

Township of Old Bridge  
Middlesex County, New Jersey

# Town Centre District

## Zoning & Design Standards

November 1, 2000  
Revised June 21, 2001

# Old Bridge Township

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Town Centre District  
Zoning and Design Standards  
for the  
Township of Old Bridge  
Middlesex County, New Jersey

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This is an ordinance regulating uses and the design of development within the Town Centre District of the Township of Old Bridge. It is supplemental to the Land Development Ordinance of the Township of Old Bridge and supercedes any inconsistent section(s) of the Land Development Ordinance regarding regulation of uses or design within the Town Centre Design District.

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## TCD      TOWN CENTRE DISTRICT

### A.      Purpose and Designation of Zones

The purpose of this special district is to create a mixed use village center with a core of retail, office and civic uses in the midst of residential development which begins as high density near the core and fades to low density at the edges of the district. The intent of the district is to create a sense of community and a "Main Street" feel with a neo-traditional design which features street trees, village greens, landscaped courtyards, buildings fronting on pedestrian sidewalks, and other design features as described in the Town Centre District Master Plan Amendment adopted April 07, 1998, and as described and regulated herein.

The Town Centre District is comprised of a Core: zones 1A, 1B, and 2 (area north of Route 516); Community Development Area: zones 3A, 3B, 3C, 2 (south of Route 516) and TCD-R15; and the Town Centre Environs: zones TCD-R40, TCD-R80 and TCD-ARC 2. The Core is intended to be the central business district containing a pedestrian-oriented area of commercial and civic uses serving the Community Development Area and the surrounding municipality. The Community Development Area is the land around the Core where growth is intended to occur. The Environs is intended to remain low density, rural, or agricultural in order to serve to define the edge of the Town Centre through a visual separation of intensity.

The Town Centre District is intended to: 1. embrace the Centers policy of the State Development and Redevelopment Plan (SDRP), 2. encourage the appropriate use and development of land in a manner which promotes the public health, safety, morals, and general welfare, 3. promote the establishment of appropriate population densities and concentrations that will contribute to the well-being of persons, neighborhoods, community, region and preservation of the environment, 4. provide sufficient space in appropriate locations for a variety of agricultural, residential, recreational, commercial and industrial uses and open space, both public and private, 5. promote a visual environment through creative development techniques and good civic design and arrangements, 6. promote the conservation of historic sites, open space, energy resources, and valuable natural resources in the State and to prevent urban sprawl and degradation of the environment through improper use of land.

The commercial area of the core is intended to be compact and designed for the human scale with small and moderately sized shops or in close proximity to each other to facilitate patronage and encourage pedestrian use. Building size is limited to preclude large uses, such as "big box" stores, super food stores and department stores, which would cause disruptions to the pedestrian flow due to their immense size.

The following sub-district zones are hereby established as shown on the Town Centre Zoning Districts Map which is attached hereto as illustration TCD2, and is hereby made a part of this ordinance, together with all notations, references and designations shown

thereon, and all amendments thereto as may be from time to time adopted by ordinance.

TCD - ZONE 1A     Main Street Business District:  
Retail and services - neighborhood trade; residential dwelling units and offices are permitted above the primary retail uses.

TCD - ZONE 1B     Neighborhood Business District:  
Retail and services - neighborhood trade; office and retail are primary uses and are permitted on the ground floor; residential and offices permitted above.

TCD - ZONE 2       Civic/Community District:  
Public and quasi-public uses including municipal offices, schools, houses of worship, cultural and recreation facilities.

TCD - ZONE 3A     High Density Residential District:  
Residential density of 2.4 du/ac. (R15) - cluster transfer option may be utilized to achieve up to 10 du/ac. (SFD, Duplex, TH, Multifam).

TCD - ZONE 3B     Medium High Density Residential District:  
Residential density of 2.4 du/ac. (R15) - cluster transfer option may be utilized to achieve up to 8 du/ac. (SFD, Duplex). Offices are permitted, free-standing or conditionally in conjunction with a residence (75% of building area.)

TCD - ZONE 3C     Medium Density Residential District:  
Residential density of 2.4 du/ac. - cluster transfer option may be utilized to achieve up to 7 du/ac. (SFD)

TCD - R15           Medium Density Residential District:  
Residential density of 2.4 du/ac. - development in the TCD-R15 district is intended to conform to R15 Medium Density Residential Zone standards except as modified herein.

TCD - R40           Low Density Residential District:  
Residential density of 0.9 du/ac. - development in the TCD-R40 district is intended to conform to R40 Low Density Residential Zone standards except as modified herein. The TCD-R40 district also provides a rural transition that serves to define the boundary of the Town Centre District.

TCD - R80           Low Density Residential District:  
Residential density of 0.5 du/ac. - development in the TCD-R80 district is intended to conform to R80 Low Density Residential Zone standards except as modified herein. The TCD-R80 district also provides a rural transition that serves to define the boundary of the Town Centre District.

TCD - ARC 2

Agriculture/Rural Conservation District:

Residential density of 0.5 du/ac. - the intent of this district is to designate areas where agricultural farming is practiced and to provide protection for the farmlands. The TCD-ARC 2 district also provides a rural transition that serves to define the boundary of the Town Centre District.

B. Definitions - General

The definitions of words used herein shall be common usage unless otherwise defined in the Land development Ordinance or elsewhere herein.

**"Build-to" Line**—Coinciding with the building setback line, the "build- to" line is the alignment to be followed by the buildings or structures fronting thereon in order to provide the preferred street viewshed. The "build-to" line does not apply to building projections or recesses.

**Concourse** -- The pedestrian area between the bicycle lane and the building or "Build to" line, including the étalage, trottoir, and petit étalage (see illustration no. TCD-4).

**Étalage** -- Literally meaning showcase, for the purpose of this ordinance shall mean the five (5) foot wide brick paver walkway between the trottoir and the bicycle lane wherein street furniture such as: planters, information kiosks, directories, benches and trash receptacles are to be located, as well as street trees, street lamps and the like. The étalage also serves as the visual divider and delineator separating pedestrian traffic from bicycle and roller blade traffic (see illustration no. TCD-4).

**Petit Étage** -- Literally meaning small or little showcase, for the purpose of this ordinance shall mean the two (2) foot wide brick paver walkway between the building line and the trottoir wherein a small amount of street furniture such as benches, planters and sandwich signs may be located (see illustration no. TCD-4).

**Trottoir** -- The main pedestrian way or sidewalk area in the concourse between the étalage and the petit étalage (see illustration no. TCD-4).

**Viewshed or public viewshed**—that which is reasonably visible, under average conditions, to the average observer located on any public land or right-of-way, or on any semi-public or private space which is normally accessible to the general public.

C. Regulation of Uses

Any use not specifically listed as a permitted use, an accessory use or a conditional use shall be deemed a prohibited use. This provision shall be liberally construed as protective of the Township's zoning scheme and the public health, safety, morals and general welfare. Any

doubt as to the permitted nature of any use shall be resolved in interpreting the doubtful use as prohibited.

Interpretation, NJSA 40:55D-70.b.

Because it is a special district with specific standards, application for use variance must be scrutinized as to whether the proposed use can be developed in conformity with the layout of the district plan. The applicant should advance proof and the Board of Adjustment should find that the proposed use functions in a manner which substantially conforms to the layout scheme of the district.

1. Permitted Uses

The land uses permitted in the Town Centre District are set forth in Schedule TCD A.

2. Conditionally Permitted Uses:

a. Apartment Dwelling:

1. Permitted only on the second and third stories in Zones TCD 1A and TCD 1B above first floor commercial development.

b. Religious Quarters:

- a. Permitted as an accessory to a house of worship in Zones TCD 2, TCD-R40, TCD-R80 and TCD-ARC 2.
- b. Parking, in addition to the number of spaces required, for the house of worship shall be provided at the rate of two (2) spaces for the first dwelling unit, plus 1.5 spaces for each additional dwelling unit.
3. A private yard area for the use of the residents shall be provided. The minimum size shall be four hundred square feet (400 sq. ft.) for a single dwelling unit, and shall be increased by two hundred square feet (200 sq. ft.) for each additional dwelling unit.
4. The minimum apartment size shall be four hundred eighty square feet (480 sq. ft.)

c. Manufacturing:

1. Manufacturing in the town Centre shall be limited such that it is ancillary to a retail use. Examples would be: a candy shop, leather goods, jewelry and apparel with products made on the premises. To test for compliance with this section the approving board should find that the use is a retail store with products made on the premises rather than a large manufacturer which primarily ships products nation-wide or regionally.

The type of manufacturing shall be limited to final fabrication such as light assembly, dress making, tailoring, and sewing, and shall not include chemical or biological processing, tanning, skinning, or other secondary treatment phase or involve the emission of any noxious or foul odor.

d. Taxicab Transportation, Limousine Services and Other Vehicles for Rent or Hire:

1. Only the business office of the taxicab, limousine service or other vehicle for rent or hire is permitted in the Town Centre District.
2. Storage or long term parking of taxicab, limousine and other vehicles for rent or hire is expressly prohibited in the Town Centre District. For the purpose of this section, eight (8) consecutive hours, or more than sixteen (16) hours in any seven (7) day period shall constitute long term parking.

e. Transportation Ticket Services:

1. Only the business office and/or ticket counter for transportation ticket services shall be permitted in the Town Centre District. Vehicle terminals and garages are prohibited.

f. Eating and Drinking Places (Non Auto Oriented):

1. Night clubs, cabarets and taverns shall be expressly prohibited in Zone TCD-3B.

g. Professional Services:

1. Office oriented services in Zone TCD-1A shall be restricted to second and third story levels above first floor commercial development so as not to interrupt or cause a gap between commercial retail uses.

h. Laundering, Dry Cleaning and Dying:

1. No chemicals shall be stored or utilized on the premises which cannot be purchased at a typical supermarket.

i. Dwelling Services and Other Building Services:

1. Dwelling and other building services shall be limited to the office portion of the business such that no construction equipment, vehicles or materials shall be stored on the premises.
2. No chemicals shall be stored or utilized on the premises which cannot be

- purchased at a typical supermarket.
3. The use shall be restricted to the second and third stories above first floor commercial development in Zone TCD-1A.
  4. No construction equipment, construction vehicles or vehicles bearing a name, logo, or other markings identifiable as a company or business vehicle shall be parked overnight in the Town Centre District.

**i. Automobile Repair Service:**

1. Automobile gasoline stations, automotive repair garages, and automotive service stations shall comply with the conditions set forth in Section 7-2, B, 2, subsection H.

**k. Electrical Appliance Repair Service:**

1. Electrical appliance repair service is permitted as an accessory or ancillary use to electrical appliance retail sales only.
2. The sale of used or second hand appliances is prohibited.

**l. Contract Construction Services:**

1. Contract construction services shall be limited to the office portion of the business such that no construction equipment, vehicles or materials shall be stored on the premises.
2. No chemicals shall be stored or utilized on the premises which cannot be purchased at a typical supermarket.
3. The use shall be restricted to the second and third stories above first floor commercial development in Zone TCD -1A.

**m. Educational Services:**

1. Educational services in Zone 1A are permitted only on the second and third story above first floor commercial development.
2. Daycare centers shall not be permitted in Zones TCD-1A & TCD -1B. In Zones, TCD-2 and TCD-3B, daycare centers shall be permitted providing it is demonstrated to the satisfaction of the approving board that there is adequate area for vehicle stacking for drop-off or exit; that vehicles entering the site will not cause gridlock or traffic back-up greater than thirty (30) seconds delay; and that the off-street parking has been provided at a minimum rate of one (1) space per 600 sq.ft. GFA of the building.

n. Cultural Activities:

1. Libraries, museums, art galleries, and other cultural activities, nec. shall not be permitted in the Town Centre on the same lot as a detached single family or duplex residence.

o. Public Assembly, Miscellaneous Purposes:

1. In Zone TCD-1A, auditoriums, convention halls, and civic theaters and halls are permitted only as accessory to an educational use. Meeting halls for rent are permitted only in conjunction with a governmental use such as a first aid or fire service building. Exhibition halls may be permitted as accessory to a governmental use, educational use, museums or inns.
2. Public assembly uses in Zone TCD-1B shall have at least one (1) direct access to Route 9, Route 516 or Cottrell Road; or, if located such that direct access cannot be provided, it must be demonstrated that the use can be accommodated at the time of full build-out of the Town Centre District without any site access drive on a secondary road or any secondary road intersection falling below traffic level of service "C".

p. Recreation and Community Centers:

1. Shall be permitted as an accessory to a residential cluster of sixty (60) or more dwelling units.



D. TCD Bulk Standards

The minimum development requirements and restrictions for the Town Centre District shall conform to the standards set forth in section 7-3 of the Land Development Ordinance except as modified herein. Deviation from these standards shall only be permitted in conjunction with development under the cluster transfer option as outlined below, or when a variance is granted pursuant to NJSA 40:55D-70(c) and Sections 3-2(G)(3) and (4) of the Land Development Ordinance. Anything not covered under this section shall be governed by applicable regulations elsewhere in Land Development Ordinance.

