
5th Floor	N/A	N/A	N/A
4th Floor	N/A	N/A	N/A
3rd Floor	N/A	N/A	N/A
2nd Floor	N/A	N/A	N/A
Mezzanine	N/A	N/A	N/A
1st Floor	N/A	N/A	N/A
Basement	N/A	N/A	N/A
TOTAL	N/A	N/A	N/A

STRUCTURAL DESIGN

DESIGN LOADS:

Importance Factors: Wind (I_w) N/A
Snow (I_s) N/A
Seismic (I_e) N/A

Live Loads: Roof 20 psf
Mezzanine N/A psf
Floor N/A psf

Snow Load: N/A psf

Wind Load: Basic Wind Speed 120 mph (ASCE-7-10)
Exposure Category B
Wind Base Shears (for MWFRS) $V_x =$ N/A $V_y =$ N/A

Dead Loads: Existing Dead Load: 10.35 lbs
New Dead Load: 5.45 lbs
Difference: 4.9 lbs

SEISMIC DESIGN CATEGORY A
Compliance with Section 1616.4 only? YES NO

SEISMIC DESIGN CATEGORY B, C, & D
Provide the following Seismic Design Parameters:
Seismic Use Group N/A
Spectral Response Acceleration S_{MS} N/A % S_{M1} N/A %
Site Classification N/A
Basic structural system (check one)
 Bearing Wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum
Seismic base shear $V_x =$ N/A $V_y =$ N/A
Analysis Procedure N/A Simplified N/A Equivalent Lateral Force N/A Modal
Architectural, Mechanical, Components anchored? N/A

LATERAL DESIGN CONTROL: Earthquake N/A Wind N/A

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) N/A psf
Presumptive Bearing capacity N/A psf
Pile size, type, and capacity N/A

PLUMBING FIXTURE REQUIREMENTS

OCCUPANCY	WATERCLOSETS		URINALS		LAVATORIES		SHOWERS/TUBS		DRINKING FOUNTAINS	
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

ACCESSIBLE PARKING

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REGULAR WITH 5' ACCESS AISLE	VAN SPACE WITH 8' ACCESS AISLE	
N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A
TOTAL	N/A	N/A	N/A	N/A	N/A

ALLOWABLE AREA

Primary Occupancy: Assembly A-1 A-2 A-3 A-4 A-5
 Business Educational Factory-Industrial F-1 F-2
 High-Hazard H-1 H-2 H-3 H-4 H-5
 Institutional I-1 I-2 I-3 I-4
 Mercantile Residential R-1 R-2 R-3 R-4
 Storage S-1 S-2 High-piled
 Utility and Miscellaneous Parking Garage Open Enclosed Repair

Secondary Occupancy: N/A
Special Occupancy: 508.2 508.3 508.4 508.5 508.6 508.7 508.8
Mixed Occupancy: No Yes Separation: N/A Hr. Exception: N/A

Non-Separated Mixed Occupancy (303.1 Exception)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Mixed Occupancy (303.1/303.2) - See below for area calculations
For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A + Actual Area of Occupancy B ≤ 1
Allowable Area of Occupancy A Allowable Area of Occupancy B
 $\frac{N/A}{N/A} + \frac{N/A}{N/A} = \frac{N/A}{N/A} \leq 1.00$

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 503.3 AREA	(C) AREA FOR OPEN SPACE INCREASE ¹	(D) AREA FOR SPRINKLER INCREASE ²	(E) ALLOWABLE AREA OR UNLIMITED ³	(F) MAXIMUM BUILDING AREA ⁴
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

¹ Open space area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = $\frac{N/A}{N/A}$ (F)
b. Total Building Perimeter = $\frac{N/A}{N/A}$ (P)
c. Ratio (F/P) = $\frac{N/A}{N/A}$ (F/P)
d. W = Minimum width of public way = $\frac{N/A}{N/A}$ (W)
e. Percent of frontage increase $I_e = 100 [F/P - 0.25] \times W/30 = \frac{N/A}{N/A}$ (%)

² The sprinkler increase per Section 506.3 is as follows:
a. Multi-story building $I_s = 200$ percent
b. Single story building $I_s = 300$ percent

³ Unlimited area applicable under conditions of Sections Group B, F, M, S, A-4 (507.1, 507.2, 507.3, 507.5); Group A motion picture (507.8); Malls (402.6); and H-2 aircraft paint hangers (507.6).

⁴ Maximum Building Area = total number of stories in the building x E but not greater than 3 x E.

⁵ The maximum area of parking garages must comply with 406.3.5. The maximum area of air traffic control towers must comply with 412.1.2.

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, SBCCI, ICC, etc., describe below)

A reduced R-value is desired due to low flashing heights at the windows below Roof Area A4 & A5.

ENERGY SUMMARY

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If energy cost budget method, state the annual energy cost budget vs allowable annual energy cost budget.

THERMAL ENVELOPE

Method of Compliance: Prescriptive Performance Energy Cost Budget

Roof/Ceiling Assembly (each assembly)
Description of assembly
U-Value of total assembly .05
R-Value of insulation R-20
Skylights in each assembly N/A
U-Value of skylight
total square footage of skylights in each assembly

Exterior Walls (each assembly)
Description of assembly
U-Value of total assembly
R-Value of insulation
Openings (windows or doors with glazing)
U-Value of assembly
shading coefficient
projection factor
low e required, if applicable
Door R-Values

Walls adjacent to unconditioned space (each assembly)
Description of assembly
U-Value of total assembly
R-Value of insulation
Openings (windows or doors with glazing)
U-Value of assembly
Low e required, if applicable
Door R-Values

Walls below grade (each assembly)
Description of Assembly
U-Value of total assembly
R-Value of insulation

Floors over unconditioned space (each assembly)
Description of assembly
U-Value of total assembly
R-Value of insulation

Floors slab on grade
Description of assembly
U-Value of total assembly
R-Value of insulation
Horizontal/vertical requirement
slab heated

ALLOWABLE HEIGHT

Type of Construction	ALLOWABLE (TABLE 503)		INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
	Type	N/A			
Building height in feet	Feet	N/A	Feet+H+20' = N/A	Type N/A	
Building Height in Stories	Stories	N/A	Stories+1 = N/A	Stories	

FIRE PROTECTION REQUIREMENTS

Life Safety Plan Sheet#, if Provided _____

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING PROVIDED (W/ REDUCTION)	DETAIL AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
Structural frame, including columns, girders, trusses						
Bearing walls	N/A	N/A	N/A	N/A	N/A	N/A
Exterior	N/A	N/A	N/A	N/A	N/A	N/A
North	N/A	N/A	N/A	N/A	N/A	N/A
East	N/A	N/A	N/A	N/A	N/A	N/A
West	N/A	N/A	N/A	N/A	N/A	N/A
South	N/A	N/A	N/A	N/A	N/A	N/A
Interior	N/A	N/A	N/A	N/A	N/A	N/A
Nonbearing walls and partitions						
Exterior						
North	N/A	N/A	N/A	N/A	N/A	N/A
East	N/A	N/A	N/A	N/A	N/A	N/A
West	N/A	N/A	N/A	N/A	N/A	N/A
South	N/A	N/A	N/A	N/A	N/A	N/A
Interior	N/A	N/A	N/A	N/A	N/A	N/A
Floor construction including supporting beams and joist						
Roof construction including supporting beams and joist						
Shells-Exit	N/A	N/A	N/A	N/A	N/A	N/A
Shells-Other	N/A	N/A	N/A	N/A	N/A	N/A
Corridor Separation	N/A	N/A	N/A	N/A	N/A	N/A
Occupancy Separation	N/A	N/A	N/A	N/A	N/A	N/A
Party/Fire Wall Separation	N/A	N/A	N/A	N/A	N/A	N/A
Smoke Barrier Separation	N/A	N/A	N/A	N/A	N/A	N/A
Tenant Separation	N/A	N/A	N/A	N/A	N/A	N/A

* Indicate section number permitting reduction

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Prescriptive Performance Energy Cost Budget

Lighting Schedule
lamp type required in fixture
number of lamps in fixture
ballast type used in the fixture
number of ballasts in fixture
total wattage per fixture
total interior wattage specified vs allowed
total exterior wattage specified vs allowed

Equipment schedules with motors (not used for mechanical systems)
motor horsepower
number of phases
minimum efficiency
motor type
of poles

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Method of Compliance: Prescriptive Energy Cost Budget

Thermal Zone
winter dry bulb
summer dry bulb
interior design conditions
winter dry bulb
summer dry bulb
relative humidity
Building heating load
Building cooling load
Mechanical Spacing Conditioning System
Unitary
description of unit
heating efficiency
cooling efficiency
heat output of unit
cooling output of unit
Boiler
total boiler output. If oversized, state reason.
Chiller
total chiller capacity. If oversized, state reason.
List equipment efficiencies
Equipment schedules with motors (mechanical systems)
motor horsepower
number of phases
minimum efficiency
motor type
of poles

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: NO YES
Exit Signs: NO YES
Fire Alarm: NO YES
Smoke Detection Systems: NO YES
Panic Hardware: NO YES

**EXIT REQUIREMENTS
NUMBER AND ARRANGEMENT OF EXITS**

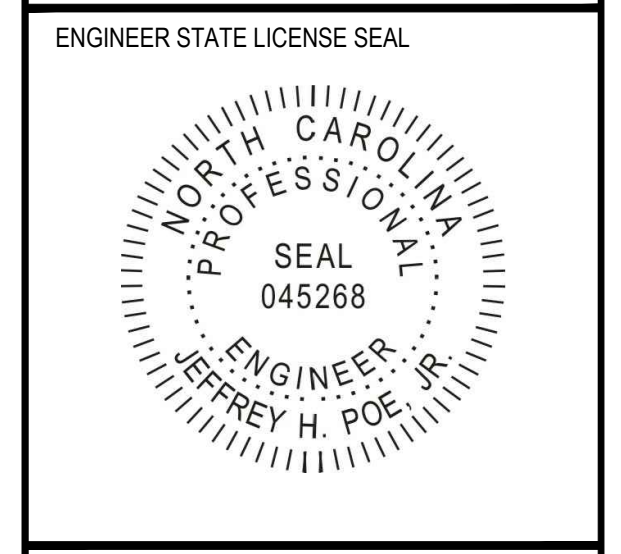
FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM ² NUMBER OF EXITS		TRAVEL DISTANCE		ARRANGEMENT MEANS OF EGRESS ^{1,3} (SECTION 1004.1)	
	REQUIRED	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1004.2.4)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE SHOWN ON PLANS
N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A

Corridor dead ends (Section 1004.3.2.3)
Single exits (Table 1005.2.2)
Common Path of Travel (Section 1004.2.5)

EXIT WIDTH

USE GROUP OR SPACE DESCRIPTION	(A) AREA ¹ SQ. FT.	(B) AREA ¹ PER OCCUPANT (TABLE 1003.2.2.2)	(C) EGRESS WIDTH PER OCCUPANT (TABLE 1003.2.3)		(D) EXIT WIDTH (in) 2,3,4,5,6 (SECTION 1003.2.3) (a+b)xc		ACTUAL WIDTH SHOWN ON PLANS
			STAIR LEVEL	STAIR LEVEL	STAIR LEVEL	STAIR LEVEL	
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

¹ See Table 1003.2.2.2 to determine whether net or gross area is applicable.
² See definition "Area, Gross" and "Area, Net" (Section 1002)
³ Minimum stairway width (Section 1003.3.3); min. corridor width (Section 1004.3.2.2); min. door width (Section 1003.3.1)
⁴ Minimum width of exit passageway (Section 1005.3.3)
⁵ See Section 1003.2.2.7 for converging exits.
⁶ The loss of one means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1003.2.3)
⁶ Assembly occupancies (Section 1008)



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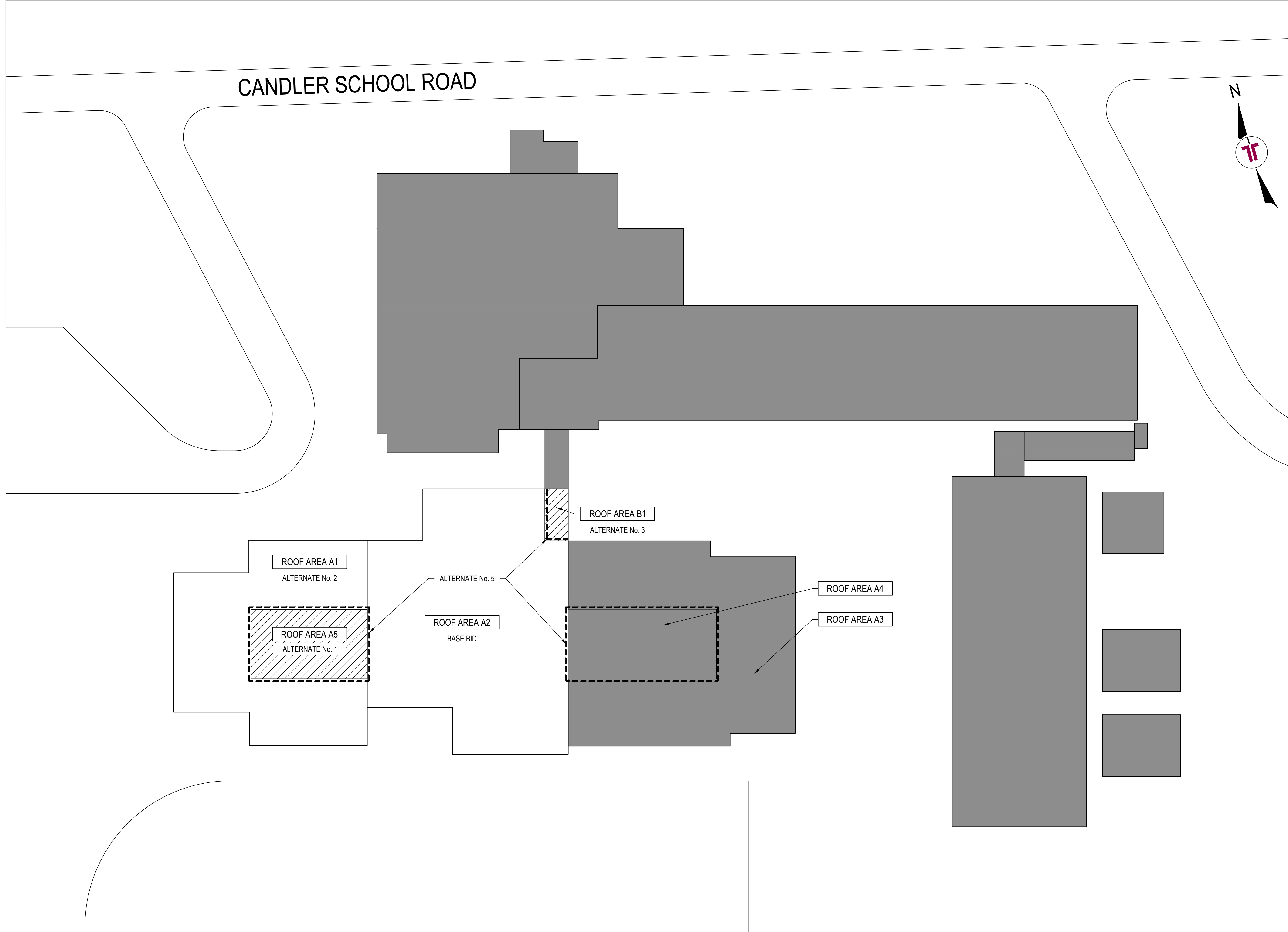
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APPENDIX B

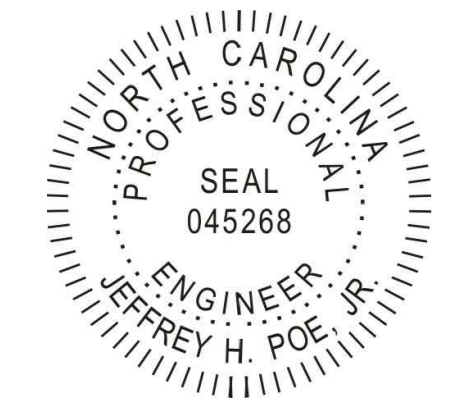
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KEY PLAN



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GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.
- CONTRACTOR IS TO MAINTAIN POSITIVE DRAINAGE.
- TAPERED EDGE STRIP IS NOT SHOWN FOR CLARITY.
- ROOF DECK IS GENERALLY SLOPED AT 1/8" PER FOOT, UNLESS INDICATED OTHERWISE.
- CONTRACTOR SHALL NOTIFY ENGINEER AS SOON AS POSSIBLE IF CONDITIONS ARE FOUND THAT INHIBIT OR ALTER THE PROPER INSTALLATION OF MATERIALS.
- COMPONENTS MARKED ABANDONED SHALL BE REMOVED AND DISCARDED APPROPRIATELY.
- CONDUITS MARKED TO BE ABANDONED SHALL BE CUT FLUSH AT WALL AND SEALED.
- ALTERNATE No. 4 DRAIN LEADER LOCATIONS ARE APPROXIMATE. IT IS UP TO THE CONTRACTOR TO FIND THE MOST EFFICIENT ROUTE TO THE NEAREST DRAIN TIE IN LOCATION.