12. Area and Yard Requirements

The minimum and maximum area, height and yard requirements in the Town Centre District shall be as set forth in Table TCD-1 of this ordinance.

a. "Build To Line"

The intention of this section is to provide a downtown, village viewshed with buildings at or near the sidewalk/pedestrian way by requiring buildings to line the street along a "build to line".

1. Building faces set along any street in business districts TCD-1A and TCD-1B shall be generally be at or within two (2) feet of the "build to line" such that not more than twenty-five (25) percent of the linear footage of a series of buildings shall not deviate beyond two foot of the line. Buildings with greater setbacks, but with canopies, balconies, overhangs, or other features designed to provide a relationship to the "build to line", may, at the discretion of the approving board, be deemed to conform to this standard (It is not the intent of this section to allow a long continuous canopy, as typified in retail strip centers to qualify as meeting this "build to" standard).
2. Primary buildings in residential zones TCD-3A, TCD-3B, and TCD-3C shall be set at or within five (5) feet of the "build to line".

b. Streetscape Proportion

In order to create a streetscape which is neither too wide and sprawling nor too canyon-like, the building setback and building height must relate to the width of the street and sidewalk in proportion of height to width of from 1:1 to 1:3 as illustrated in drawing TCD-05. Buildings along any street in business districts TCD-1A and TCD-1B shall adhere to this standard such that not less than seventy-five (75) percent of the buildings, as measured by their linear footage along the road, shall conform.

c. Building Size

Building size shall be restricted such that neither the building footprint nor any story shall have a floor area greater than 10,000 square feet for any building in zones TCD-1A and TCD-1B, and 3,000 square feet in zone TCD-3B. Buildings greater than 10,000 square feet are provisionally permitted in zones TCD 1A and 1B providing: 1) the interior of the building is divided into individual stores or businesses separated by full walls (floor to ceiling) such that no individual store or business suite exceeds 10,000 square feet on any floor; and 2) the exterior of the building is modulated such that from the outside it appears to be separated into multiple buildings, each less than or equal to 40 feet in width.

2. Transfer Option

The Town Centre District (TCD) is designated a cluster area for the transfer of residential density from other cluster tracts of township, as a means of encouraging development in this district which already has adequate infrastructure and does not require significant investment in the extension of streets, utilities and public services, while decreasing the rate of sprawling development in the other areas. Town Centre Zones 3A, 3B, 3C shall be deemed the cluster "receiving" area. The area or tract from which the development rights are transferred shall be deemed the cluster "sending" area. Zones: R20, R30, R40, R80, R120, ARC-1, ARC-2, ARC-3, and any Old Bridge property included in the Middlesex County Comprehensive Plan for Farmland Preservation. A development proposal may utilize the by-right density or elect the development transfer option by satisfying option A below.

Eligibility:- To be deemed eligible to utilize the Transfer Option, the parcel or tract in the receiving area shall be located within zones TCD 3A, TCD 3B, or TCD 3C; shall comply with the standards set forth in table TCD II; and shall be laid out in such a manner that the maximum size of the largest lot, exclusive of dedicated open space, shall not be larger than two and one-half (2 ½) times the size of the smallest lot in order to achieve a homogeneous development pattern.

Option A - Transfer of residential cluster density from one property or tract outside the Town Centre District Community Development Area (zones 3A, 3B, 3C) to a property or tract within the Town Centre District Community Development Area (zones 3A, 3B, 3C). Transfer of cluster density shall be accomplished by increasing the density in the receiving area (Community Development Area) at the rate of one dwelling unit for each dwelling unit reduced from the total achievable in the sending cluster area outside the Town Centre District Community Development Area. Density shall not be increased beyond the maximum allowed by the Density Transfer Option for the corresponding zone (zones 3A, 3B or 3C) as set forth in table TCD II.

The total number of dwelling units achievable on a tract of land in a cluster sending area outside the TCD Community Development Area shall be the net

number of units that can be developed on the noncritical portion of the tract. The net number of achievable units shall be the total number of residential units which conform to the minimum required lot area. Deed restriction prohibiting development shall be imposed on areas or tracts which are used for credit for the transfer of residential density into the TCD Community Development Area.

3. Permitted residential housing types allowed in TCD Zones 3A, 3B, and 3C utilizing the Transfer Option:

3A High Density Residential:	Multifamily Townhouse Duplex Single Family Detached
3B Medium High Density Residential:	Duplex Single Family Detached
3C Medium Density Residential:	Single Family Detached

### 3. Signs

#### a) Definitions

For the purpose of this section, the following terms, phrases, words and their derivations shall have the meaning set forth below.

**Awnings and Canopies** - - Rooflike coverings made of fabric or a more rigid material, supported by a frame attached to a building and extending over a sidewalk, or exterior area, and which may be retractable or fixed in place.

**Bulletin Board** -- Any sign erected by a charitable, educational, religious or public body, which is erected upon the same property as said institution, for the purpose of announcing events which are held on the premises.

**Display Area** -- The complete area of signboard face (one face in the case of a two-sided sign) including lettering, symbols, characters, and board area. Structural supports and posts for free-standing signs shall not be counted as part of the display area providing the width of the post or support does not exceed eight (8) inches in the case of a monopole or single support, or an aggregate of twelve (12) inches for multiple supports. For signs not mounted on a signboard, such as letters affixed or painted on walls or glass storefronts, the display area shall include the maximum geometric area within the outermost edges of lettering, symbols, or characters, including the empty space between said letters, symbols, and characters.

**Portable Swinger, "A" Frame, or Sandwich Sign** -- An advertising device, usually in the shape of an "A" or some variation thereof, located on the ground, easily movable, not permanently attached thereto and which is usually two-sided.

**Projecting Sign** -- Any sign affixed at an angle or perpendicular to the wall of any building in such a manner to be read perpendicular or at any angle to the wall other than parallel with the wall.

**Temporary Sign** -- Any sign erected and displayed for less than thirty consecutive days or an aggregate of 60 days in any twelve month period (except as otherwise exempted herein).

**Wall Sign** -- Any sign which is affixed parallel to a wall of any building in such a manner as to read parallel to the wall on which it is mounted; provided that said sign does not project beyond the edge of the wall in any direction.

b) General Provisions:

The primary goal of signage in the Town Centre is to provide the necessary information to direct and inform visitors in a manner that fits aesthetically with the building architecture and village streetscape without undo clutter, disproportionately large or amateurish signs.

All signs located in the Town Centre District must adhere to the dimensional, proportional and design criteria identified in the Land Development Ordinance of the Township of Old Bridge, Article 7, Zoning- Section 7 - G, and Article 11- Enforcement Section 11 and the provisions of this Subsection.

Five (5) categories of signs shall be permitted in the Town Centre District. These include: Street Name signs, Directory signs, Town Centre Designation signs, Regulatory signs, and Business Identification Signs.

- 1) **Street Name Signs** -- Reflective street name signs shall be located at all corners and intersections within the Town Centre District.
- 2) **Directory Signs** -- Directory Signs and Informational Kiosks shall be permitted within the Town Centre District at key locations such as along entrance driveways, parking lots and at walkway intersections. These directories and kiosks shall provide information and direction to visitors and residents about the location of business and service entities within the Town Center as well as information about upcoming events.
- 3) **Town Centre Designation Signs** -- Town Centre designation signs shall be placed at gateways and key areas to mark primary entrance and exit ways within the Town Centre.
- 4) **Regulatory signs** -- Regulatory signs such as those that direct and control parking shall be arranged in a consistent manner. Symbols and colors shall be used to reinforce regulatory messages (e.g. Green-General

Parking; Blue- Special Parking; Red- Prohibitive Parking).

- 5) Business Identification Signs -- Business Identification and advertising signs shall be of the size, type and location as permitted below.

All Street Name and Regulatory Signs shall comply with the standards set forth in the latest edition of the Manual on Uniform Traffic Control Devices, except when covered by a specific design detail or regulation incorporated herein.

Letters on signs shall be provided with enough surrounding space to make reading quick and uncomplicated.

No signs other than signs placed by agencies of the government shall be erected on any public property, except with the written permission duly signed by an authorized agent of the agency or agencies having jurisdiction.

No signs shall be placed on private property without the consent of the property owner.

No sign shall be placed on any utility pole, tree, street lamp, rock, and the like, except for utility identification or similar purposes.

Signs may be illuminated by a stationary light source which shall be directed only at the sign. All light sources shall be clear or white and shielded from direct view.

Freestanding signs other than regulatory signs shall not be permitted in any pedestrian walkway, sidewalk area or bikeway.

#### c) Permitted Signs

- 1) One free-standing, or projecting sign, with a display area not greater than ten (10) sf., shall be permitted for each storefront or business service having an individual public entrance from the exterior of the building.
- 2) One free-standing sign shall be permitted for centers, groupings of shops, or individual offices in a common building. The display area of the sign shall not exceed 24 sf. And shall only identify the name and number of the center, plaza or building. Individual shops or offices within the center shall not be advertized or identified on the main sign which is intended to be viewed from the street, but may be shown on a directory sign (see below) located on an entrance driveway.
- 3) Directory signs for retail or business services may be located in a parking lot, in a public gathering point such as a courtyard or plaza or alongside an entrance driveway, not closer to the street than the "build to" line. Said sign shall not exceed the lesser of four (4) sf. per individual business, or a maximum of 32 sf. total display area.

- 4) Internally illuminated, non-flashing, non-animated signs shall be permitted. Externally illuminated signs shall also be permitted provided that they are lit by incandescent fixtures with shielded or concealed light sources.
- 5) Freestanding signs shall not exceed a height of ten (10) feet, and shall be set back a minimum of fifteen (15) feet from the curbline of the street.
- 6) The lowest portion of any projecting sign shall not be lower than ten (10) feet from the surface of the ground or sidewalk, and shall not be higher than the eaves or rafter line.
- 7) One (1) wall sign shall be permitted for each business that has an individual exterior entrance open to the public, with a maximum of two (2) wall signs per building. The display area of wall sign for any one wall shall not exceed one (1) square foot for each linear foot of building width, with a maximum of fifty-five (55) square feet, provided that the maximum vertical dimension shall not exceed three (3) feet.
- 8) One etched or painted permanent window sign shall be permitted in one storefront window of any retail or commercial business, providing it does not exceed twenty (20) percent of the window area.
- 9) One awning or canopy sign shall be permitted on the vertical fringe of the awning or canopy providing the maximum letter height does not exceed eight (8) inches.

d) Exempted Signs

The following signs shall be deemed to be exempted from requiring a sign permit under this section. Exemptions shall not be construed as relieving the owner of the responsibility of complying with all applicable provisions of this chapter.

- 1) Temporary Signs - with the exception of holiday decorations and displays, not more than two (2) temporary signs shall be displayed at one time.
  - a. Real Estate Sign, providing the sign is not illuminated or animated, does not exceed six (6) square feet of display area on one side, and is removed the lesser of 180 calendar days or fifteen (15) days following the sale of the property.
  - b. Election Campaign Sign, providing the sign does not exceed twenty-four (24) square feet, and is removed within seventy-two (72) hours following the election to which it applies.
  - c. Sales Event Sign, providing the sign is not placed more than fourteen (14) days prior to the event, and is removed within

seventy-two (72) hours following the event.

- d. Temporary window signs shall not exceed fifteen (15) percent of the total storefront window area, providing the total area of all temporary signs does not exceed twenty-five (25) percent of the area of any individual window in which they are displayed, and that they are promptly removed upon termination of the sale or event, and shall not be displayed for longer than sixty (60) days.
  - e. Holiday Decorations, Signs and Displays commemorating traditionally accepted civil, patriotic or religious holidays.
  - f. Building Construction Signs, providing the sign is located on the same lot as the construction, the display area does not exceed twelve (12) square feet, and the sign is removed within thirty (30) days following the completion of the construction to which it pertains.
  - g. A portable swinger, "A" Frame or sandwich sign when utilized to advertize daily specials, special events, restaurant menu specials and the like, providing the sign is only displayed when the establishment is open for business.
  - h. Restaurant menu when displayed in a glass case affixed to the exterior building wall for that purpose, or when displayed on a signboard located in close proximity to the restaurant entrance. The area of the signboard or display case shall not exceed the menu size by more than thirty (30) percent.
- 2) Professional nameplates attached to the wall of buildings, providing the display area does not exceed three (3) square feet.
  - 3) Memorial or commemorative signs, tablets, bricks, etc. carved into a masonry surface or constructed of bronze or other durable, noncombustible material, providing the display area does not exceed three (3) square feet.
  - 4) Traffic or other regulatory signs erected by agencies of the government or as mandated for utilities.
  - 5) The changing of letters or numbers on signs designed for changeable lettering which have been legally erected for that purpose.
  - 6) Bulletin Boards with a display area less than fifteen (15) square feet providing it is located a minimum of fifteen (15) feet from the curbline of any street.

e) Prohibited Signs

The following signs shall be prohibited within the Town Centre District. Variance from this section may only be granted upon demonstration by the applicant and determination of the approving board that construction of a permitted sign would present practical difficulties, and that the proposed sign will be in keeping with the spirit and intent of this chapter.