CODE SUMMARY

NORTH CAROLINA BUILDING CODE (2018 EDITION) AND ASCE 7-10

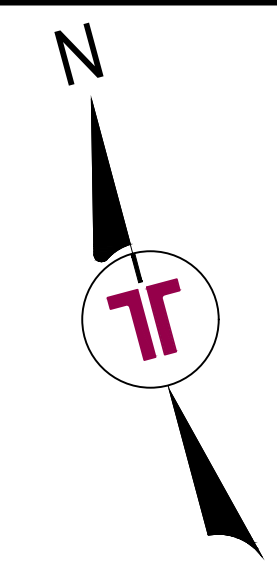
BASIC WIND SPEED = 120 MPH
 BUILDING CATEGORY = III
 EXPOSURE CATEGORY = B
 INTERNAL PRESSURE COEF. = +/- .18

THE NEW ROOF SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE FOLLOWING WIND UPLIFT PRESSURES:

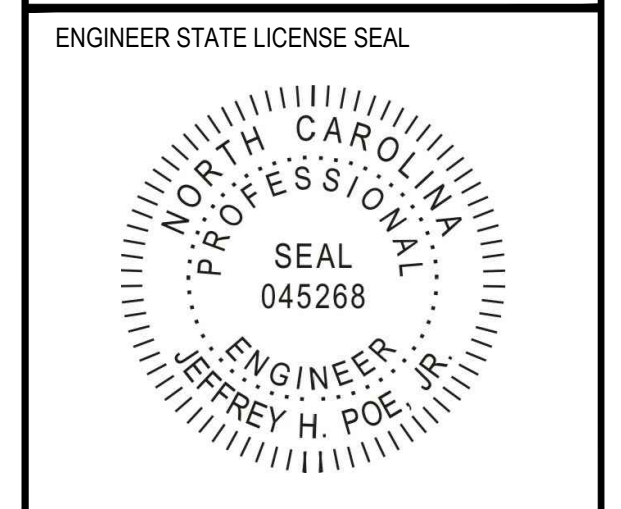
- INTERIOR ZONE = -26 PSF
- EDGE ZONE: 8' = -44 PSF
- CORNER ZONE: 8'x8' = -66 PSF

LEGEND

	NOT IN CONTRACT		EXISTING EQUIPMENT CURB		NEW OVERFLOW SCUPPER		ABANDONED CONDUIT
	ALTERNATE #1		EXISTING SANITARY VENT		EXISTING DOWNSPOUT		METAL CONDUIT PENETRATION
	SLOPE IN STRUCTURE		NEW ROOF DRAIN AND SUMP		NEW WALKPADS		ALTERNATE No. 4: NEW DRAIN
	SLOPE IN INSULATION		EXISTING ROOF HATCH		ABANDONED ANTENNA		ALTERNATE No. 4: NEW DRAIN HEADER
	PARAPET WALL		EXISTING HVAC UNIT		ABANDONED PENETRATION		
	EXPANSION JOINT		EXISTING OVERFLOW SCUPPER		PITCH POCKET		
	NEW CRICKET		NEW CONDUCTOR HEAD & DOWNSPOUT		CONDUIT		



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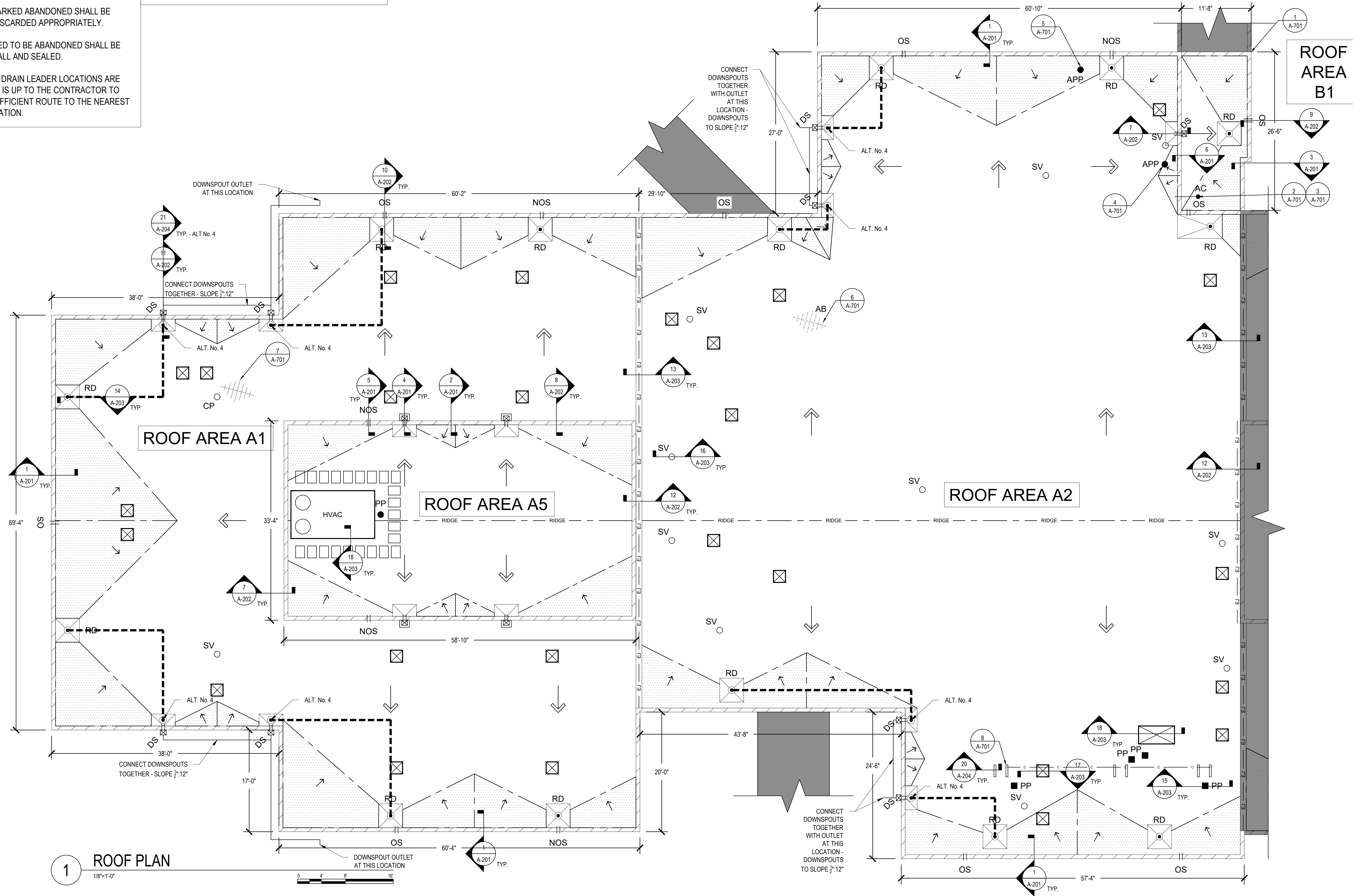
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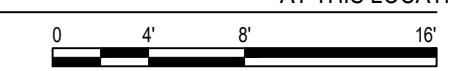
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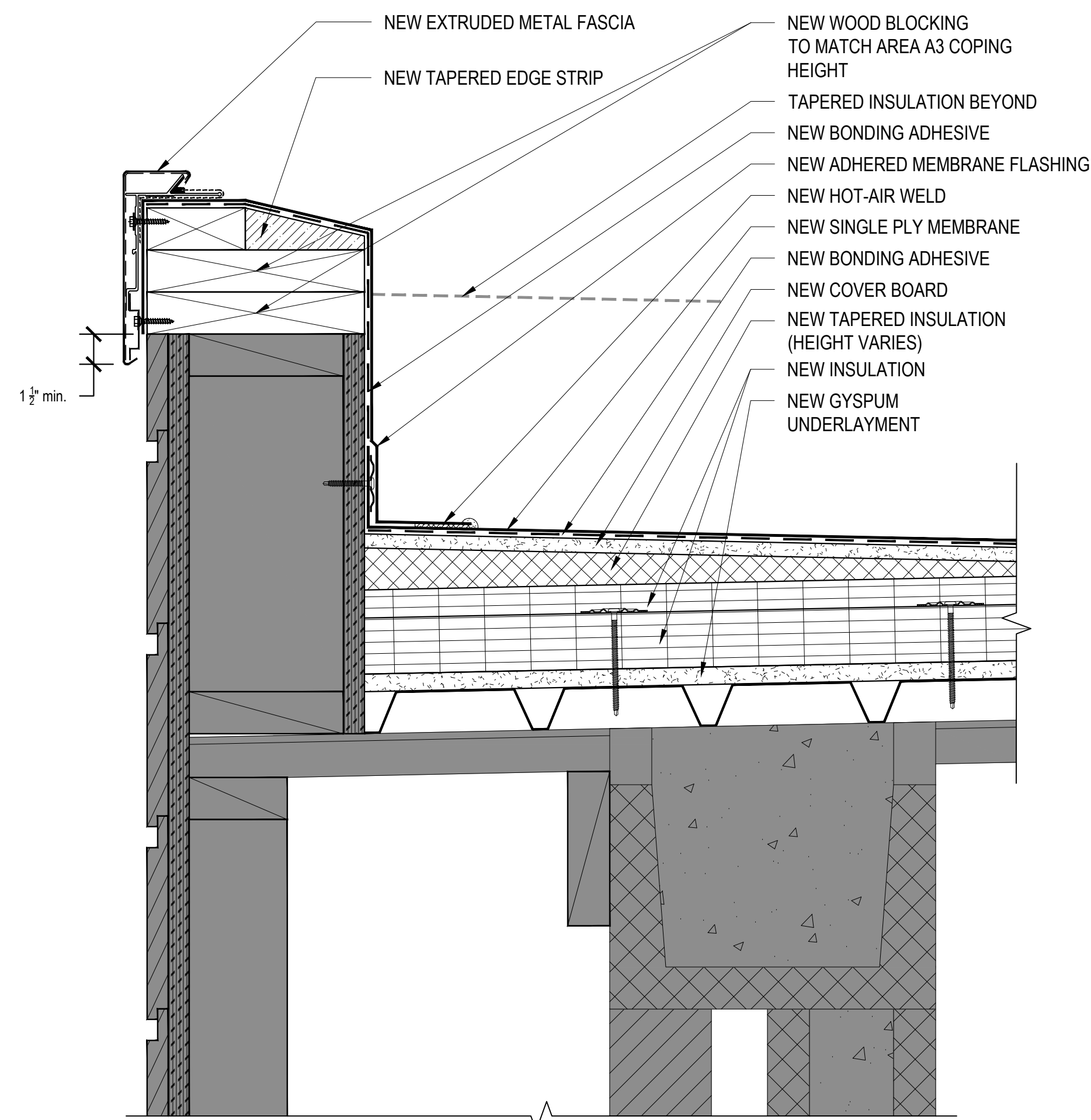
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SHEET NUMBER:
A-101

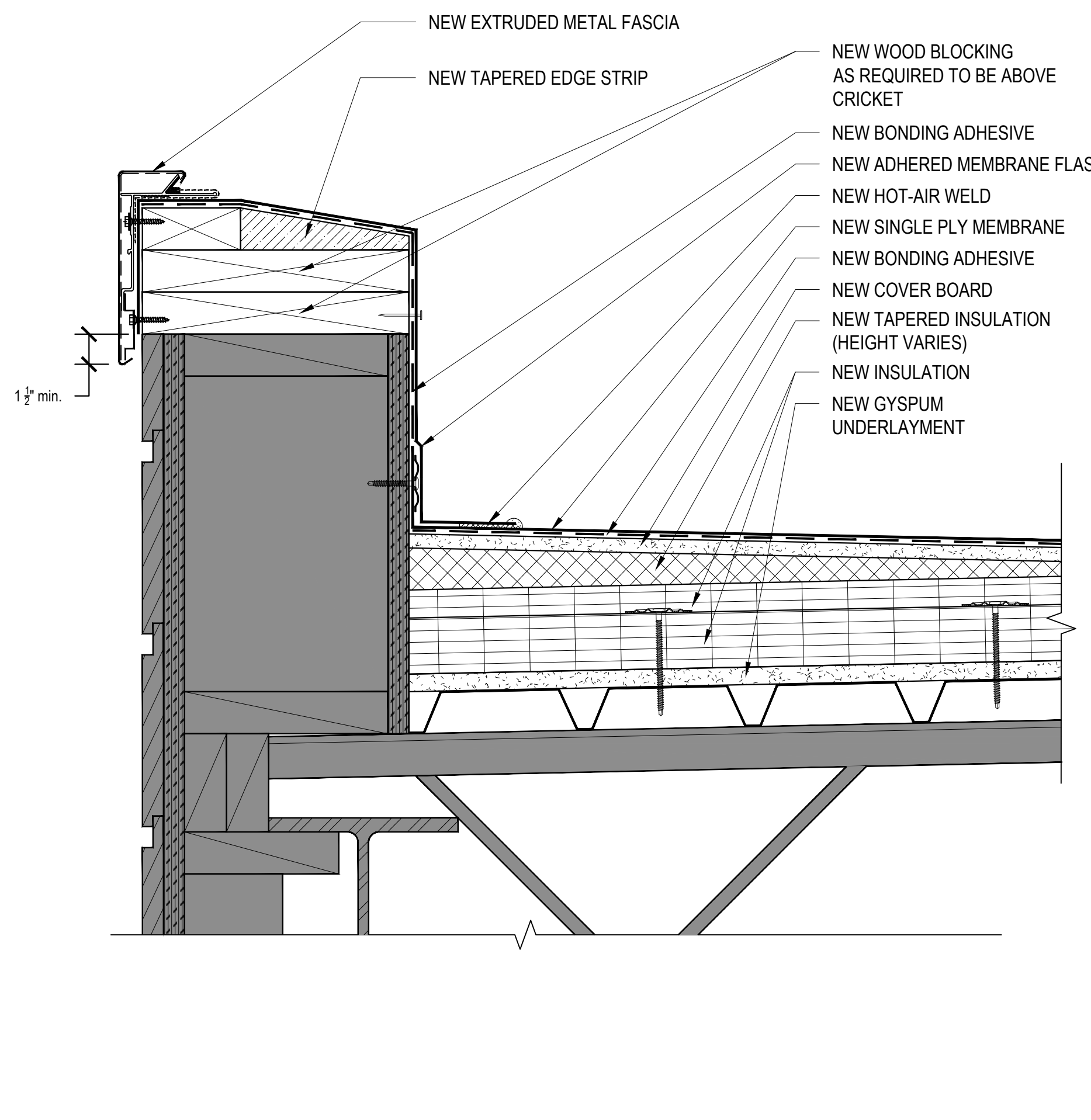


1 ROOF PLAN
 1/8"=1'-0"

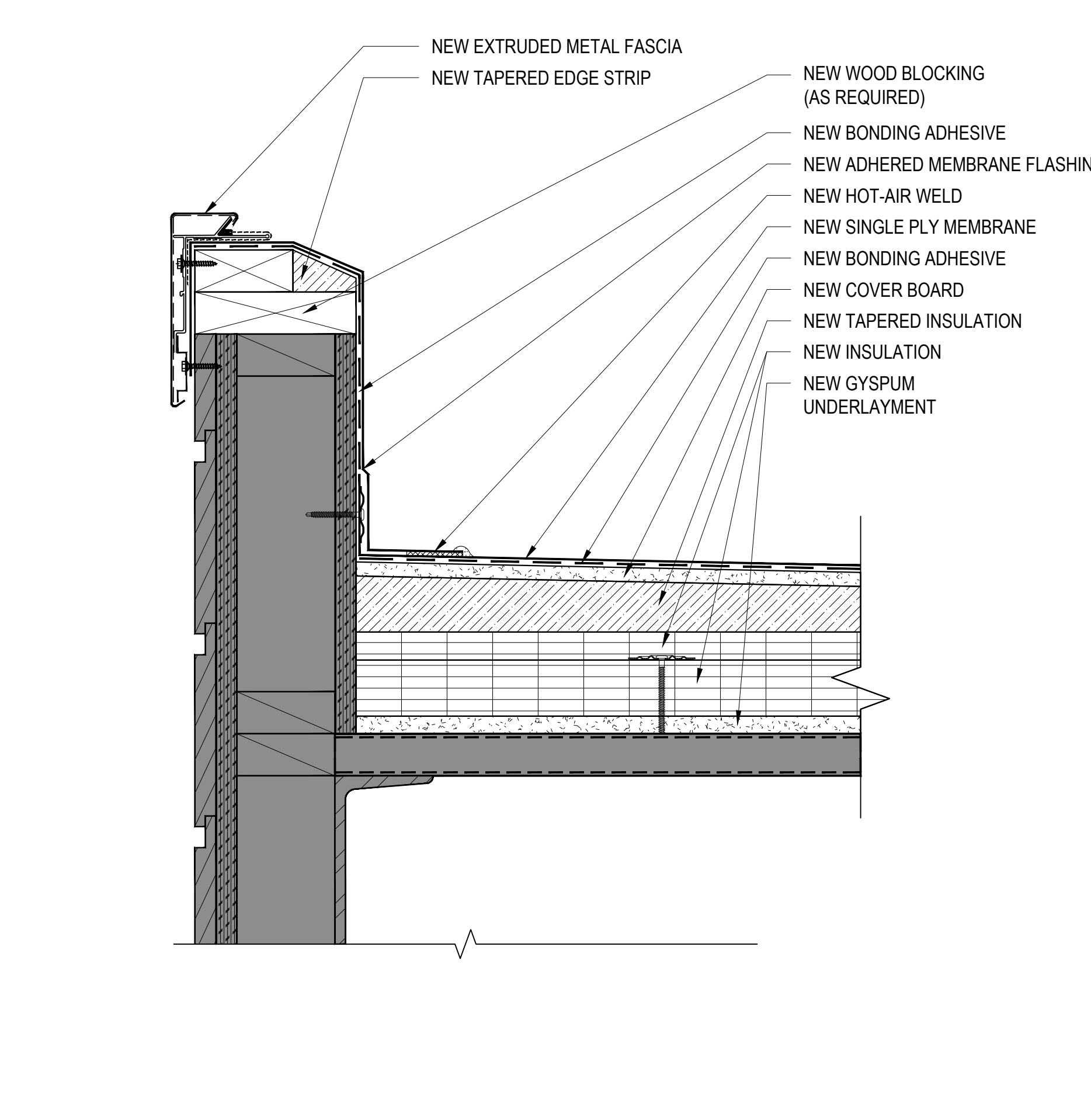




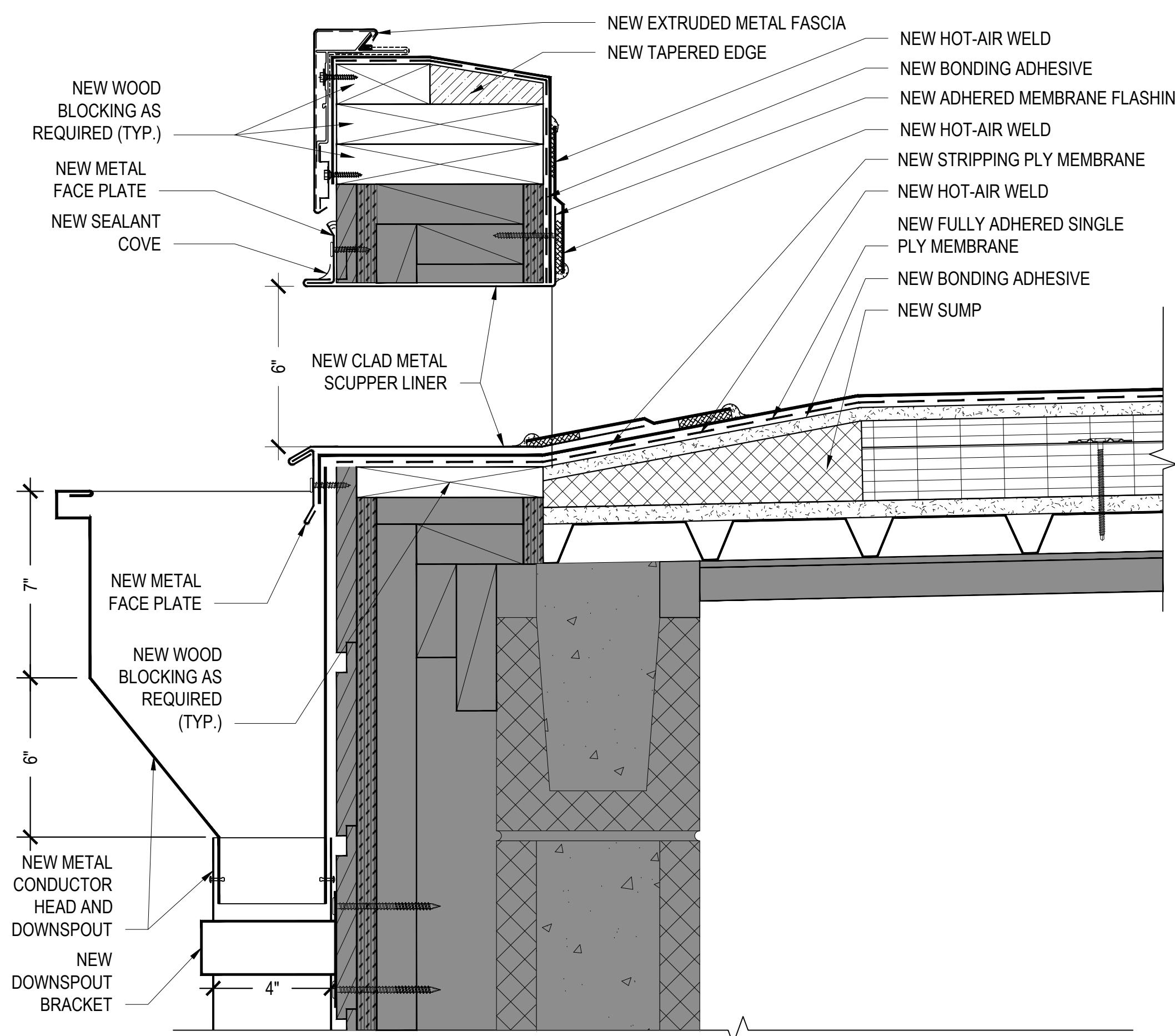
1 TYP. PARAPET WALL DETAIL
3"=1'-0"



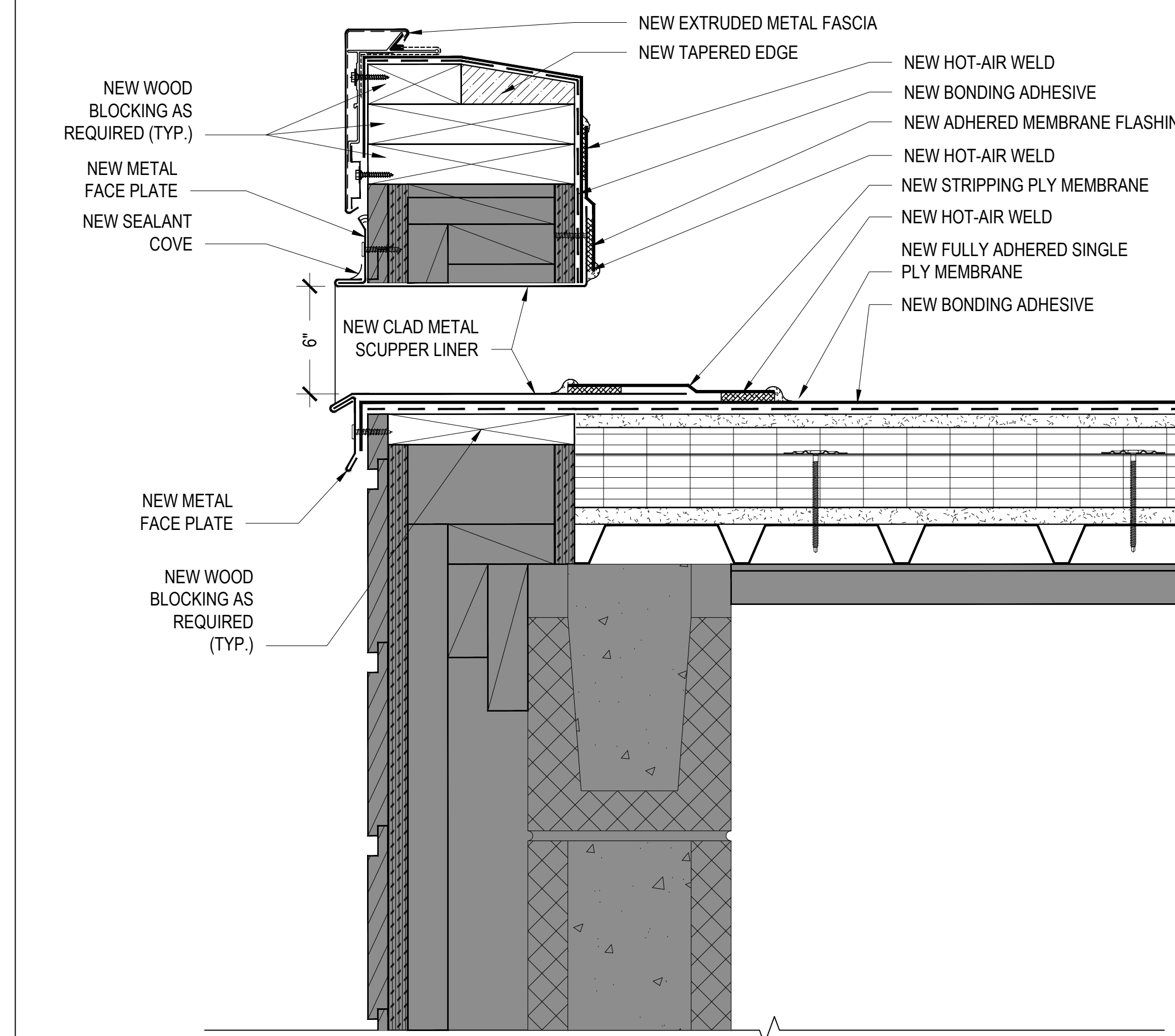
2 UPPER PARAPET WALL DETAIL
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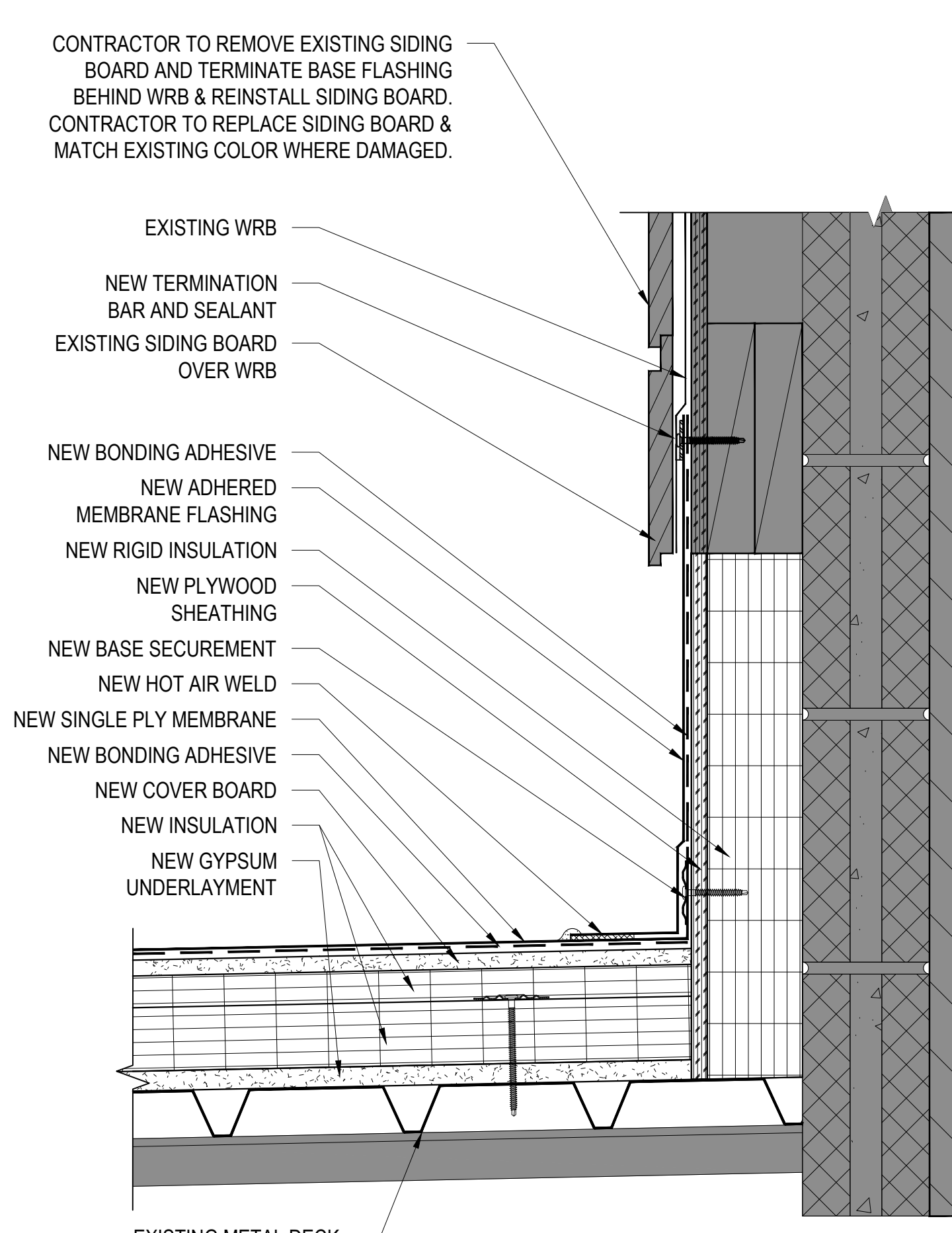
3 AREA B1 PARAPET WALL DETAIL
3"=1'-0"



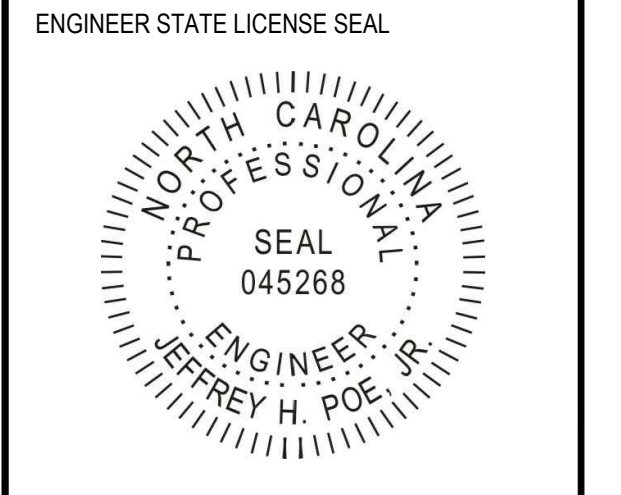
4 UPPER THROUGH WALL SCUPPER DETAIL
3"=1'-0"