- 1) It shall be unlawful to use a vehicle or a trailer as a sign in circumvention of this chapter.
- 2) Attraction devices which revolve, rotate, or otherwise move shall not be permitted as either a sign or as an add-on to a sign within the Town Centre District.
- 3) Trademarks or brand names may not be advertised on any sign unless the commodity is available in the establishment.
- 4) Roof signs shall not be permitted.
- 5) Signs which present lewd language or sexual depictions shall not be permitted.
- 6) Banners and balloon type advertising devices shall not be permitted.

f) Maintenance

All permitted signs are to be maintained in a safe, tidy, legible condition. All materials used in the construction and maintenance of signs shall adhere to the best accepted engineering practices. All free standing signs and the premises surrounding the same shall be maintained by the owner thereof in a clean, sanitary, and inoffensive condition, free and clear of all obnoxious substance, rubbish and weeds.

- 1) Any sign which is found by the building inspector or zoning officer to be unlawful, unsafe, insecure, abandoned, dilapidated, or contains a message not permitted herein, shall be required to be removed or repaired by the sign owner as directed by said inspector or officer. For all signs except those deemed unsafe, the property owner shall be allotted a reasonable time, not to exceed fifteen (15) days to make the necessary repairs or corrections. Failure to comply with the directive of the building inspector or zoning officer, shall cause the sign in violation to be repaired or removed.
- 2) The building inspector may cause the immediate removal without notice



of any sign deemed to be unsafe or hazardous to the public. Such signs or other advertising structures are hereby declared to be a public nuisance. When any sign is summarily removed without notice, the owner or lessee thereof shall have the right to a post-seizure administrative hearing before the Mayor and Council to determine whether there was probable cause to remove the sign.

- 3) Signs for any business that has ceased operation for sixty (60) or more days, shall be removed by the sign owner or lessee. Upon failure to remove said sign within thirty (30) days upon written notice from the zoning officer or building inspector, the zoning officer or inspector may cause the removal of said sign.
- 4) The expense for any repair or removal, directed by the building inspector or zoning officer, and any work incidental to the repair or removal, shall be charged to the owner of the property upon which the sign is located and shall constitute a lien on the property.

#### 4. Fences and Walls

- a. Residential front yards may be separated from sidewalks by decorative walls, hedges or picket fences 2- to-3 feet high, or wrought iron fences up to 5 feet high.
- b. Rear yards may have solid fences or hedges up to 6' high.
- c. Cinder block, railroad tie walls, stockade, board on board, solid and chain link fences are strictly prohibited in the front yard in all TCD Zones.

#### 5. Parking Requirements

- a. The minimum parking requirement for Zones TCD-1A (Main Street Business District), TCD 1B (Neighborhood Business District), and TCD 2 (Civic/Community District) shall be based on shared parking at the rate of 1 parking space per three hundred (300) square feet of G.F.A. Parking for individual uses that are not served by a common parking lot, a municipal parking lot, or a shared parking arrangement, shall be provided in accordance with the "Schedule of Required Parking Spaces" Appendix F of the Land Development Ordinance.
- b. Parking for residential zones TCD 3A, TCD 3B, TCD 3C, TCD-R15, TCD-R40, TCD-R80 and TCD-ARC 2, shall be provided at the rate of 2.0 parking spaces per single family, duplex or townhouse unit. Multi-family units shall be provided with 1.75 parking spaces per dwelling unit.
- c. Parking lots shall be primarily located to the rear of buildings. Parking lots may, at the discretion of the approving board, be located to the side of a building

providing: a) There are no other gaps greater than 10 feet between buildings except for walkways and courtyards for a distance of 400 feet in each direction measured along the "build to" line, b) The parking lot is found to be essential to serve the visitors and customers of the proposed use, c) Access to the lot is not less than 300 feet (measured along the street line) from any street intersection or other driveway access into the site, and d) No portion of the lot other than the access driveway shall be located beyond the building face or "Build to" line (whichever is greater), and the lot is buffered from view from the street by a decorative wall, shrubs, or other landscaping feature that continues the line of building fronts (see illustration).

- d. Twenty percent (20%) of the surface area of a parking lot located in any TCD zone shall be landscaped and shall comply with the provisions of section 10-4 of the Land Development Ordinance (Landscaping for Parking Areas). At least one (1) shade tree shall be provided for every ten (10) parking spaces.
- e. All on-site, off-street parking areas shall be lit in accordance with the provisions of section 10-5 (Lighting) of the Land Development Ordinance.
- f. Cross-agreements/deed restrictions shall be provided for all parking lots serving three or more businesses in order to encourage patrons to travel throughout the district. Parking lot owners may request Title 39 to provide police coverage.
- g. The duration of on-street parking shall be limited to four (4) hours. Applicable signage shall be provided. At the discretion of the owner, parking lots may also have time limits of four (4) or more hours in order to discourage long term and commuter parking.

#### 6. Loading and Unloading Areas

- a. Loading spaces shall be provided in accordance with the provisions in Land Development Ordinance section 10-7B (Off-Street Loading), section 7-3 General Zone Bulk Requirements, 7-73 (Loading), Appendix G - Schedule of Minimum Loading Requirements and the provisions of this subsection. Businesses sharing a common parking area may also be permitted, at the discretion of the approving board, to share loading spaces upon a finding by the board that the location and number of loading spaces provided are adequate to mutually serve the various businesses.
- b. All on-site, off-street loading and unloading areas shall be located at the rear of the building. The approving board may allow loading spaces in locations other than the rear of buildings only when it finds that loading in the rear is not practical, or creates an unsafe or inadequate arrangement, and that the alternate location will be screened or buffered in a manner that protects the public viewshed.

- c. All on-site, off-street loading areas shall be lit in accordance with the provisions of section 10-5 (Lighting) of the Land Development Ordinance.

## 7. Buffers

- a. Buffers will not be required in the Town Centre District Zone, except where necessary to create a transitional edge and to create a visual screen separating non-residential zoning districts from residential zoning districts. Wherever possible, existing vegetation will be used to integrate differing development intensities.
- b. A landscaped buffer may be required at the discretion of the approving board to separate existing residential neighborhoods from civic or commercial districts. The width of said buffer, when required, shall not be less than fifteen (15) feet or greater than fifty (50) feet.
- c. A landscape buffer shall be provided in commercial zones 1A and 1B wherever it abuts a residential zone. Said buffer must provide a visual screen through all seasons and may include a variety of vegetative materials, but in no case shall the buffer be less than fifteen (15) feet or greater than fifty (50) feet.

## 8. Lighting and Illumination

- 1. Illumination provided by artificial lighting on properties within zoning districts TCD 1A, TCD 1B, and TCD 2 shall not exceed 0.5 footcandles beyond any common boundary line between the commercial or civic district and any residential district.
- 2. Illumination provided by artificial lighting on any property in zoning districts TCD 3A, TCD 3B, and TCD 3C, shall not exceed 0.5 footcandles beyond any property line as measured on the ground.
- 3. Spotlights or other artificial lighting used to illuminate signs, building faces or other objects shall not be located in such a manner as to cause the beams of light to reflect upon any adjoining property, public street or vehicular circulation area.
- 4. The height of the light fixture, ie., the distance from the ground to the top of the luminaire, shall not exceed eighteen (18) feet.
- 5. Artificial light sources illuminating streets, alleys, parking lots, walkways, courtyards and other such public areas shall have a color rendering index equal to or greater than 80.

6. Lamps intended to be dedicated to or otherwise maintained by a public entity shall have a minimum rating of not less than 80,000 hours.
7. Street lamps shall be of an antique style as depicted in the illustration entitled, Street Lamp Detail, no. TCD 19, and shall be generally located as shown on the illustration TCD-4 entitled, "Town Centre District Typical Half-Width Streetscape."

## E. TCD Design Standards

In addition to the design standards otherwise set forth in this Article X, of the Land Development Ordinance, the following design standards shall apply to all development in the Town Centre District. Where the standards contained herein conflict with the standards otherwise set forth in Article X, the standards herein shall govern.

### 1) Streets

- a. The street layout proposed for the District is a modified grid street pattern and is illustrated in the Concept Plan - Town Centre District, dated: January 20, 1998, revised: March 26, 1998; hereafter referred to as the Concept Plan.
- b. Route 516 from approximately Higgins Road to Route 9 is the main commercial street and Cottrell Road from Old Bridge Plaza, Old Bridge Mews to the northerly property line of Rosegate is the secondary commercial street. Both streets are intended to be designed to AASHTO Urban Collector standards specifically:

Design Speed	35 mph (post at 25 mph)
Stopping Sight Distance	260 ft. Minimum
Roadway Width: thru lane	12 ft.
Roadway Turning Lane	12 ft.
Roadway Parking Lane	10 ft.
(On-Street parking is not permitted on Route 516)	
Median	14 ft.
Median Openings	Space at Reasonable Distance Provide at Major Driveways
Sidewalk Width	15 ft - 25 ft.
Horizontal Clearance to Obstructions (such as trees)	2ft. 6ft. In median
Right of Way Width	100 ft.

Streets other than Route 516 and Cottrell Road shall be designed as village streets: 30 ft. wide cartway with parking on one side or 36 ft cartway with parking permitted on both sides.

- c. While some variation in this modified grid pattern may be acceptable, existing street locations dictate to a large extent where the roads should locate in order to align roads and major driveways from tract to tract. The Concept Plan offers the following alignments and parameters.

Variation may be permitted by the approving board, if the board concludes that a variant plan achieves the goals of effectively linking properties for cross-access for vehicles and pedestrians, does not hinder historic preservation, and presents minimal disruption to continuity of commercial uses.

1. Northwest corner of Route 516/Cottrell Road - access points align with the municipal complex drive on Cottrell Road; Bradford Drive; and the access to Route 516 from the southeast corner (alignment is shown between the Cottrell house and carriage house to preserve the historic structures).
  2. Southeast corner - access aligns with access from northeast corner (between Cottrell Estate buildings).
  3. Southwest corner - access aligns with the municipal complex driveway on Route 516 and Thames Drive on Cottrell Road.
  4. The curb radii at intersections are to be as shown in the Concept Plan for Route 516 and Cottrell Road; and 15 ft. for village road intersections.
- d. Multifamily or townhouse residences having garages facing the rear of the dwelling may be served by a private lane or alley not less than 16 (sixteen) feet in width, providing there is no on-street parking. An additional 8 (eight) feet of pavement width may be provided for parallel parking.

## 2) Parking

- a. Parking space size, aisle width, etc., shall comply with section 10-7A except that curb-side (on-street) parking on Cottrell Road shall be provided in pairs, with striped, fourteen (14) feet long maneuvering zones between parking sets as illustrated in detail TCD-4.

## 3) Sidewalk and Bikeways

- a. Sidewalks in the primary business areas, ie, zones TCD 1A and TCD 1B shall generally cover the area from the curbline to the building face as illustrated in the drawings TCD -4- "Typical Half-Width Streetscape;" TCD- 6 "Main Street Cross-Section"; TCD-7, "Minor Street Cross-

Section; TCD-8 "Sidewalk and Paths", and TCD-8A, "Sidewalk and Bikeway Location Plan".

- b. Sidewalks on all other streets in all other districts shall be six feet wide as shown on the drawings TCD-7, "Minor Street Cross-Section," TCD-8 "Sidewalk and Paths:" and TCD-8A, "Sidewalk and Bikeway Location Plan".
- c. Each residential neighborhood or development in the Town Centre District shall incorporate on-site and off-site sidewalks, pathways and bikeways and linkages to directly or indirectly connect the neighborhood or development to the village center civic and business districts.

#### 4) Landscaping

All landscaping design standards specified in the Land Development Ordinance section 10 - 4, Landscaping, shall apply in the Town Centre District except as specifically regulated or modified in the Town Centre District bulk and design standards presented herein.

##### a. Shade trees

##### (1) Street Trees

- (a) Street trees in the TCD shall be spaced approximately 40 feet on center as depicted on illustration no. TCD-4, Typical Half-Width Streetscape, and shall be planted in accordance with the Street Planting Detail, illustration no. TCD-21.
- (b) Street tree grates conforming to illustration TCD-27 shall be provided for each tree planted in a sidewalk or walkway area.
- (c) Street trees planted on Route 516 and Cottrell Road shall be London Plane.
- (d) Street trees on all roads in the Town Centre other than Route 516 and Cottrell Road shall be of the following types:  
Village Green Zelkova  
Littleleaf Linden

Thornless Honey Locust  
Green Ash  
Regent Scholar Tree  
London Plane  
Hackberry  
Bradford Callery Pear  
Redspire Pear  
Red Maple  
October Glory Red Maple

Streets in existence at the time of enactment of this ordinance are not subject to the above tree choices. Replacement of trees on those streets may be either in keeping with the existing variety or chosen from among the above.