5 OVERFLOW SCUPPER DETAIL
3"=1'-0"



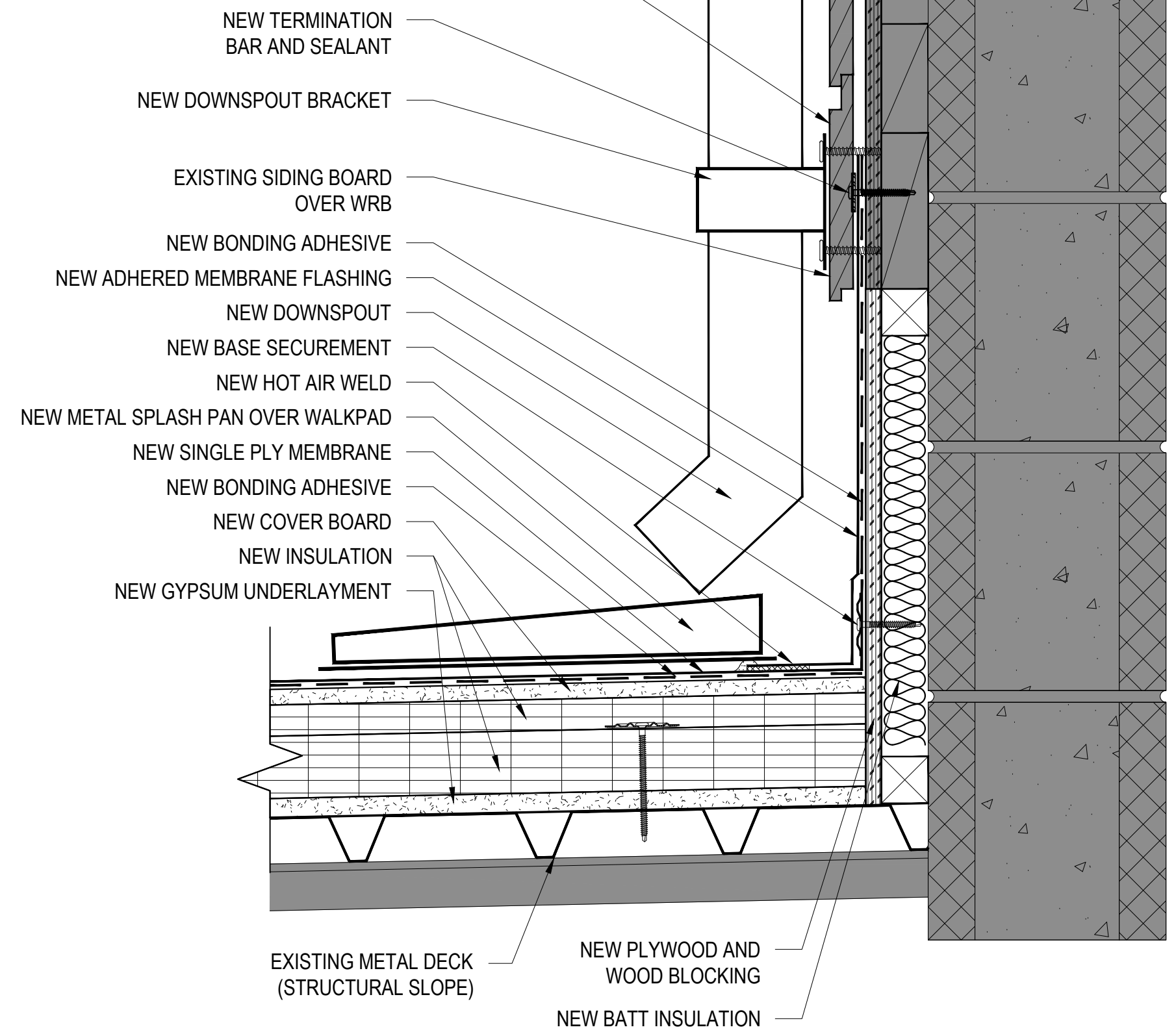
6 AREA B1 BASE FLASHING DETAIL
3"=1'-0"



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CANDLER ELEMENTARY SCHOOL - PHASE 2
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Candler, NC 28715

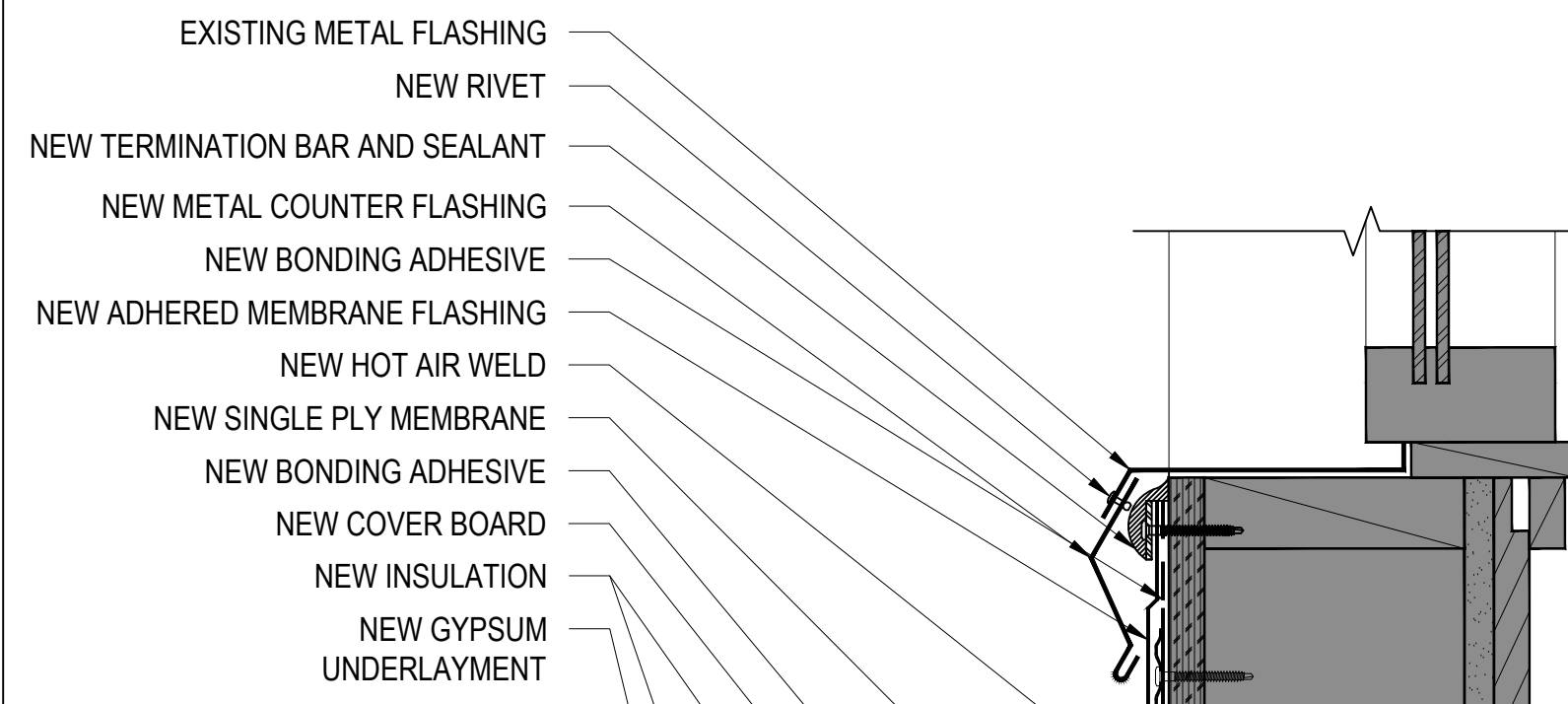
ISSUE DATE:
03.12.2020
ISSUE FOR:
**DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION**
ADDENDUM:
No. DATE DESCRIPTION:
PROJECT TEAM:
DESIGNED BY:
JHP
DRAWN BY:
IMM
APR REVIEWER:
VTN
TERRACON'S PROJECT NUMBER:
FH196268
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DETAILS
SHEET NUMBER:

CONTRACTOR TO REMOVE EXISTING SIDING BOARD AND TERMINATE BASE FLASHING BEHIND WRB & REINSTALL SIDING BOARD. CONTRACTOR TO REPLACE SIDING BOARD & MATCH EXISTING COLOR WHERE DAMAGED.



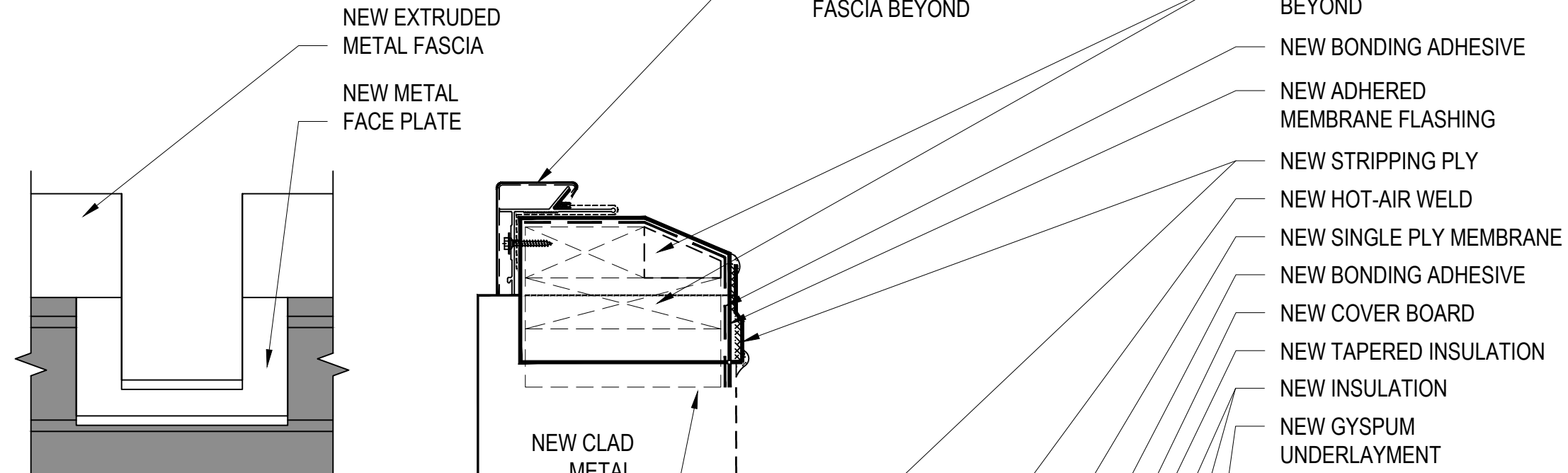
7 BASE FLASHING DETAIL

3"=1'-0"



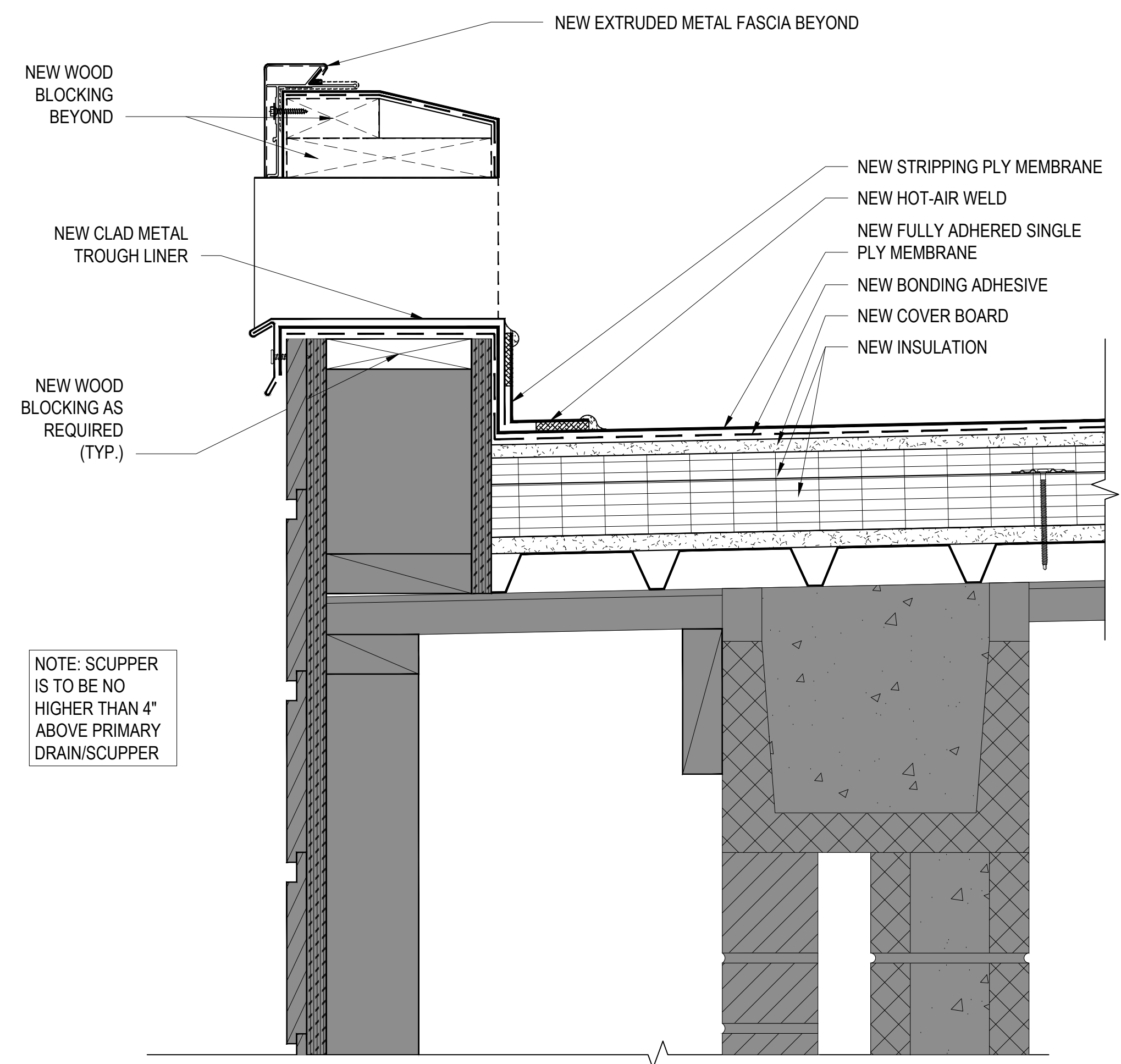
8 BASE FLASHING DETAIL

3"=1'-0"