- (2) Shade trees in parking lots shall be provided at the rate of one tree for every ten (10) vehicle parking spaces. Trees shall be interspersed throughout the parking lot as depicted in illustration no. TCD-25. Preferred locations are in planting islands and along the edge of pavement, particularly along southerly and westerly exposures to combine shade with landscape aesthetics.
- (3) The subsoil for trees planted in or within fifteen (15) feet of a sidewalk, bikeway, pavement, or other surface where there is a danger of heaving caused by the tree roots, shall be prepared in accordance with the Cornell University Urban Horticultural Institute's specification for "structural soil".

b. Street Furniture

- (1) Street furniture on Route 516 and Cottrell Road shall generally be located within the étalage, the 5 foot brick paver area between the concrete sidewalk and the concrete bikeway (see illustration no. TCD-4).
- (2) Benches shall be generally located on the east side of trees on Route 516 and on the north side of trees on Cottrell Road to provide optimum shade.
- (3) Flower pots, precast planters, raised flower beds and boxes, combination raised flower beds and seating, and the like shall be



generally located midway between trees. Additional planters may be located at other points within the étalage or the petit étalage.

- (4) Other street furniture including, but not limited to trash and recycling receptacles, smokers urns, postal drop boxes, and bicycle racks shall generally be located within the étalage in the commercial and civic districts, and within the two (2) foot brick paver strip in the residential districts.

c. Vegetative and decorative materials

- (1) Concrete, and brick paver walkways, and concrete bicycle lanes may be counted as part of the required landscape area, and shall be constructed in accordance with illustration no. TCD-4, Typical Half-Width Street Detail, and illustration no. (TCD-8 ), Sidewalks and Pathways as applicable.
- (2) Perennial and annual plants are encouraged throughout the Town Centre. Planting materials should be chosen to provide interest through location, variety, duration of blooming season, winter color and how they complement their surroundings. Care should be taken to avoid the creation of obstructions to driver vision.
- (3) Plant materials should be confined to native species. Plants should be chosen for their low maintenance and adaptability to soil and environmental conditions.
- (4) Planting beds should be mulched to protect against evaporation and to reduce weeding and maintenance time. Mulching materials may be of a vegetative material such as pine bark, or wood chips, or may be of a hard, durable material like decorative stones which may also be used to border the beds for a more interesting effect.

5) Lighting and Illumination

- a. All lighting design standards specified in the Land Development Ordinance section 10-5, Lighting, shall apply in the Town Centre District except as specifically regulated or modified in the Town Centre District bulk and design standards presented herein.
- b. All new wiring shall be underground.

- c. Light sockets shall be provided at each street tree grate on Cottrell Road and Route 516 in concert with the illustration entitled, Tree Grate Detail, no. TCD 27. These sockets are to be provided for temporary use such as holiday lighting and displays.
- d. A variety of lamps with different color temperatures may be used to accentuate, highlight or dramatize interesting architectural features of buildings, fountains, courtyards, sculptures, etc. This highlighting is intended to provide for building enhancement and shall not be used to completely illuminate a building facade or sign in a manner which amplifies advertizement.
- e. Lamps in all public areas shall be of a low mercury type (6 mg. mercury or less).
- f. The direction and illumination from outdoor artificial lighting should not be directed in such a way as to create night light glare or light pollution in the sky or heavens.

6) Architecture

Architecture within the Town Centre District shall not be restricted to a specific style, material or color, but should draw from the character of the district. Styles and finishes may incorporate such features as the municipal complex brickwork, clapboard or stonework from the Cottrell Estate dwelling and carriage house, or other attributes which serve to highlight and compliment existing buildings.

a. Retail architecture

Architectural standards for the retail core (TCD A) of the Town Centre District are intended to encourage buildings that convey character, beauty and distinctive design in a compact setting which promotes pedestrianism. Architectural style may vary from building to building in order to create interest; however, buildings should be compatible with and respectful of each other. The approving board shall review architectural designs for the Town Centre to determine whether each building and its setting is appropriate for the TCD theme of traditional development. Approval of architectural design shall be based on the following:

1. The proposed structure(s) is compatible to surrounding buildings in height and width.
2. In order to promote walking from building to building, the width of any individual commercial building front shall not be greater

than 40 feet, and street-side entrances shall not be spaced greater than 60 ft apart. Buildings should abut each other to provide a continuous line of store fronts along the street sidewalk. Alleys between buildings are discouraged.

If the approving board determines that a gap interrupting the continuous line of store fronts is unavoidable because of site constraints or installation of features necessary for the sustainability of the business, a decorative wall, shrubs, hedges, alcove with benches, or other means shall be utilized to continue the look set by the building line.

3. Building sides facing a public or private street, internal open space, courtyard or pedestrian way shall be provided with a finish which is aesthetically comparable with the front facade treatment. Buildings on corner lots shall require two (or more) front facade treatments.
4. Buildings shall avoid long, monotonous, uninterrupted walls or roof planes. Buildings wider than 40 feet as viewed from any side requiring a finished facade treatment (see number 3), shall be modulated to break the facade or to give the appearance of several buildings. Projections, recesses, height variations, fenestrations, awnings or other means shall be used to avoid long blank wall faces. Similarly, roof line variations and dormers are encouraged. Plain, utilitarian buildings are discouraged.
5. Brick or masonry building faces requiring front facade treatments shall be architecturally emphasized through fenestration, enhancement treatment and details.
6. The major features of the front facade treatment shall be continued around all visibly exposed sides of a building. All sides of a building shall be architecturally designed to be consistent with regard to style, materials, colors and details.
7. All visibly exposed sides of a building shall have an articulated base course and cornice. The cornice shall terminate or cap the top of a building wall, may project horizontally out from the building plane, and may be ornamented with moldings, brackets or other enhancement features. Belt or string courses may be used to divide sections or building stories.

8. Gable roofs with a minimum pitch of 9/12 are encouraged, and should provide eaves overhanging at least one foot on all sides. Flat roofs should be avoided on one story buildings, and on taller buildings should be provided with a cornice treatment as described above. Mansard roofs are generally discouraged, particularly on buildings less than three stories in height. architectural embellishments that add visual interest to roofs, such as dormers, belvederes, masonry chimneys, cupolas, clock towers, and other similar elements are encouraged.
9. All public entrances to a building shall be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticoes, porches, overhangs, balustrades, etc. Any such element shall be compatible with the building's architectural style, materials and colors. The primary entrance should be located at the street-side sidewalk for direct access to the concourse and trottoir.
10. Fixed or retractable awnings are permitted at the ground floor level; however, one long continuous awning or roof covered walkway as typically utilized in strip retail centers is discouraged. Canvas is the preferred material, although other water-proof fabrics may be used. Metal awnings are prohibited.
11. Light fixtures and other building attachments shall be compatible with the architectural style, materials and colors of the building. Examples are illustrated below. Low or high pressure sodium, mercury vapor, or fluorescent lighting is discouraged unless it can be demonstrated to the satisfaction of the approving board that it is compatible with the Town Centre ambience.
12. All air conditioning units, HVAC, exhaust pipes, stacks, satellite dishes, elevator housings, etc, shall be thoroughly screened from view.
13. Display windows for all retail buildings shall comprise at least 60 percent of the ground floor level facade facing any street. Display windows shall not be covered by opaque materials which block or obscure the view of displays or goods inside.
14. Single story buildings should be kept to a minimum to provide a viewshed which is appropriately proportioned to the street as

illustrated in figure TCD-5. Architecture which gives the appearance or produces the proportionate effect of a second story may be accepted by the approving board in lieu of true second stories.

15. Residential apartments, and offices located above retail shall have an entrance separate from the retail use. Second story balconies may be provided.
16. Facade colors shall be primarily low reflectance and subtle, neutral or earth tone hues. Brighter colored trim and accents are permitted with the exception of metallic or fluorescent colors or neon tubing.

**b. Office and other nonresidential/non-retail**

The architecture of offices and other nonresidential buildings other than churches and existing civic buildings shall generally follow the guidelines set forth for retail buildings with the exception of the provision of display windows. Existing and proposed civic buildings are encouraged to enhance street faces utilizing the above techniques to the extent possible.

**c. Residential architecture**

1. Residential garages should be located to the rear or side of the building, and may be served by an access lane. Garages with the vehicle entrance facing the street shall be set at least two feet behind the front face of the dwelling, or four feet from the front line of a protruding front porch, so as not to be the prominent feature of a residential unit.
2. Residences should be raised two feet or more above the elevation of the sidewalk.
3. Front porches shall be provided for all new single family detached, duplex and townhouse dwellings. Porches should be a minimum of 80 (eighty) sf., and should contain a decorative, safe, perimeter railing. A stoop or landing at the top of a set of steps in and of itself would not constitute a front porch as stipulated herein.

7) Courtyards and Plazas

Courtyards and/or plazas shall be provided at a minimum rate of 200 sf per gross acre. The total required courtyard area may be in one location or an aggregate of smaller courtyard/plaza areas. Each area should feature landscaping materials, plant varieties, brick pavers, benches and/or other attributes that create interest. Plazas and courtyards should relate to nearby buildings or to a specific theme. For instance, the courtyard shown to be located between the Municipal Complex and Route 516 (Main Street) on the TCD Concept Plan, is positioned where it may serve the Municipal Building, the Human Resource (Senior Center) Building, a future community theater and perhaps future retail or restaurants across Main Street.

8) Pushcarts and Kiosks

The peddling of goods, wares, or merchandise shall be restricted in the Town Centre District to zones TCD 1A, TCD 1B, and TCD 2, in accordance with the following:

a) Pushcarts from which merchandise is sold shall be:

1. not larger than four and one-half (4 ½) feet wide by six and one-half (6 ½) feet long.
2. constructed of, or have the appearance of being constructed of wood, and maintained such that there is no visible dirt or dinginess, peeling paint, or signs of disrepair.
3. located within the étalage such that they do not encroach into the trottoir or bicycle lane by more than one foot in either direction, thereby allowing pedestrian and bicycle passage without disruption to flow or safety.
4. located in such a manner that there is a minimum of five (5) feet clear, unobstructed area around the cart to allow free movement of pedestrians and browsers.
5. of a style which is in character with or compatible with the town centre theme (see illustration no. TCD-41).
6. shall not be vehicle towed. Pushcarts as used herein are intended to be in fixed locations, non-mobile and semi-permanent.

b) Kiosks from which merchandise is sold shall be:

1. not larger than 200 sf.
2. constructed of, or have the appearance of being constructed of wood, and maintained such that there is no visible dirt or dinginess, peeling paint, or signs of disrepair.
3. may be located in any area where buildings are permitted, and may also be located within or adjacent to courtyards, plazas, piazzas, parks, village greens and other open areas providing its location does not obstructed the free movement of pedestrians and browsers.
4. of a style which is in character with or compatible with the town centre theme (see illustration no. TCD-41).

9) Site Enhancement Features

Site Enhancement Features are amenities providing historical, aesthetic, or cultural interest. Site enhancement features may be provided by the owner or developer of the site or donated by any organization providing it meets the criteria described herein, is permitted on-site by agreement with the property owner, and is approved by the approving board. Plazas, piazzas and courtyards shall count toward site enhancement only to the extent they are larger (in aggregate) than the required minimum.

Site enhancement features may include, but shall not be limited to:

clock tower	fountain
courtyard, piazza or piazza	botanical gardens
monument	gazebo
landscaped duck pond	park/village green
sculpture, statue or other art feature	arboretum
restored buildings of historic or other interest	bandstand
rock garden	

Site Enhancement Features shall be categorized in one of three classes representing levels of aesthetic or other contribution. Proposed Features shall be categorized by the approving board. Since the aesthetic, cultural, or historic value of Features is subjective and can vary greatly, the following is provided as a benchmark to guide Board classification:

Class I:

A 9 ft. wide gazebo, like that which is located on the municipal complex (as of this writing) on the east side of the recreation building.

Class II:

The WWI Statue at Matawan Park, Matawan, NJ, illustration TCD-49.  
The Forestall Center fountain, Princeton, NJ, illustration TCD-45.

Class III:

The central courtyard of the Municipal Complex, including landscaping, benches, and other features, illustration TCD-42.

Matawan Park at Main Street and Broad Street, Matawan, NJ, illustration TCD-44.

Each site to be developed for non residential use shall provide a minimum of one Class I site enhancement feature for every two acres of gross tract area.

2 Class I = 1 Class II feature;

3 Class I = 1 Class III; etc.



## TCD DETAILS

<u>Illustration #</u>	<u>Detail/Illustration Title</u>
TCD 1	Overall Concept Plan
TCD2	Zoning Map
TCD 3	Main Street Intersection
TCD 4	Typical Half-Width Streetscape
TCD 5	Streetscape Proportion
TCD 6	Main Street Cross Section
TCD 7	Minor Street Cross Section
TCD 8	Sidewalks and Pathways
TCD 8A	Sidewalk and Bikeway Location Plan
TCD 9	Signs - Bikeway
TCD 10	Signs - Bikeway
TCD 11	Signs - Bikeway
TCD 12	Signs - Bikeway
TCD 13	Signs - Street and Directory (Reserved)
TCD 14	Signs - Town Centre District (Reserved)
TCD 15	Signs - Bulletin Boards and Kiosks
TCD 16	Signs - Projecting
TCD 17	Signs (Reserved)
TCD 18	Signs (Reserved)
TCD 19	Lighting Details
TCD 20	Lighting (Reserved)
TCD 21	Landscaping - Street Tree (with root guard)
TCD 22	Landscaping - Planters
TCD 23	Landscaping - Shrub Planting Details (Reserved)
TCD 24	Landscaping - Hanging Baskets (Reserved)
TCD 25	Landscaping - Parking Lot Layout
TCD 26	Landscaping - sidewalks, pathways, and memorial bricks
TCD 27	Landscaping - Tree Grate
TCD 28	Landscaping (Reserved)
TCD 29	Trash Receptacles (Reserved)
TCD 30	Benches (Reserved)
TCD 31	Bicycle Rack (Reserved)
TCD 32	Bus Shelters (Reserved)
TCD 33	Architecture - Styles- Commercial
TCD 34	Architecture - Styles - Residential
TCD 35	Architecture - Fenestrations - cupolas, dormers, etc.
TCD 36	Architecture (Reserved)
TCD 37	Architecture - Canopies
TCD 38	Architecture - Windows and Door Treatment - Commercial
TCD 39	Architecture - Windows and Door Treatment - Residential

TCD 40	Residential front yards and streetscapes
TCD 41	Kiosks and Pushcarts
TCD 42	Courtyard Example
TCD 43	Tot Lot Example
TCD 44	Park Common, Bandstand
TCD 45	Fountains
TCD 46	Clock Towers (reserved)
TCD 47	Botanical Gardens and Arboretums
TCD 48	Gazebo
TCD 49	Monument, Sculpture, Statue or other art
TCD 50	Restored Buildings

**TABLE TCD-  
TOWN CENTRE DISTRICT  
SCHEDULE OF AREA, HEIGHT & YARD REQUIREMENTS**

TCD ZONE														PRINCIPAL BUILDINGS										ACCESSORY BUILDINGS									
		MIN LOT				MIN LOTMIN NON				HEIGHT										HEIGHT													
		DU/AC	AREA	SQ FT	WIDTH	CRIT.	FRONT	1 SIDE	2 SIDES	REAR	STORIES	FEET	SIDE	REAR	STORIES	FEET	FAR	LAR															
1A	MAIN ST. BUSINESS DISTRICT	(b)	5,000		40 FT.	80%	13(a)	0	0	0	3	35	0	0	2	30	0.35	0.40															
1B	NEIGHBOR BUSINESS DISTRICT	(b)	5,500		55 FT.	80%	13(a)	0	0	0	3	35	0	0	2	30	0.35	0.40															
2	CIVIC/COMMUNITY	N/A	20,000		100 FT.	65%	13(a)	20	40	50	3	35	10	10	2	30	0.35	0.40															
3A	HIGH DENSITY RESIDENTIAL	2.4(c)	15,000		100 FT.	65%	13(a)	15	40	40	2-1/2	35	10	10	1-1/5	15	0.20	0.50															
3B	MED/HIGH DENSITY RESIDENTIAL	2.4(c)	15,000		100 FT.	65%	13(a)	15	40	40	2-1/2	35	10	10	1-1/5	15	0.20	0.50															
3C	MEDIUM DENSITY RESIDENTIAL	2.4(c)	15,000		100 FT.	65%	13(a)	15	40	40	2-1/2	35	10	10	1-1/5	15	0.20	0.50															
R15	MED. DENSITY RESIDENTIAL	2.4	15,000		100 FT.	75%	13(a)	15	40	40	2-1/2	35	10	10	1-1/5	15	0.20	0.50															
R40	LOW DENSITY RESIDENTIAL	0.9	40,000		100 FT.	65%	50(a)	20	40	75	2-1/2	35	10	10	1-1/2	15	0.19	0.50															
R80	LOW DENSITY RESIDENTIAL	0.5	80,000		100 Ft.	50%	50(a)	20	40	100	2-1/2	35	10	10	1-1/2	15	0.13	0.65															
ARC2	AGRICULTURE/CONS.	0.5	80,000		100 FT.	50%	50(a)	20	40	100	2-1/2	35	10	10	1-1/2	15	0.09	0.75															

- (a) Setback shall be 13 ft. on Cottrell Road and Route 516, and 15 ft. on secondary roads. The "Build To" line is 25 ft. from the curb line.
- (b) Dwelling units are permitted only above commercial in Zones 1A and 1B. All dwelling units shall comply with the minimum square footage requirements.
- (c) Transfer option may be used to achieve up to 10 DU/AC in Zone 3A; 8 DU/AC in Zone 3B; and 7 DU/AC in Zone 3C;

SR08/TOWNCENTER/BULKREQU

TABLE TCD-II  
TOWN CENTRE DISTRICT  
TRANSFER OPTION PERMITTED HOUSING TYPES

HOUSING TYPE	DU/AC AREA	MIN LOT WIDTH (FT)	MIN NON CRIT (%)	PRINCIPAL BUILDINGS				ACCESSORY BUILDINGS					
				SETBACKS				HEIGHT					
				FRONT	1 SIDE	2 SIDES	REAR	STORIES FEET	SIDE REAR (FT)	STORIES FEET	HEIGHT	FEET	FEET
MULTI-FAMILY	10	4 AC	300	(b)	50(b)	100(b)	20	2	50	20	2	30	0.45
TOWNHOUSE	8	2000SF	20	(b)	50(b)	100(b)	25	2	3	3	1-1/2	15	0.30
DUPLEX	8	7000SF	70	13(a)	10	20	25	2-1/2	3	3	1-1/2	15	0.60
SINGLE FAMILY DETACH	7	5000SF	50	13(a)	10	20	25	2-1/2	3	3	1-1/2	15	0.40

- (a) Setback shall be 13 ft. on Cottrell Road and Route 516, and 15 ft. on secondary roads. The "Build To" line is 25 ft. from the curb line.
- (b) See Section 7-3B Building Spacing Between Residential Structures of Similar Types.

TOWN CENTRE DISTRICT		PERMITTED USES										
USE		ZONES										
		TCD-1A	TCD-1B	TCD-2	TCD-3A	TCD-3B	TCD-3C	TCD-R15	TCD-R40	TCD-R80	TCD-ARC2	
RESIDENTIAL												
SINGLE FAMILY DETACHED DWELLING					X	X	X	X	X	X		
TWO-FAMILY DWELLING					X	X						
TOWNHOUSE DWELLING					X							
MULTI-FAMILY DWELLING					X							
APARTMENT DWELLING					X							
RELIGIOUS QUARTERS		C	C									
MANUFACTURING												
TRANSPORTATION, COMMUNICATIONS & UTILITIES		C	C						C	C	C	
TAXICAB TRANSPORTATION, LIMOUSINE SERVICES AND OTHER VEHICLES FOR HIRE OR RENT			C									
RADIO & TV COMMUNICATIONS, RECORDING & STUDIOS		X	X	X	X	X	X	X				
TRANSPORTATION TICKET SERVICES		X	X	C		X						
RETAIL TRADE												
HARDWARE AND SUPPLIES												
VARIETY STORES		X	X									
DRY GOODS & GENERAL MERCHANDISE		X	X									
FOOD, GROCERIES		X	X									
APPAREL & ACCESSORIES		X	X									
FURNITURE, HOME FURNISHINGS & EQUIPMENT		X	X									
EATING & DRINKING PLACES-NON AUTO ORIENTED		X	X									
DRUG & PROPRIETARY		X	X					C				
LIQUOR, PACKAGE		X	X									
ANTIQUES & COLLECTIBLES		X	X									
BOOKS, STATIONERY, ART & HOBBY SUPPLIES		X	X			X						
SPORTING GOODS, BICYCLES AND TOYS		X	X									
FARM & GARDEN SUPPLIES												
JEWELRY			X									
MISC. RETAIL TRADE, NEC. EXCEPT ADULT BOOK STORES		X	X									
SERVICES												
FINANCE, INSURANCE & REAL ESTATE												
LAUNDERING, DRY CLEANING & DYING		C	X			X						
PHOTOGRAPHIC SERVICES		C	C			C						
BEAUTY & BARBER SERVICES		X	X			X						
APPAREL REPAIR, ALTERATION		X	X			X						
CLOTHING & COSTUME RENTAL		X	X			X						
CREDIT AND COLLECTION SERVICES		X	X			X						
DUPLICATING, MAILING, STENOGRAPHIC & OFFICE		C	X			X						
DWELLING & OTHER BUILDING SERVICES		C	X			X						
EMPLOYMENT SERVICES		C	C			C						
MESSINGER SERVICES		C	X			X						
AUTOMOBILE REPAIR SERVICES		C	X			X						
ELECTRICAL APPLIANCE REPAIR SERVICE			C									
PROFESSIONAL SERVICES EXCEPT HOSPITALS, SANITARIUMS, CONVALESCENT		C	C			C						
CONTRACT CONSTRUCTION SERVICES						X						
GOVT. SERVICES - ALL LEVELS, EXCEPT CORRECTIONAL INSTITUTIONS		C	C			C						
EDUCATIONAL SERVICES			X									
RELIGIOUS ACTIVITIES		C	C	C		C						
CULTURAL, ENTERTAINMENT & RECREATIONAL												
CULTURAL ACTIVITIES								X	X	X	X	
MOVIE THEATERS, INDOOR		C	C	X		C						
PUBLIC ASSEMBLY, MISC. PURPOSES		X	X	X								
MINIATURE GOLF		C	C	X								
SPORTS ACTIVITIES (CODE 741)								X		X	X	
RECREATION & COMMUNITY CENTERS			X	X	C	C	C	C	C	C	C	
RIDING ACADEMIES, SCHOOLS, STABLES								X	X	X	X	
SWIMMING POOLS				X								
AGRICULTURAL RELATED ACTIVITIES (CODE 81 & 82)		X	X	X	X	X	X	X	X	X	X	
AGRICULTURAL RELATED ACTIVITIES (CODE 829)			X									

SRtemp/towncenter/primeuse.ad2.