9 AREA B1 OVERFLOW TROUGH DETAIL

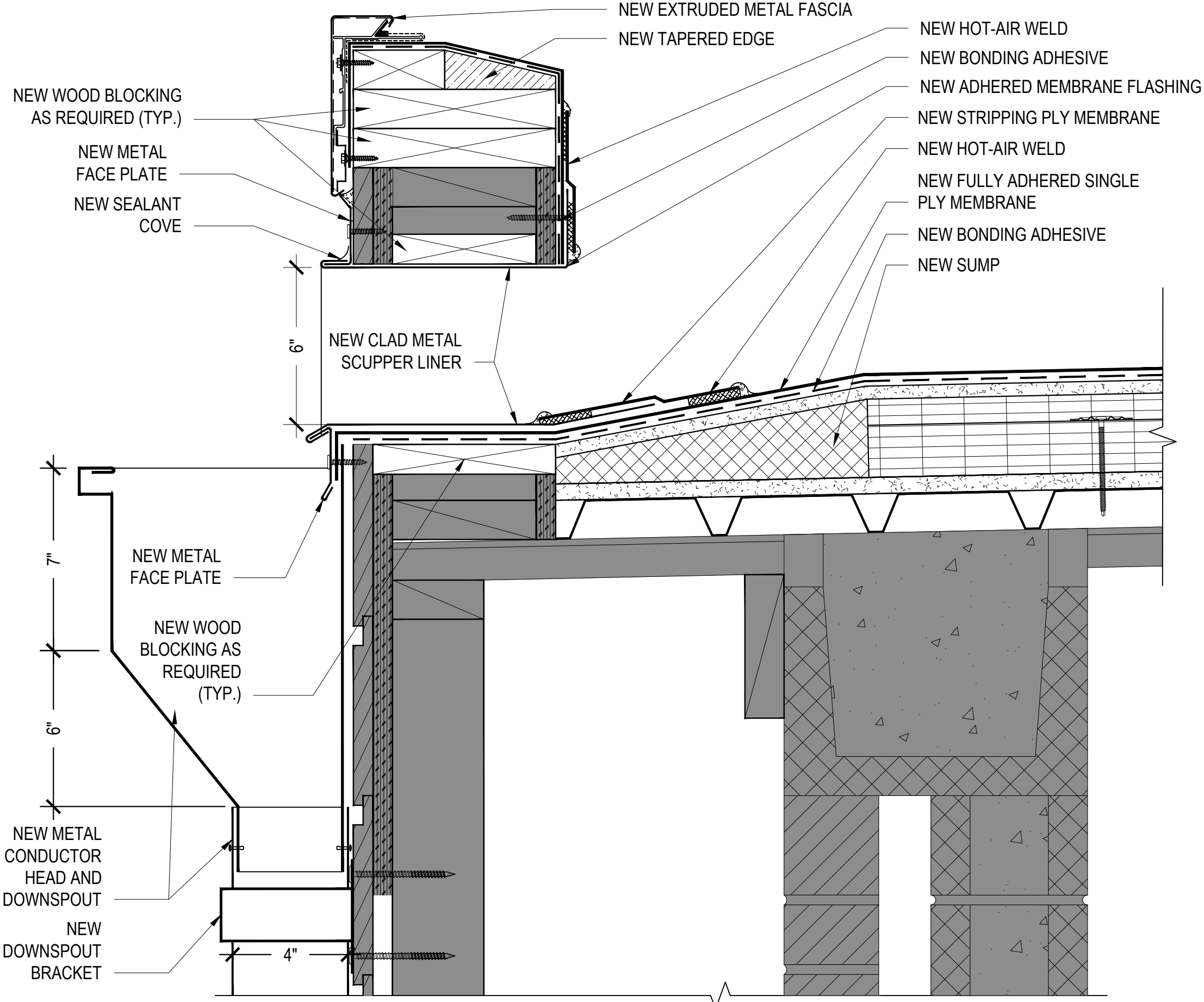
3"=1'-0"



NOTE: SCUPPER IS TO BE NO HIGHER THAN 4" ABOVE PRIMARY DRAIN/SCUPPER

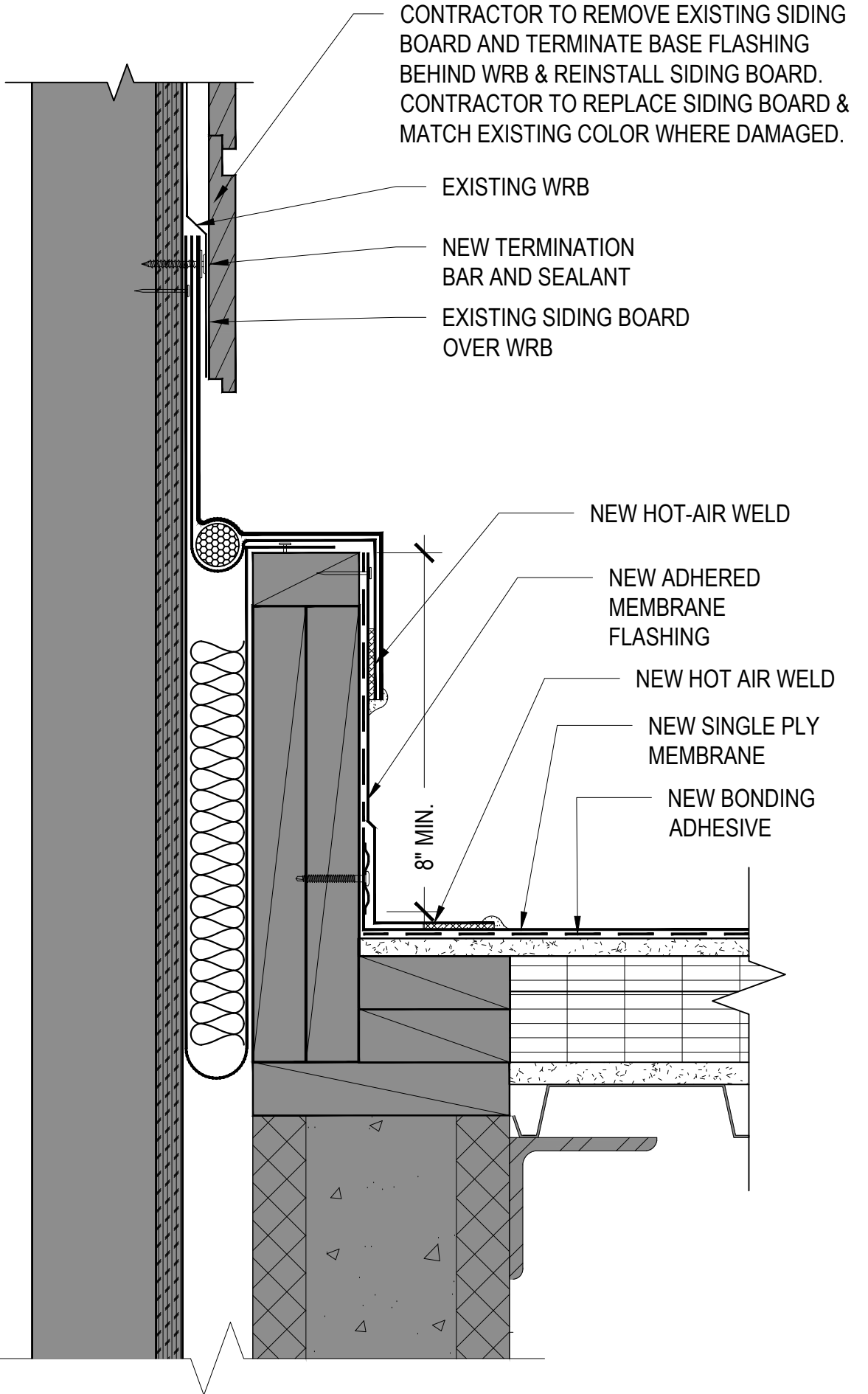
10 THROUGH WALL OVERFLOW SCUPPER DETAIL

3"=1'-0"



11 THROUGH WALL SCUPPER DETAIL

3"=1'-0"

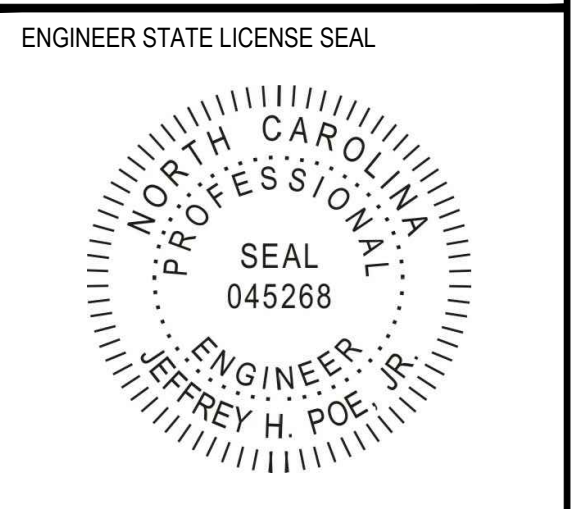


12 EXPANSION JOINT DETAIL

3"=1'-0"



Terracon
Consulting Engineers and Scientists
2701 Westport Road
Charlotte, North Carolina
p. 704.509.1777
Project No. FH196268
Terracon NC License No.: F-0869
terracon.com



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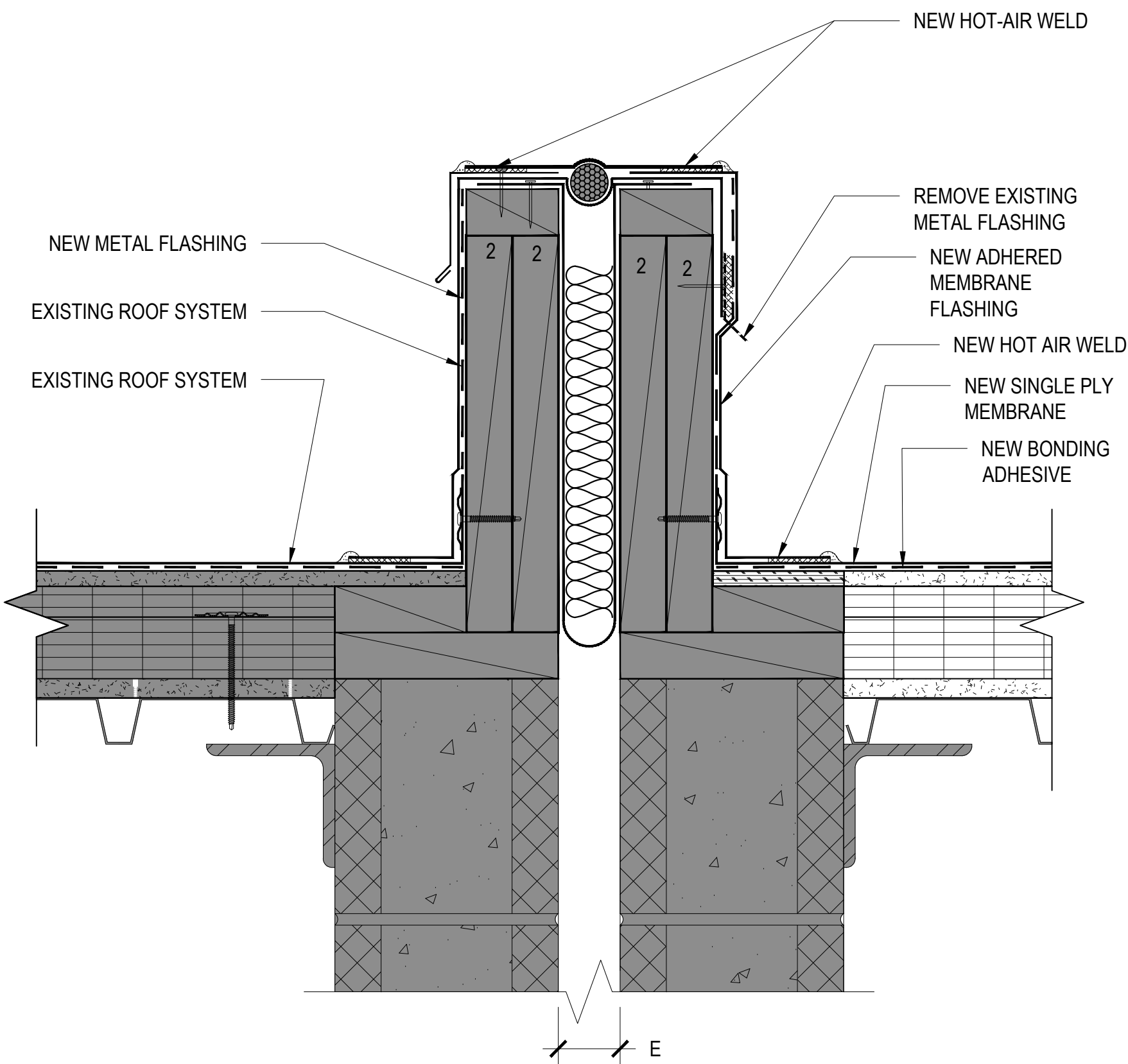
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No. DATE DESCRIPTION:
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JHP
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IMM
APR REVIEWER:
VTN

TERRACON'S PROJECT NUMBER:
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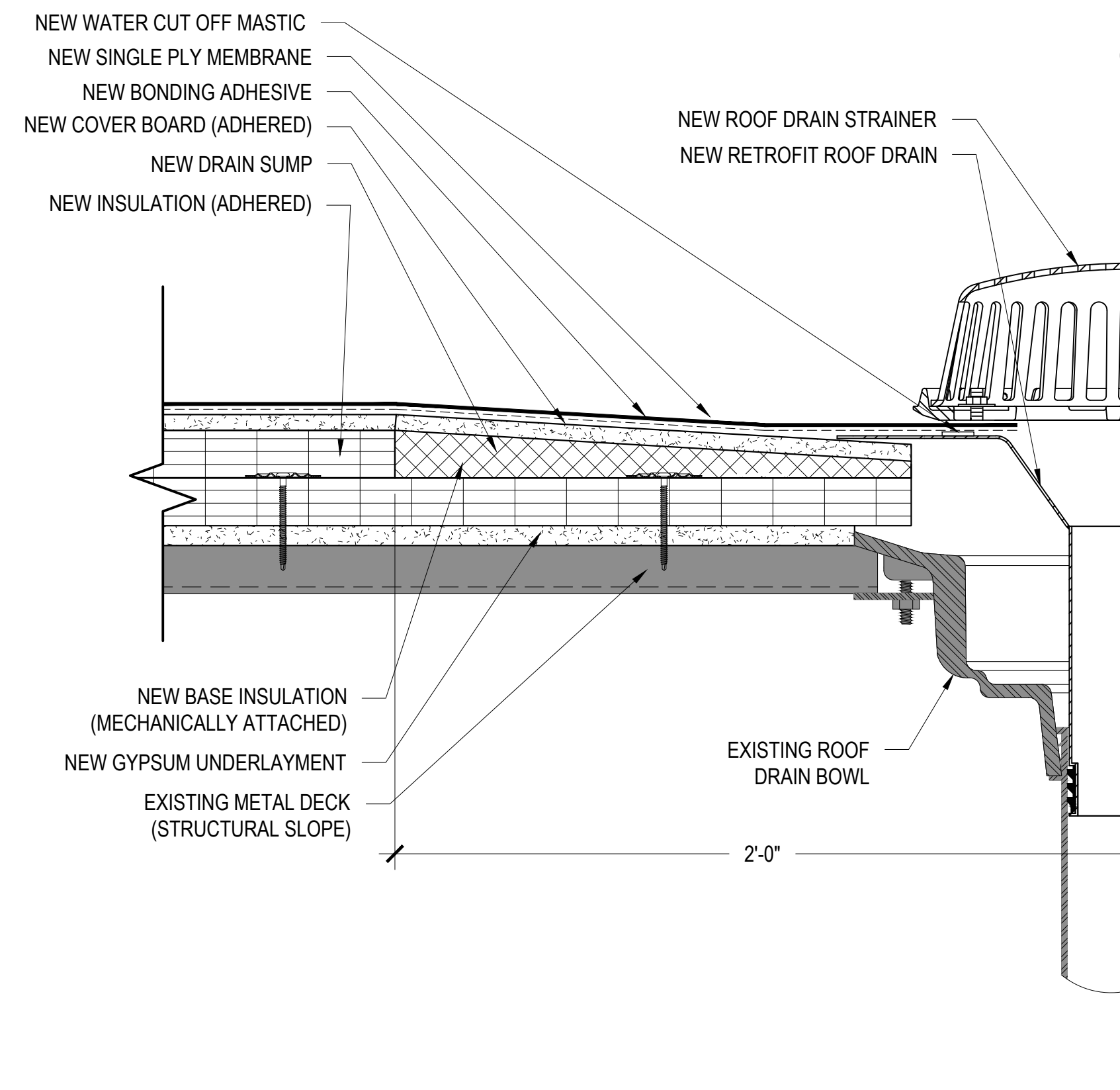
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A-202

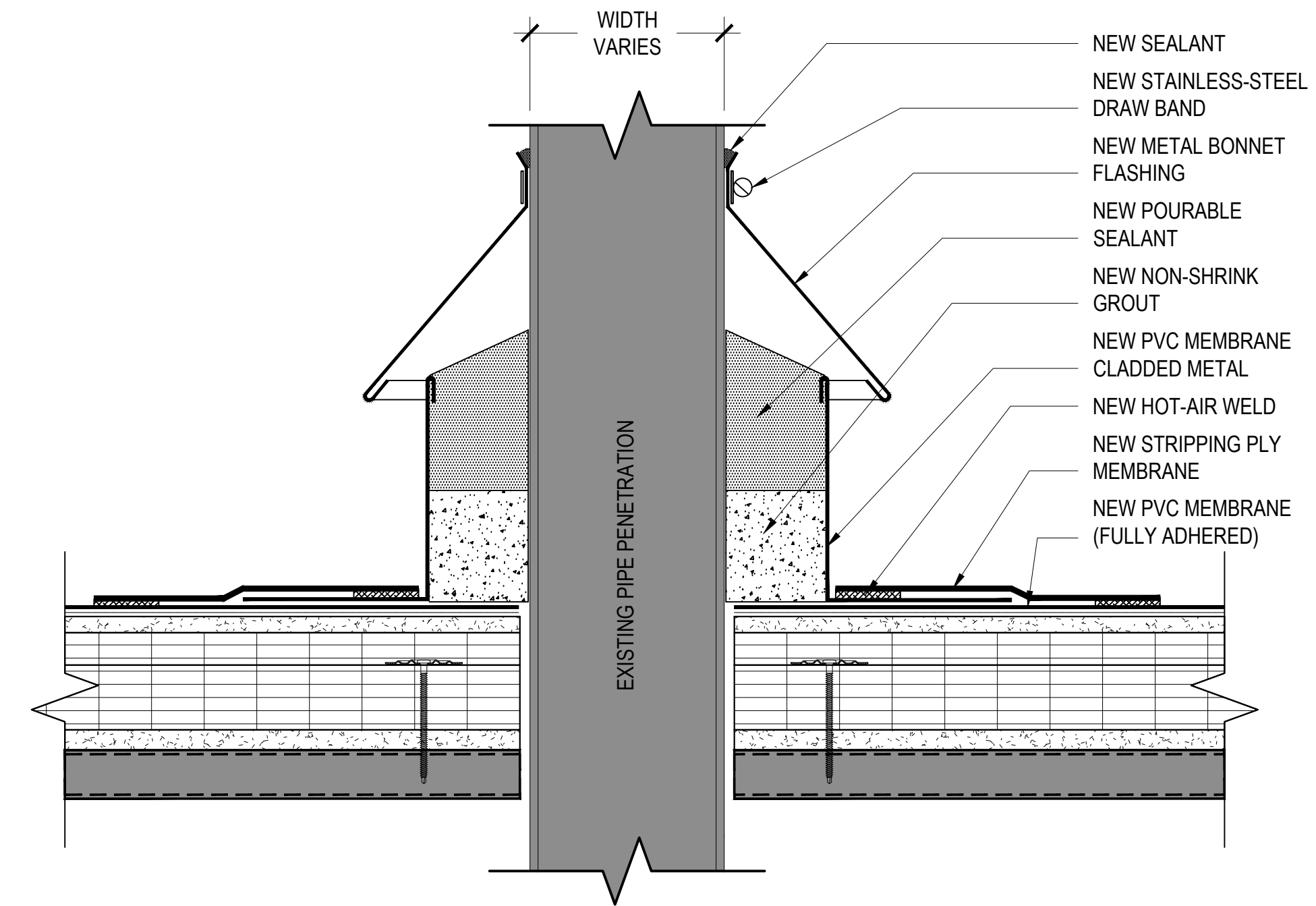
NOTE: CONTRACTOR TO COORDINATE WORK WITH EXISTING ROOF MANUFACTURER IN ORDER TO NOT VOID WARRANTY



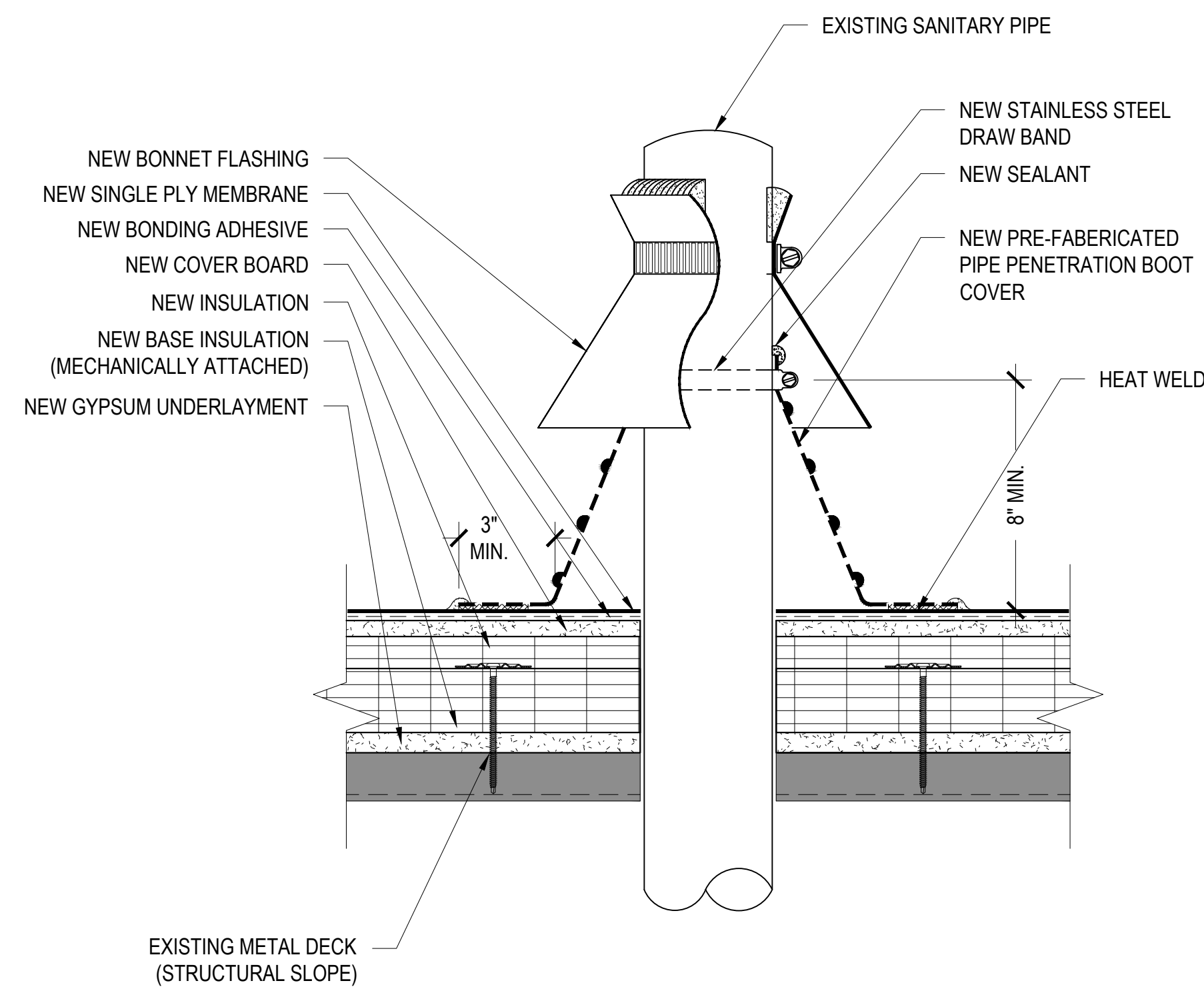
13 EXPANSION JOINT DETAIL
3"=1'-0"



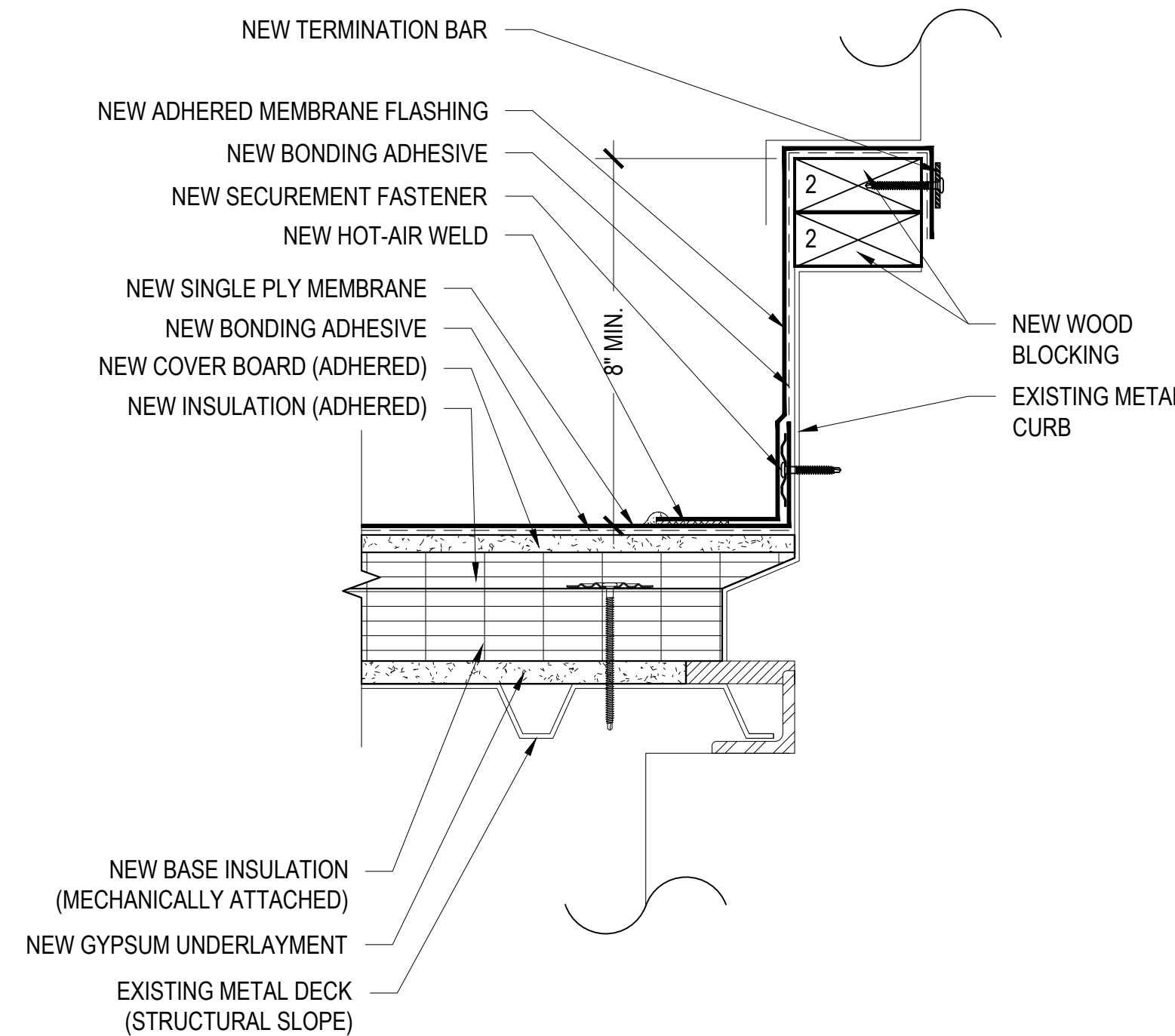
14 ROOF DRAIN DETAIL
3"=1'-0"



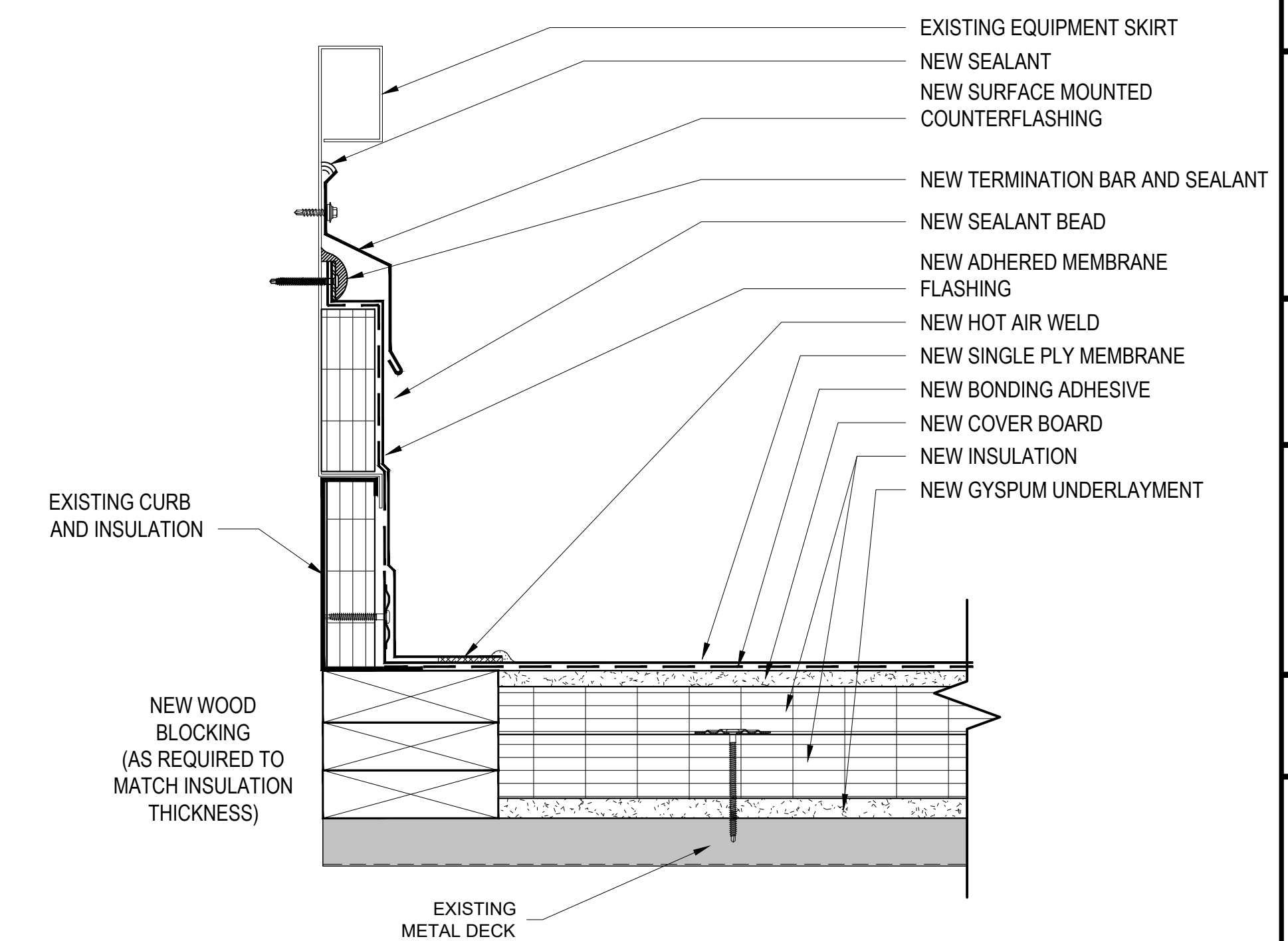
15 TYP. SEALANT POCKET DETAIL
3"=1'-0"



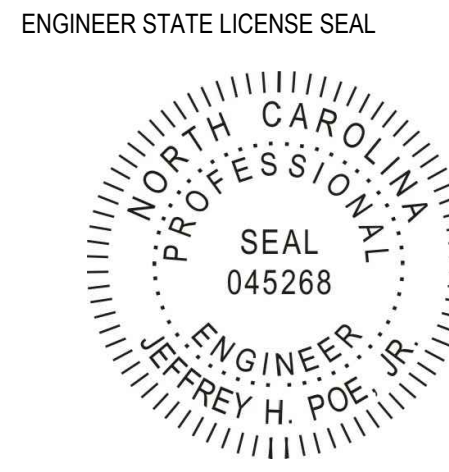
16 PIPE PENETRATION DETAIL
3"=1'-0"