X = PERMITTED USE

C = CONDITIONALLY PERMITTED

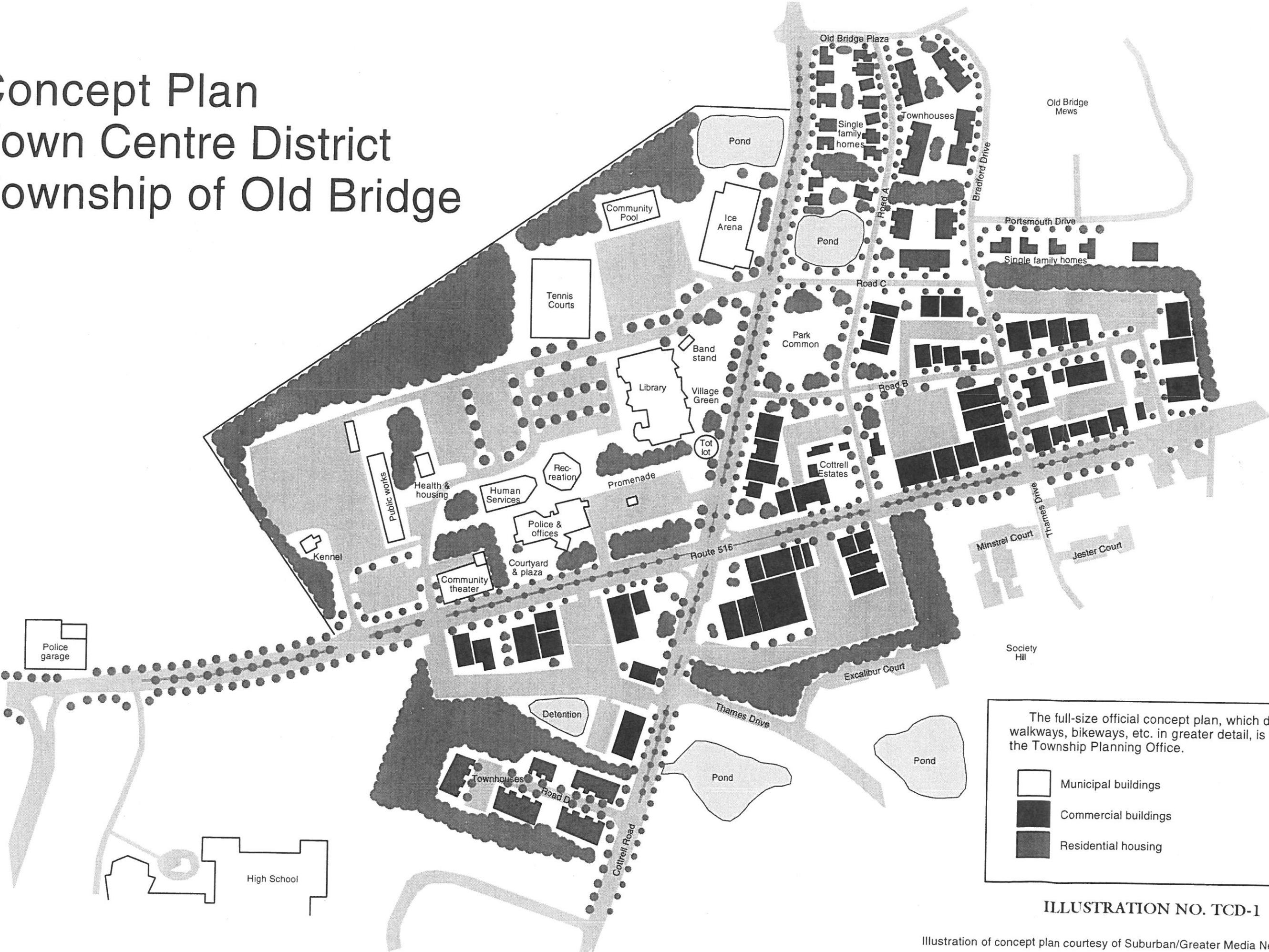
## TCD DETAILS

<u>Illustration #</u>	<u>Detail/Illustration Title</u>
TCD 1	Overall Concept Plan
TCD2	Zoning Map
TCD 3	Main Street Intersection
TCD 4	Typical Half-Width Streetscape
TCD 5	Streetscape Proportion
TCD 6	Main Street Cross Section
TCD 7	Minor Street Cross Section
TCD 8	Sidewalks and Pathways
TCD 8A	Sidewalk and Bikeway Location Plan
TCD 9	Signs - Bikeway
TCD 10	Signs - Bikeway
TCD 11	Signs - Bikeway
TCD 12	Signs - Bikeway
TCD 13	Signs - Street and Directory (Reserved)
TCD 14	Signs - Town Centre District (Reserved)
TCD 15	Signs - Bulletin Boards and Kiosks
TCD 16	Signs - Projecting
TCD 17	Signs (Reserved)
TCD 18	Signs (Reserved)
TCD 19	Lighting Details
TCD 20	Lighting (Reserved)
TCD 21	Landscaping - Street Tree (with root guard)
TCD 22	Landscaping - Planters
TCD 23	Landscaping - Shrub Planting Details (Reserved)
TCD 24	Landscaping - Hanging Baskets (Reserved)
TCD 25	Landscaping - Parking Lot Layout
TCD 26	Landscaping - sidewalks, pathways, and memorial bricks
TCD 27	Landscaping - Tree Grate
TCD 28	Landscaping (Reserved)
TCD 29	Trash Receptacles (Reserved)
TCD 30	Benches (Reserved)
TCD 31	Bicycle Rack (Reserved)
TCD 32	Bus Shelters (Reserved)
TCD 33	Architecture - Styles- Commercial
TCD 34	Architecture - Styles - Residential
TCD 35	Architecture - Fenestrations - cupolas, dormers, etc.
TCD 36	Architecture (Reserved)
TCD 37	Architecture - Canopies
TCD 38	Architecture - Windows and Door Treatment - Commercial
TCD 39	Architecture - Windows and Door Treatment - Residential

TCD 40	Residential front yards and streetscapes
TCD 41	Kiosks and Pushcarts
TCD 42	Courtyard Example
TCD 43	Tot Lot Example
TCD 44	Park Common, Bandstand
TCD 45	Fountains
TCD 46	Clock Towers (reserved)
TCD 47	Botanical Gardens and Arboretums
TCD 48	Gazebo
TCD 49	Monument, Sculpture, Statue or other art
TCD 50	Restored Buildings



# Concept Plan Town Centre District Township of Old Bridge



The full-size official concept plan, which depicts walkways, bikeways, etc. in greater detail, is on file in the Township Planning Office.

- Municipal buildings
- Commercial buildings
- Residential housing

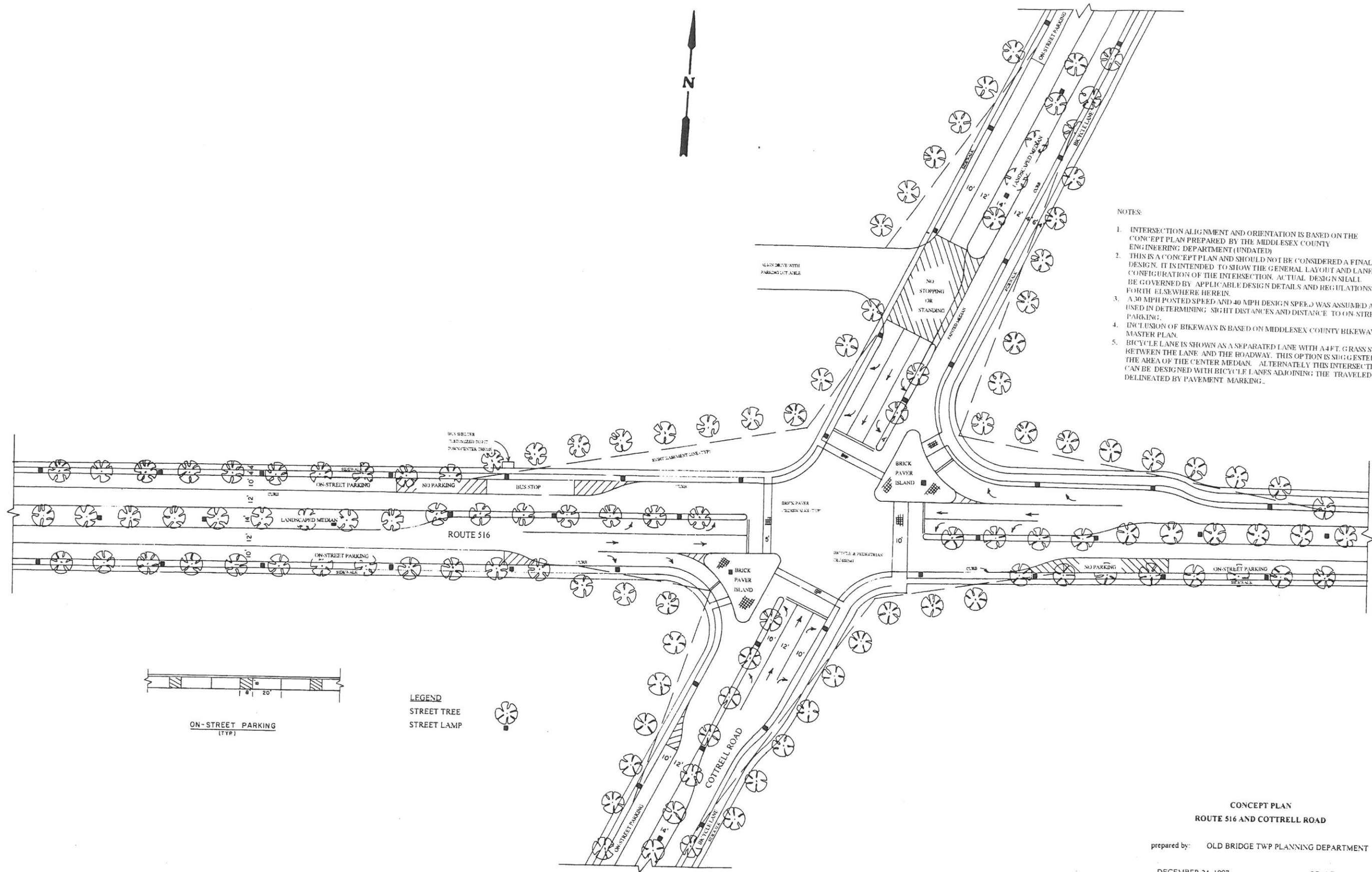
ILLUSTRATION NO. TCD-1

Illustration of concept plan courtesy of Suburban/Greater Media Newspapers

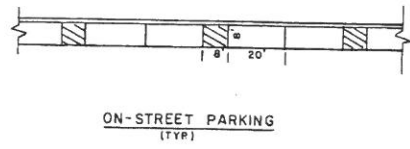








- NOTES:
1. INTERSECTION ALIGNMENT AND ORIENTATION IS BASED ON THE CONCEPT PLAN PREPARED BY THE MIDDLESEX COUNTY ENGINEERING DEPARTMENT (UNDATED).
  2. THIS IS A CONCEPT PLAN AND SHOULD NOT BE CONSIDERED A FINAL DESIGN. IT IS INTENDED TO SHOW THE GENERAL LAYOUT AND LANE CONFIGURATION OF THE INTERSECTION. ACTUAL DESIGN SHALL BE GOVERNED BY APPLICABLE DESIGN DETAILS AND REGULATIONS SET FORTH ELSEWHERE HEREIN.
  3. A 30 MPH POSTED SPEED AND 40 MPH DESIGN SPEED WAS ASSUMED AND USED IN DETERMINING SIGHT DISTANCES AND DISTANCE TO ON-STREET PARKING.
  4. INCLUSION OF BIKEWAYS IS BASED ON MIDDLESEX COUNTY BIKEWAY MASTER PLAN.
  5. BICYCLE LANE IS SHOWN AS A SEPARATED LANE WITH A 4 FT. GRASS STRIP BETWEEN THE LANE AND THE ROADWAY. THIS OPTION IS SUGGESTED IN THE AREA OF THE CENTER MEDIAN. ALTERNATELY THIS INTERSECTION CAN BE DESIGNED WITH BICYCLE LANES ADJOINING THE TRAVELED WAY, DELINEATED BY PAVEMENT MARKING.



LEGEND  
STREET TREE  
STREET LAMP

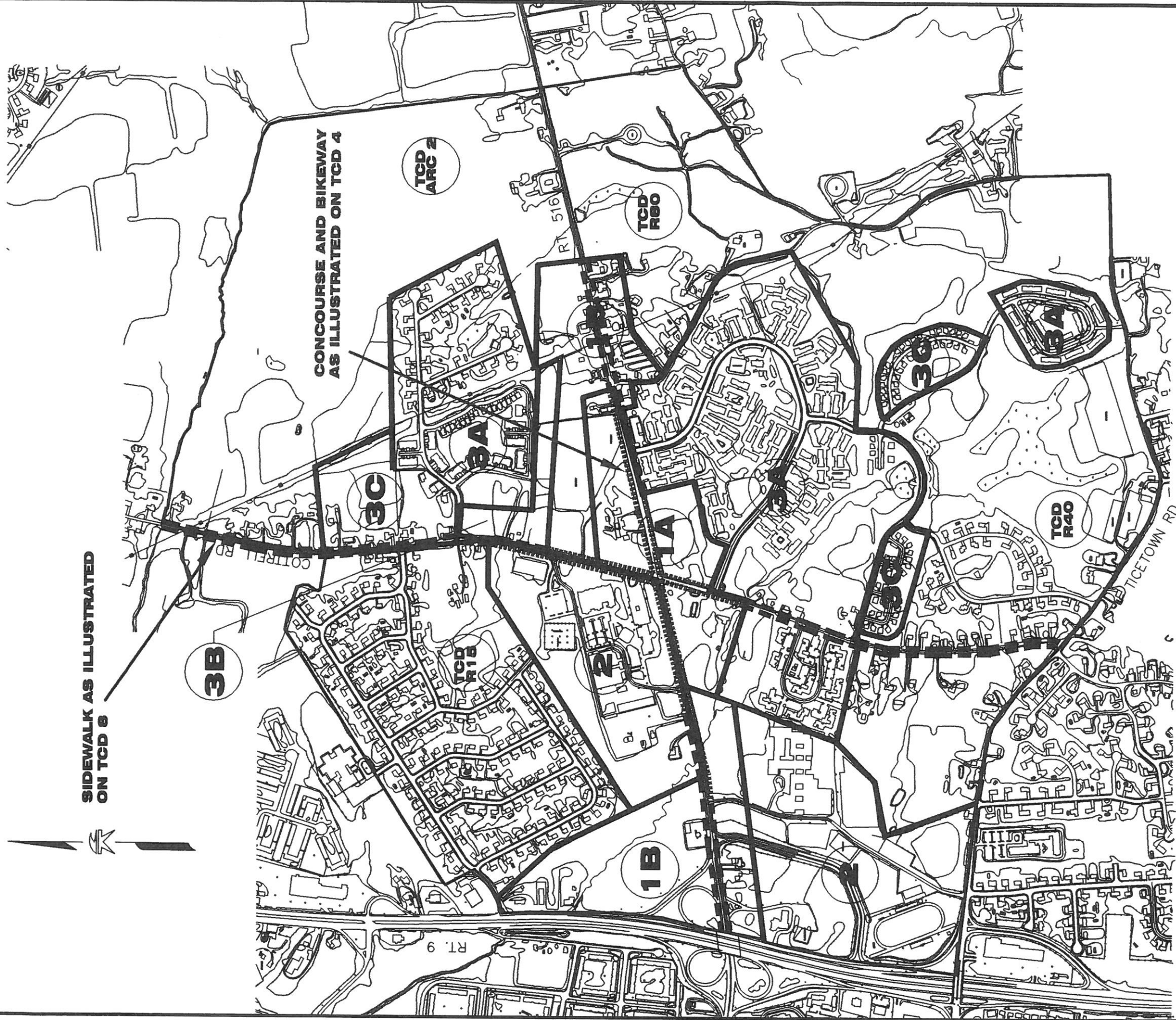
CONCEPT PLAN  
ROUTE 516 AND COTTRELL ROAD

prepared by: OLD BRIDGE TWP PLANNING DEPARTMENT

DECEMBER 24, 1997

SCALE 1" = 30'