17 EQUIPMENT CURB DETAIL
3"=1'-0"



18 HVAC EQUIPMENT CURB DETAIL
3"=1'-0"



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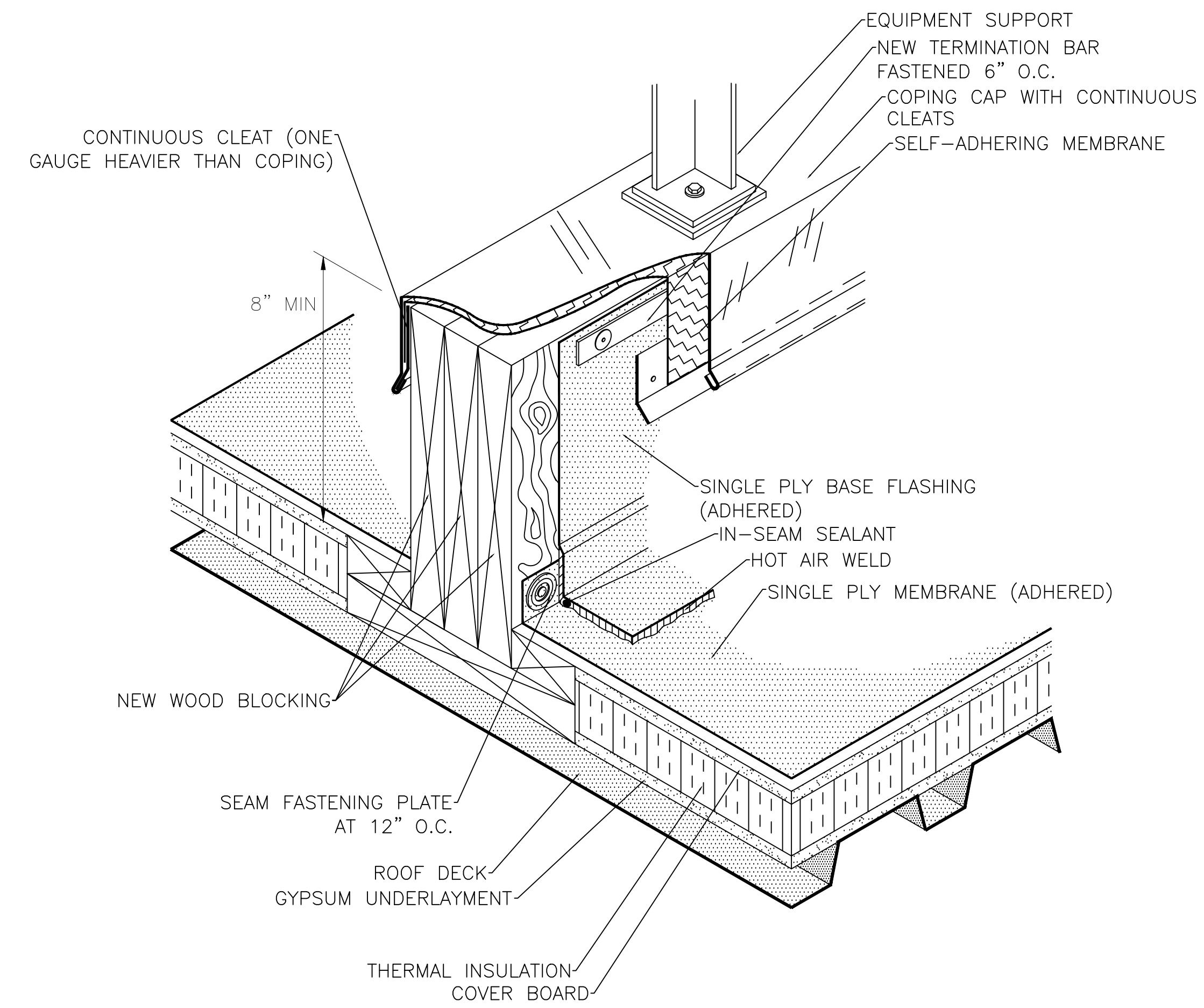
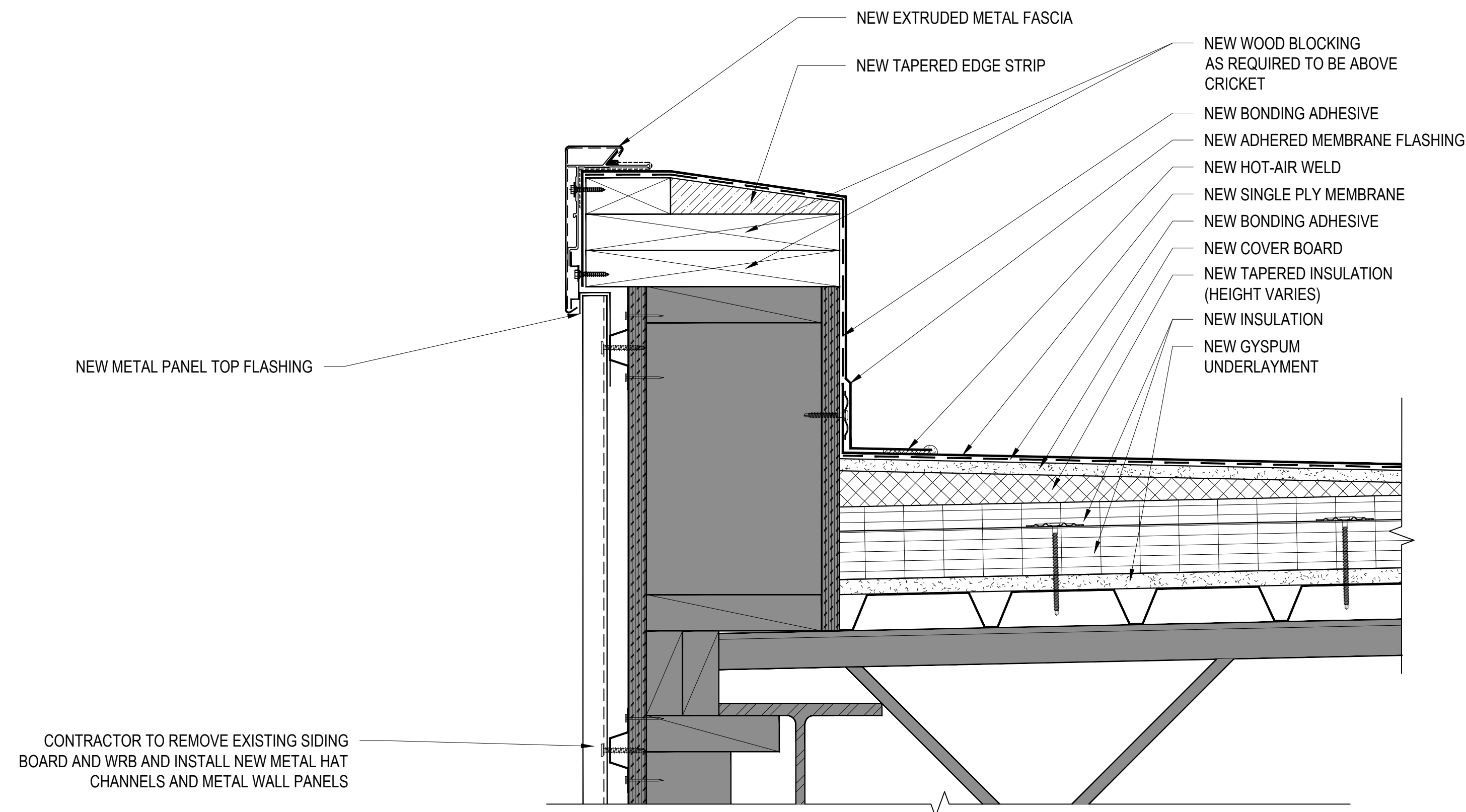
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VTN

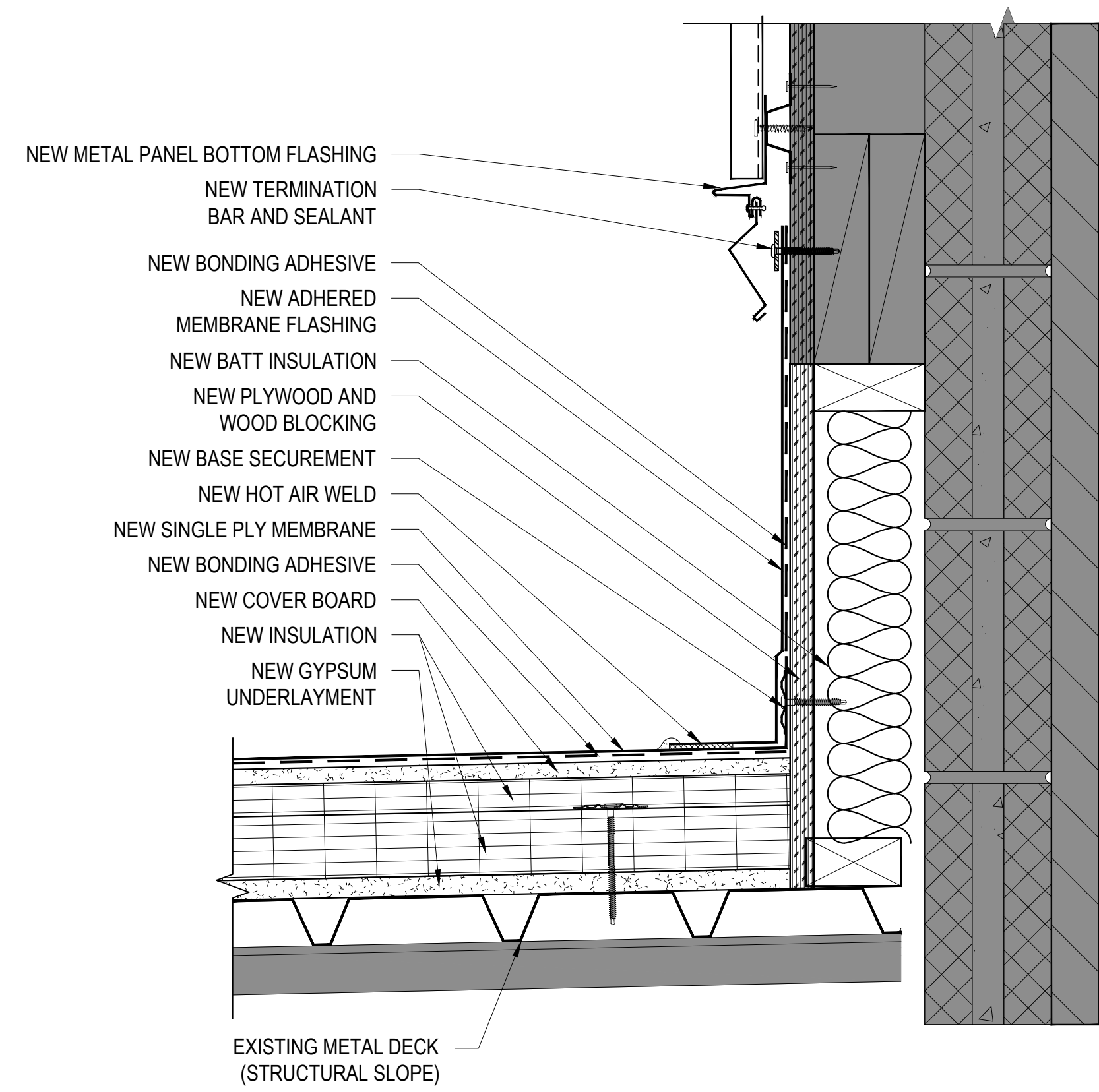
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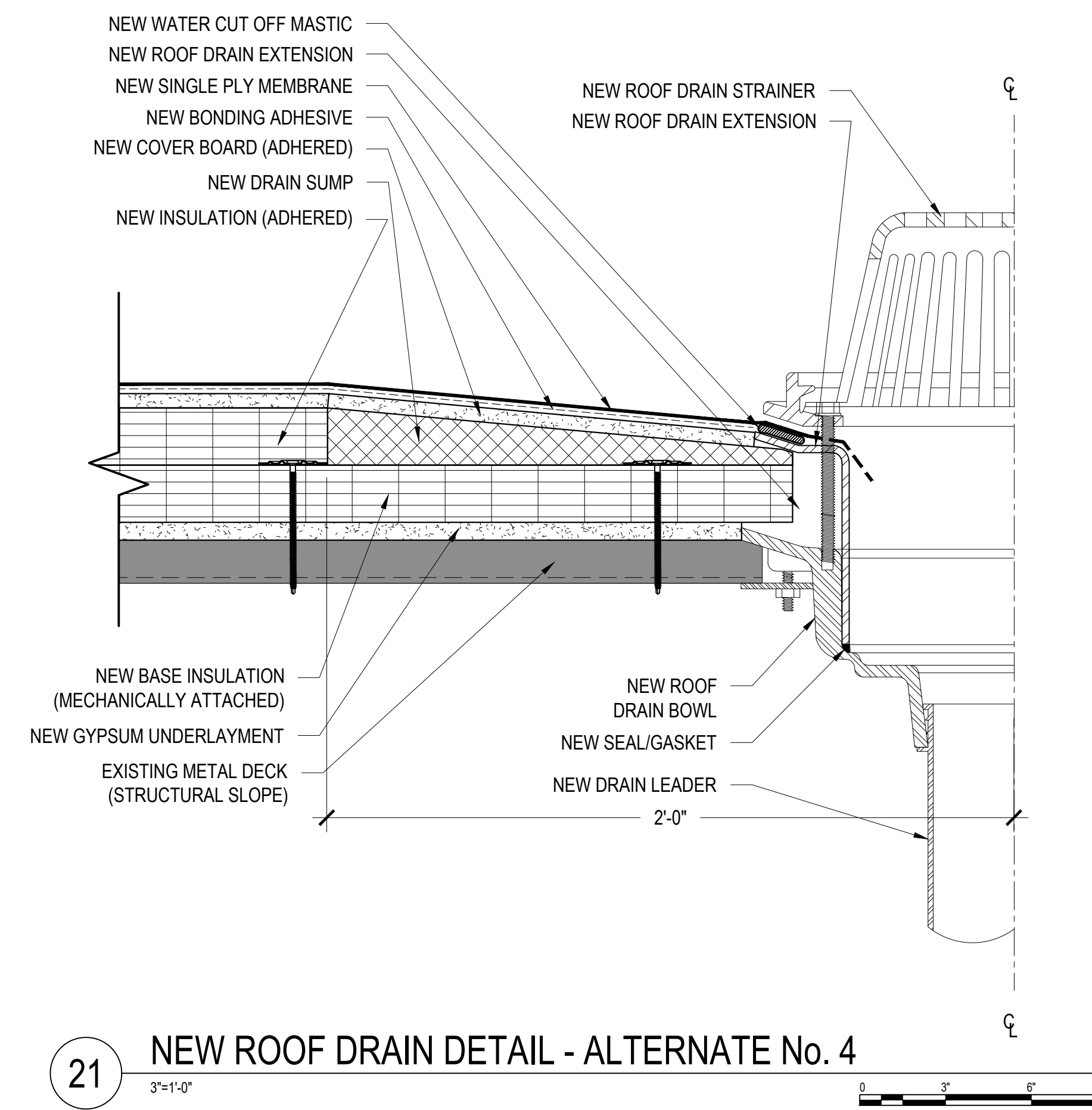
SHEET NUMBER:
A-203