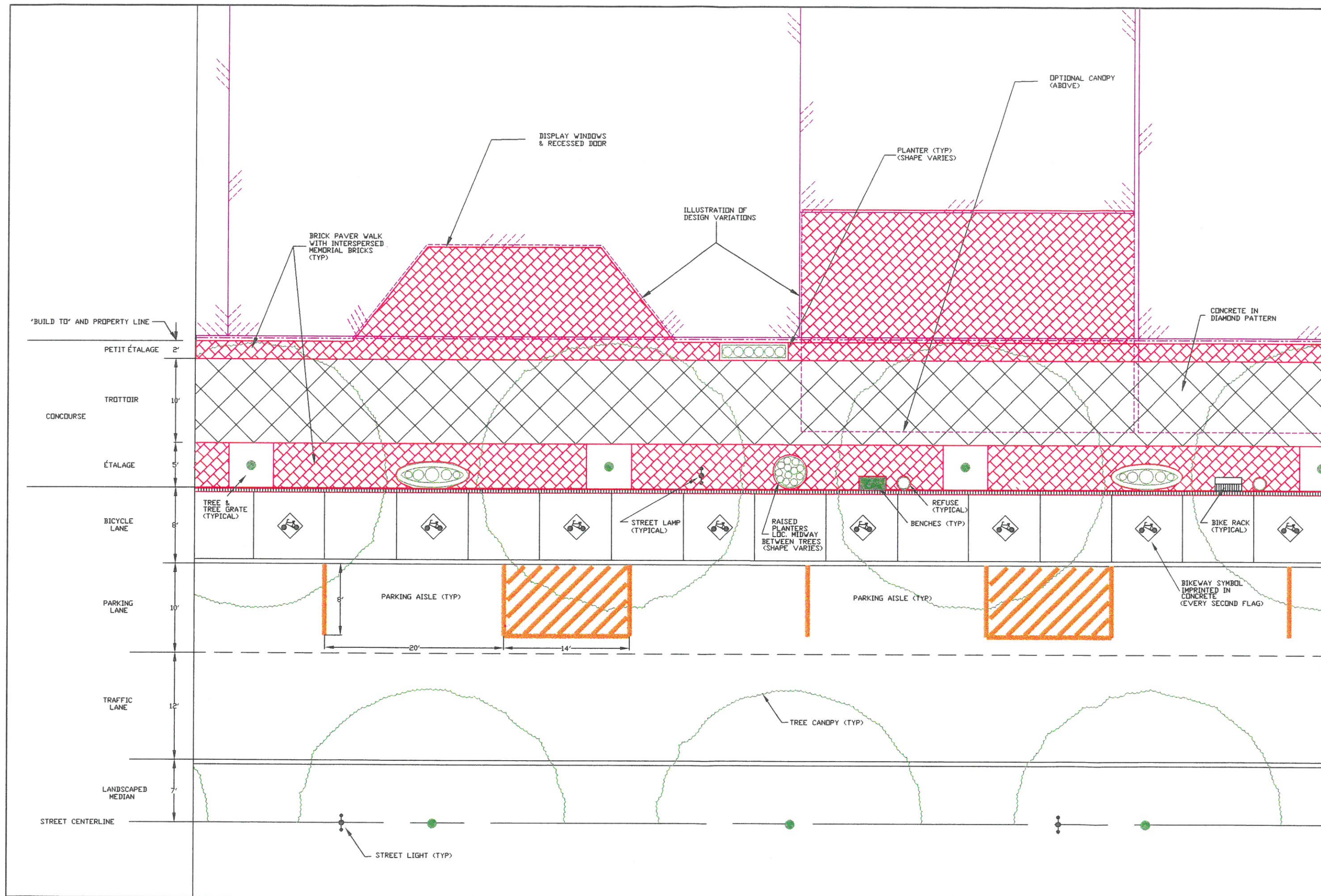
REVISED: JUNE 21, 2001



TOWN CENTRE DISTRICT  
SIDEWALK PLAN

SCALE: 1"=400'	DATE: APRIL 2000	ILLUSTRATION: TCD 8A
DRAWN BY: WA	CHKD BY: SR	ACAD FILE NO.: R:\TCD 40
TOWNSHIP OF OLD BRIDGE DIVISION OF PLANNING		
ONE OLD BRIDGE PLAZA, OLD BRIDGE TOWNSHIP MIDDLESEX COUNTY, NEW JERSEY 08857		
SEBASTIAN RIZZO, P.P., P.E.---TOWNSHIP PLANNER		



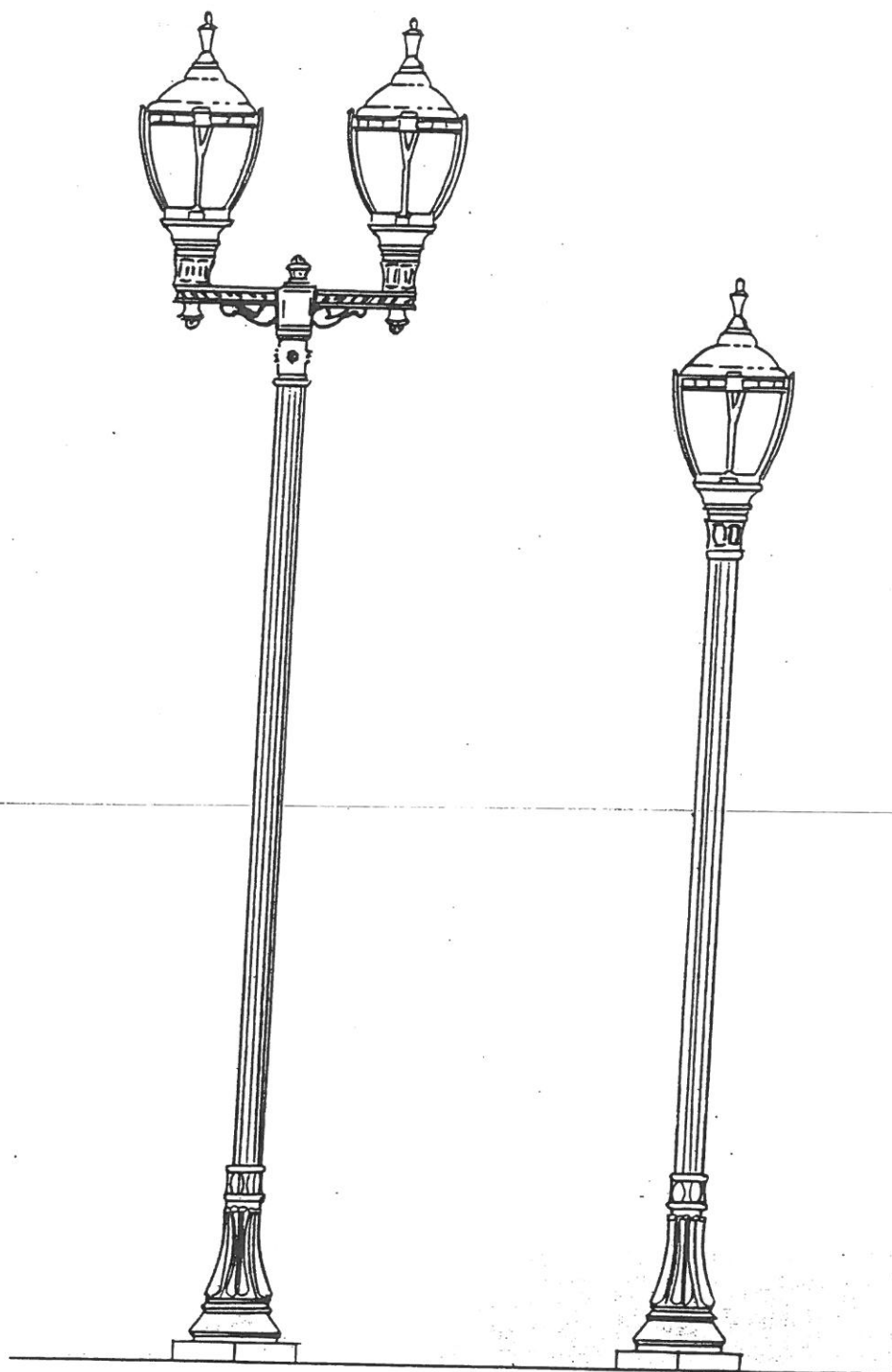


TOWN CENTRE DISTRICT  
TYPICAL HALF - WIDTH STREETSCAPE

SCALE:	DATE:	ILLUSTRATION:
1" = 10'	APRIL 03, 2000	TOD-4
DRAWN BY:	CHD BY:	ASD FILE NO.:
WA	SP	VERSION 3
TOWNSHIP OF OLD BRIDGE DIVISION OF PLANNING ONE OLD BRIDGE PLAZA, OLD BRIDGE TOWNSHIP INDUSSEE COUNTY, NEW JERSEY 08857		



- NOTES:
1. SHADE TREES SHALL BE PLACED AT 40' O.C.
  2. STREET LAMPS SHALL BE PLACED AT INTERVALS OF +/- 80' O.C.
  3. "FOUR HOUR PARKING" SIGNS SHALL BE PLACED AT INTERVALS ALONG THE CURB.
  4. INFORMATIONAL SIGNS AND KIOSKS SHALL BE PLACED AS NEEDED AT THE DISCRETION OF THE TOWNSHIP PLANNER
  5. BENCHES SHALL BE LOCATED ON THE EAST SIDE OF THE TREE ON RT.516 (MAIN STREET) AND ON THE NORTH SIDE OF THE TREE ON COTTRELL ROAD
  6. BICYCLE SIGNS SHALL BE PLACED AS NEEDED.
  7. WROUGHT IRON RAILING SHALL BE INSTALLED IN THE LANDSCAPE MEDIAN TO PREVENT MID-BLOCK CROSSINGS.



**NOTE:**

STREET LAMPS SHALL BE AN ANTIQUE STYLE SIMILAR TO THE ABOVE.



**TOWN CENTRE DISTRICT**

Lighting  
Street Lamp Detail

SCALE: NTS	DATE: 10-12-99	ILLUSTRATION NO. TCD-19
DRAWN BY: SR	CHK'D BY:	ACAD FILE NO:

**TOWNSHIP OF OLD BRIDGE  
DIVISION OF PLANNING**

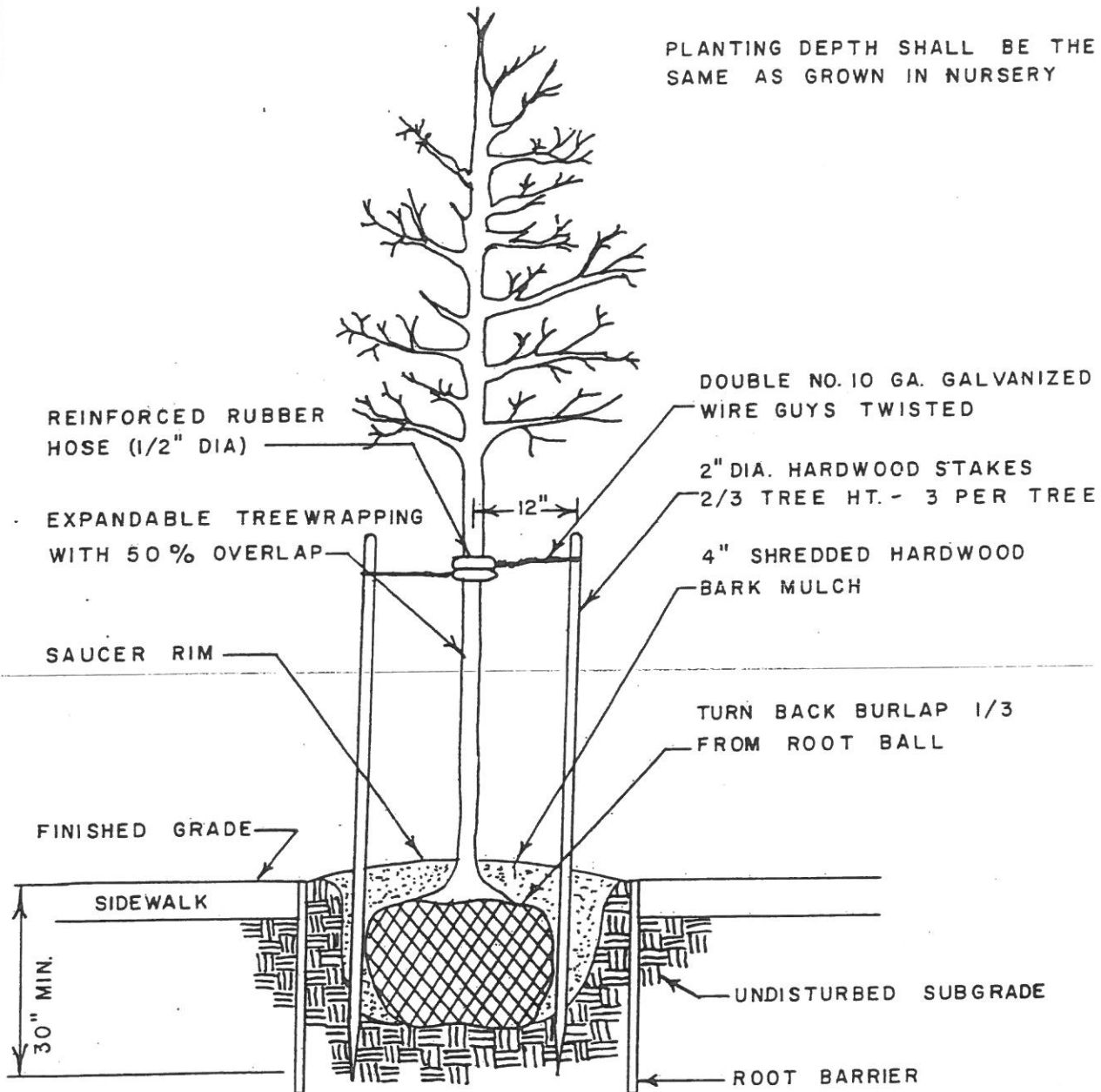
One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER



DO NOT CUT LEADER

PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY



## STREET TREE PLANTING DETAIL

NOT TO SCALE

NOTE: IN SIDEWALK OR PAVEMENT AREAS, THE SUBSOIL SHALL CONFORM TO CORNELL UNIVERSITY URBAN HORTICULTURAL INSTITUTE'S SPECIFICATION FOR "STRUCTURAL SOIL."