20 SLEEPER CURB DETAIL
NTS



19 METAL WALL PANEL DETAIL - ALTERNATE No. 5
3"=1'-0"



21 NEW ROOF DRAIN DETAIL - ALTERNATE No. 4
3"=1'-0"



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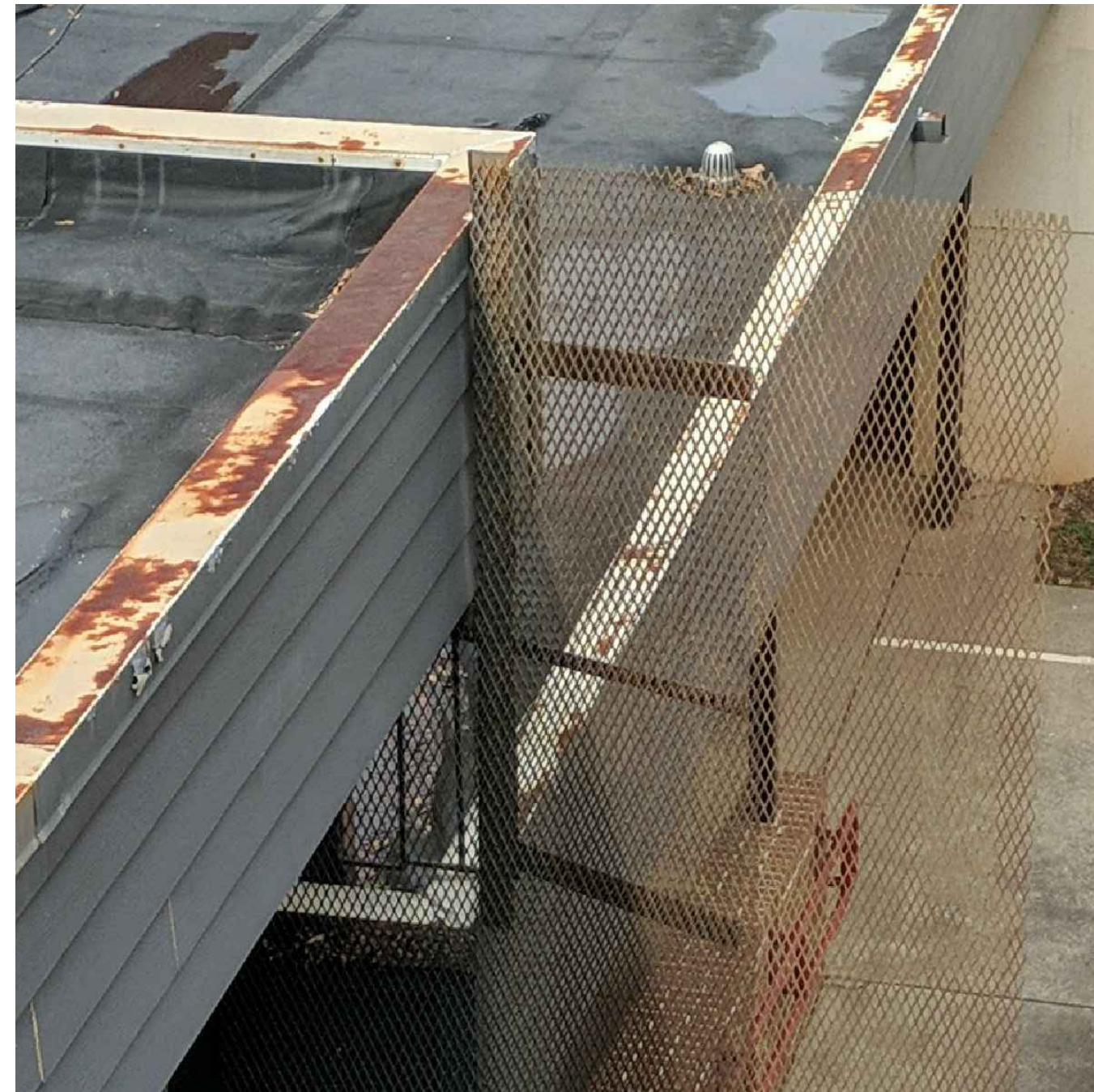
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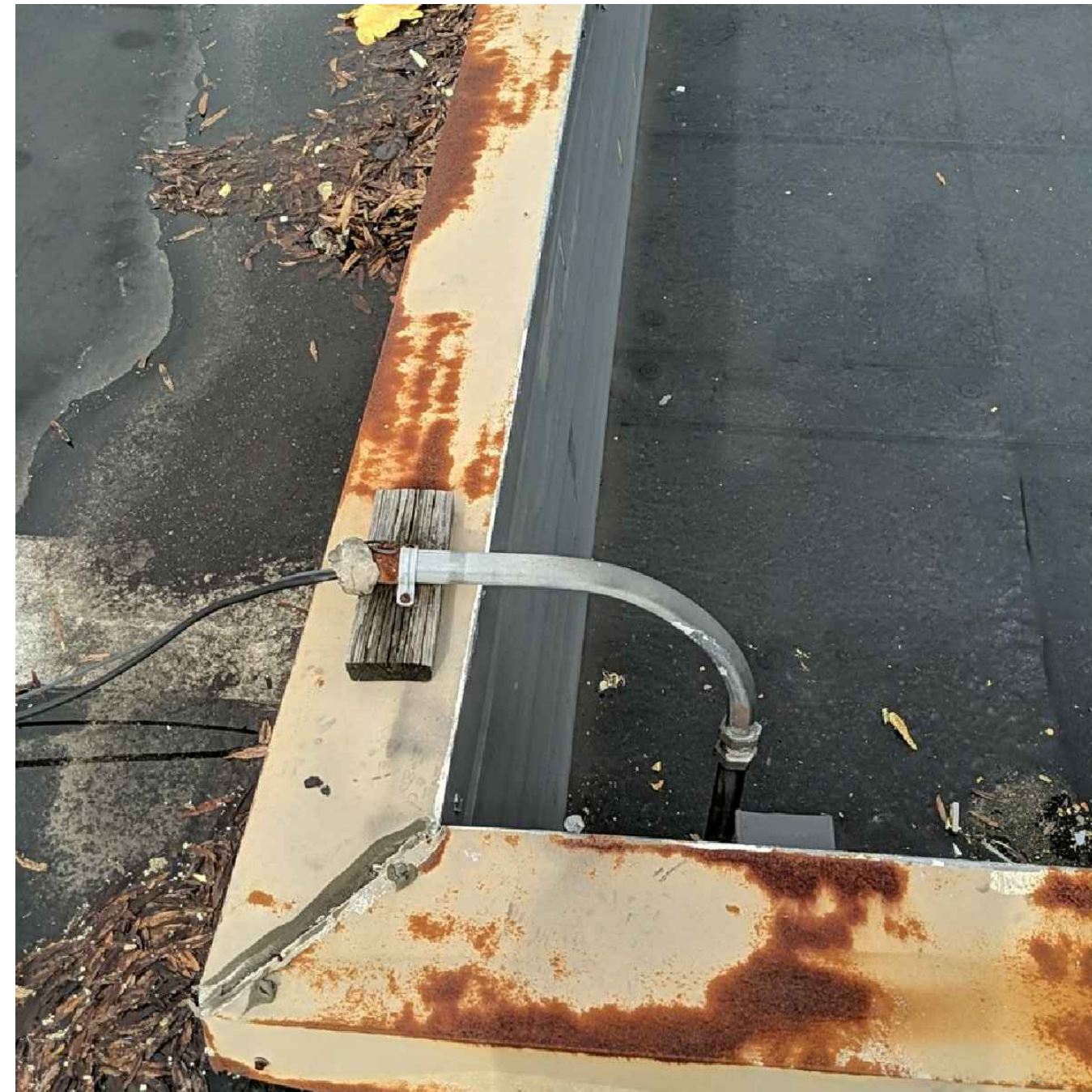
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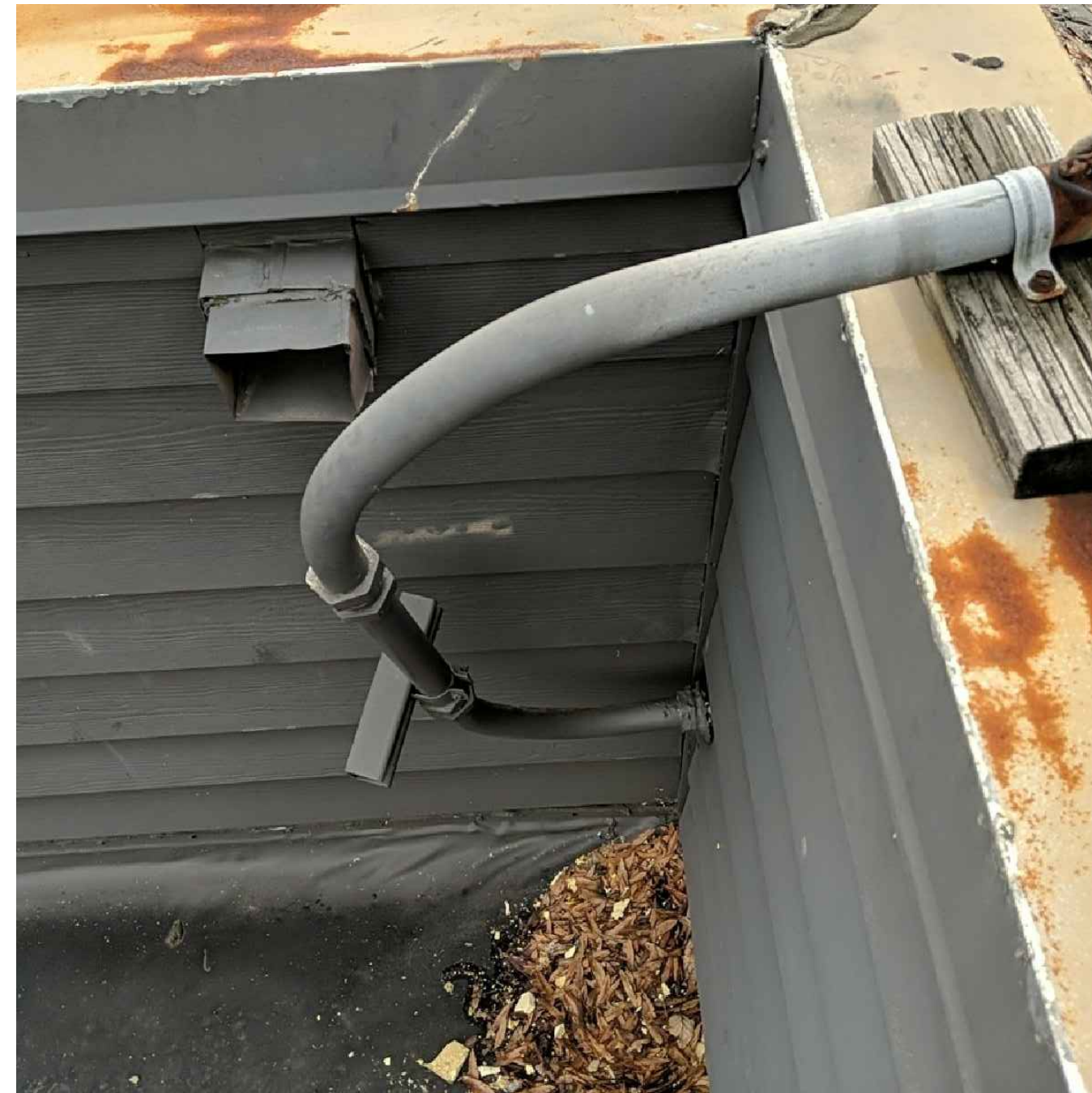
A-204



1 Contractor to remove and reinstall roof access prevention equipment as required to accomplish specified scope.
NTS



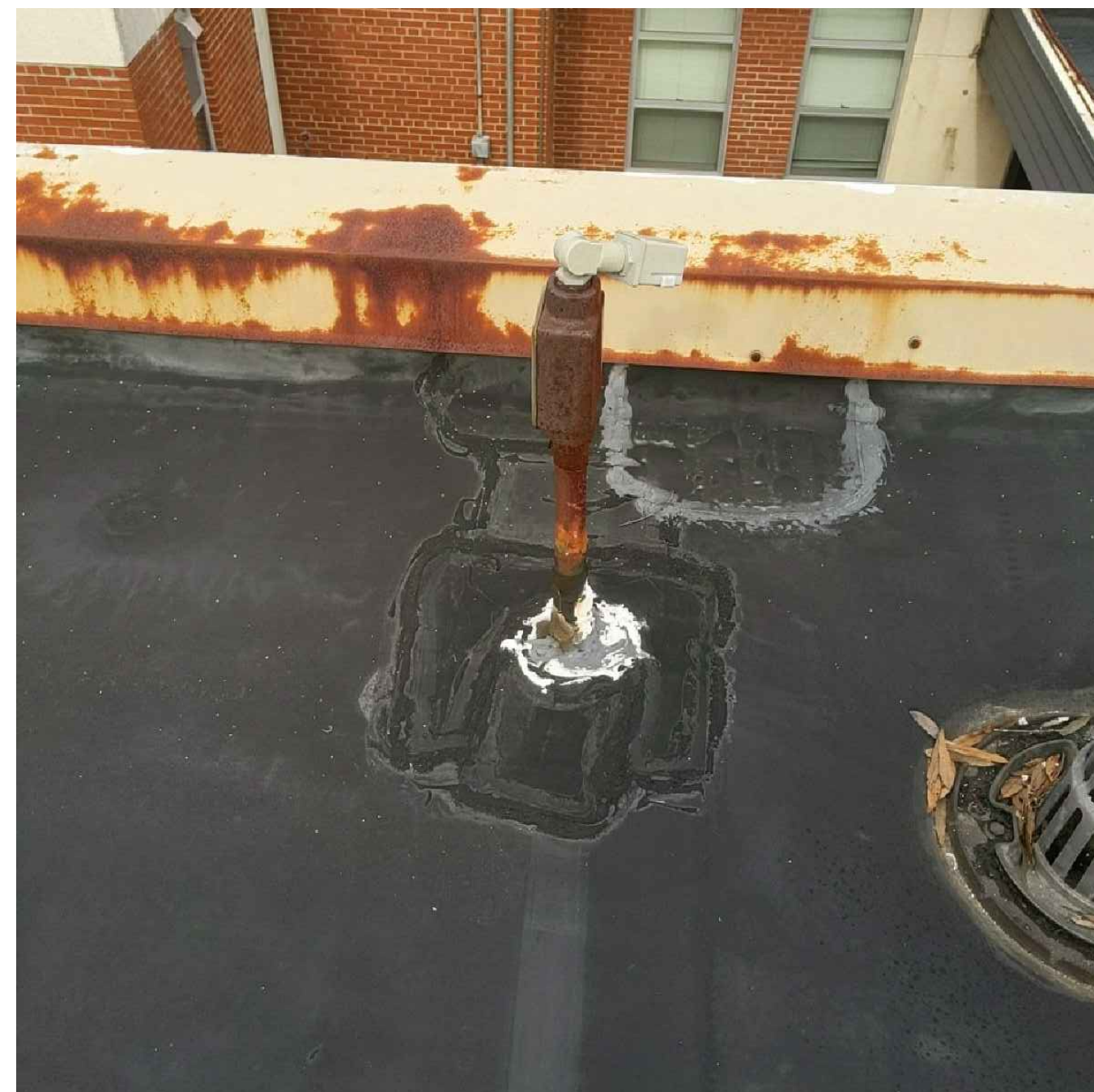
2 Abandoned Conduit to be removed and discarded appropriately.
NTS



3 Abandoned Conduit to be removed and discarded appropriately.
NTS



4 Abandoned Antenna to be removed and discarded appropriately.
NTS



5 Abandoned Conduit Penetration to be removed and discarded appropriately.
NTS



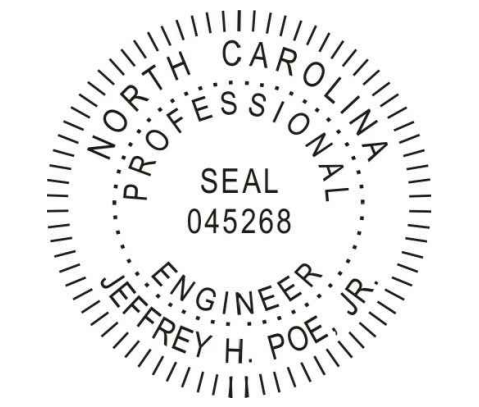
6 Abandoned Satellite to be removed and discarded appropriately.
NTS



7 BDA Antenna on ballast base will need to be disconnected by the BDA company. Once roofing has been accomplished, will need to be reinstalled by BDA company.
NTS



8 Rooftop Condensing units to be raised or disconnected and installed on new sleeper curbs. Contractor is responsible for replacing any damaged lines.
NTS



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SHEET TITLE:
PHOTOS

SHEET NUMBER:
A-701