TOWN CENTRE DISTRICT

Landscaping  
Street Tree Planting Detail

SCALE: NTS

DATE: 7-12-99

ILLUSTRATION NO. TCD-21

DRAWN BY: SR

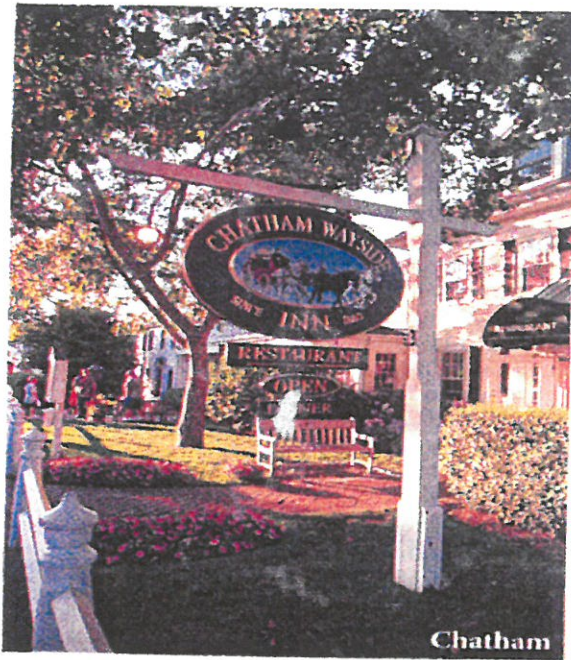
CHK'D BY:

ACAD FILE NO:

TOWNSHIP OF OLD BRIDGE  
DIVISION OF PLANNING

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER



Chatham



At slower downtown speeds, signs need not be the size and type used on highways. Signs should be interesting but not overbearing and designed on a smaller scale for pedestrians and slower driving speeds.



**TOWN CENTRE DISTRICT**  
Signage

SCALE: NTS

DATE: 4-6-00

ILLUSTRATION NO TCD -16

DRAWN BY:

CHK'D BY:

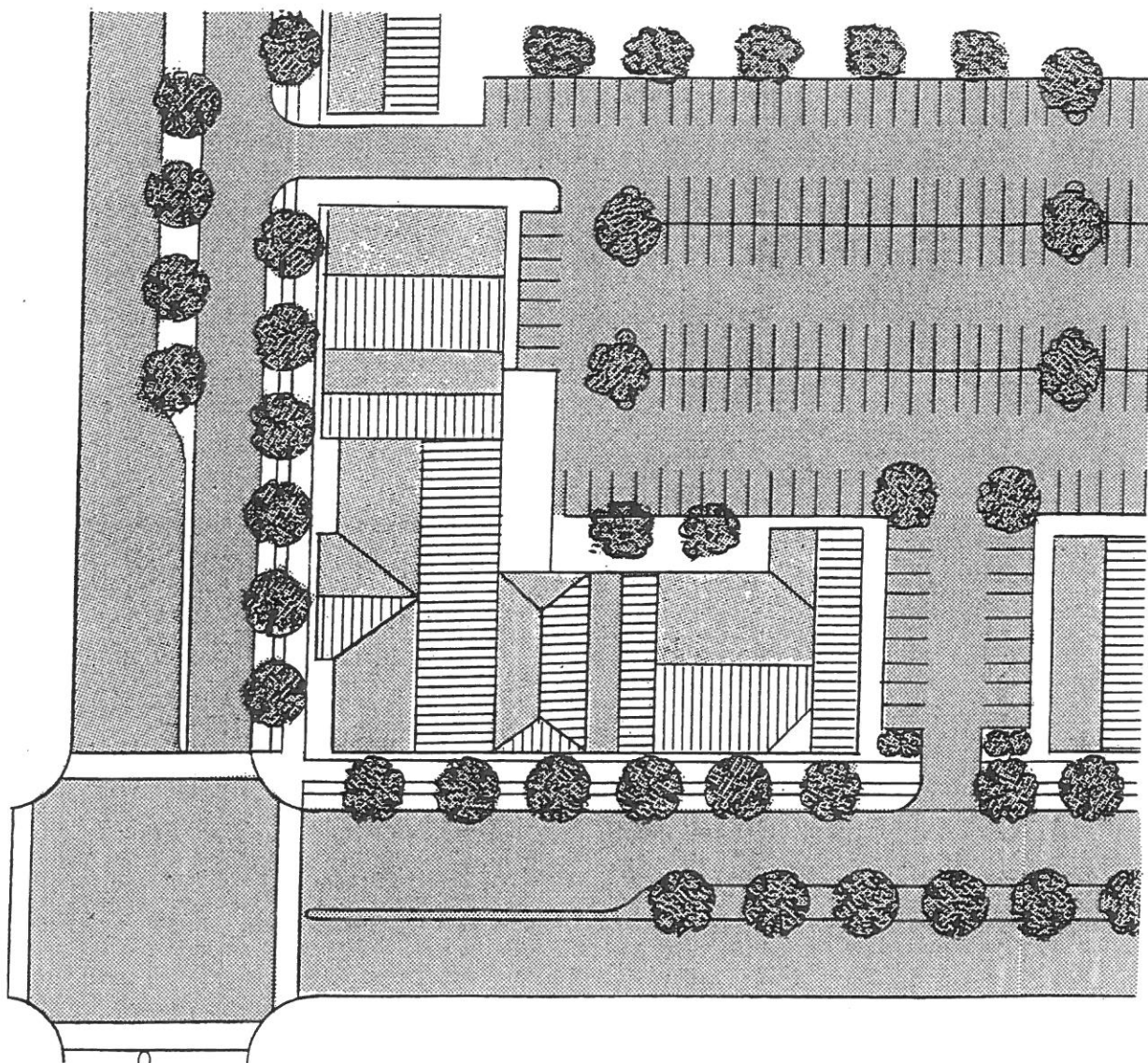
ACAD FILE NO:

**TOWNSHIP OF OLD BRIDGE**  
DIVISION OF PLANNING

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER





The above illustrates the preferred look of the retail district.

Retail storefronts should be in series, and gaps and spaces between doors should be limited. Interruptions to pedestrian flow such as for parking lot entrances should be infrequent and necessary, and should have plantings or other features that screen the vehicles and continue the building line.



**TOWN CENTRE DISTRICT**  
Layout and Landscaping  
Retail District Illustration

SCALE: NTS	DATE: 11-4-99	ILLUSTRATION NO. TCD-25
DRAWN BY: SR	CHK'D BY:	ACAD FILE NO:

**TOWNSHIP OF OLD BRIDGE**  
DIVISION OF PLANNING

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER





Planters in courtyards and étalage may vary in size and shape, may be precast vessels or built up walls designed for seating or artistic effect.



**TOWN CENTRE DISTRICT**  
Landscaping  
Planters

SCALE: NTS

DATE: 6-6-00

ILLUSTRATION NO TCD -22

DRAWN BY:

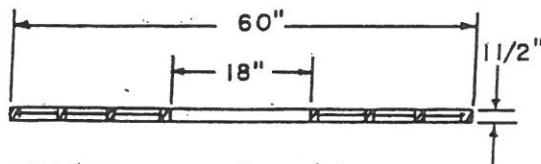
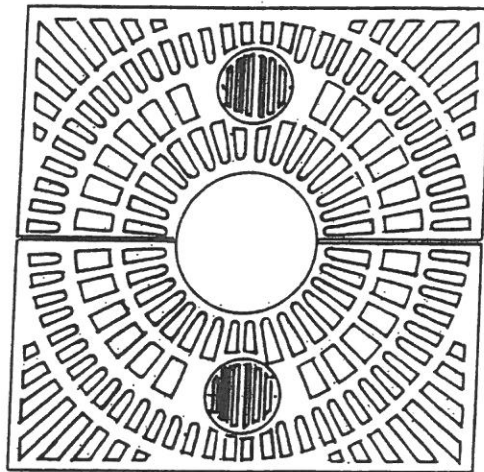
CHK'D BY:

ACAD FILE NO:

**TOWNSHIP OF OLD BRIDGE**  
DIVISION OF PLANNING

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

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TREE GRATE DETAIL

NOTES:

1. STREET TREE GRATES ARE TO BE USED IN SIDEWALK AREAS.
2. TREE GRATE PATTERN SHALL BE CAMPBELL FOUNDRY PATTERN NUMBER 9188 641 WITH 10" DIAMETER LIGHT SOCKET OPENINGS, OR EQUAL.
3. GRATE SIZE = 60" - 180° SECTIONS.



TOWN CENTRE DISTRICT

Landscaping  
Tree Grate Detail

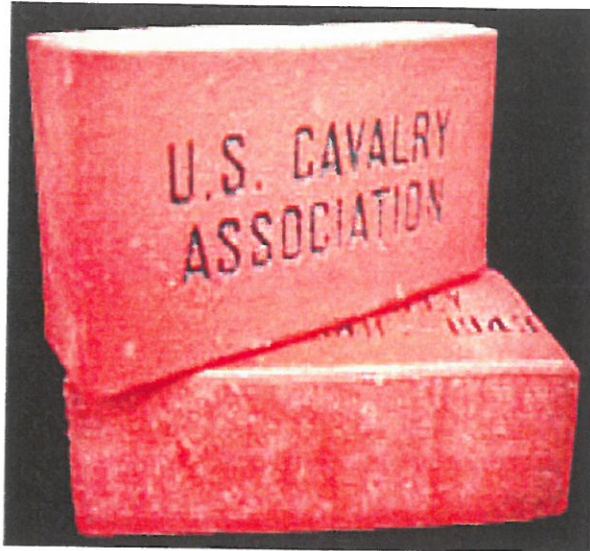
SCALE: NTS	DATE: 10-18-99	ILLUSTRATION NO. TCD-27
DRAWN BY: SR	CHK'D BY:	ACAD FILE NO:

TOWNSHIP OF OLD BRIDGE  
DIVISION OF PLANNING

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER





Sidewalks and walkways should be an integral part of the streetscape, serving to promote pedestrian traffic while appealing to the eye. In business districts, the concourse embraces the storefronts and street furniture for a relaxing stroll, and may be widened to incorporate outdoor uses such as sidewalk cafes. The etalage areas may be interspersed with memorial bricks to help finance streetscape features. Pathways may wind through parks and gardens or may be patterned in varying shapes and colors to present interesting effects in courtyards and plazas.

	<b>TOWN CENTRE DISTRICT</b> <b>Landscaping</b> Sidewalks, Pathways and Memorial Brick		
	SCALE: NTS	DATE: 6-6-00	ILLUSTRATION NO TCD 26
	DRAWN BY:	CHK'D BY:	ACAD FILE NO:
	<b>TOWNSHIP OF OLD BRIDGE</b> <b>DIVISION OF PLANNING</b> One Old Bridge Plaza, Old Bridge Township Middlesex County, New Jersey 08857 <hr/> SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER		





While beauty and character is entirely subjective, and thus cannot be built into a code or regulations, photographs depicted herein provide a benchmark from which architectural proposals may be measured. Prospective buildings need not adhere to a specific style or taste, but should be respectful and complementary of others.

Building illustrations are not representative of building height or other bulk standards which are stipulated elsewhere in this ordinance.



TOWN CENTRE DISTRICT  
Architecture  
Styles - Commercial

SCALE: NTS

DATE: 5-8-00

ILLUSTRATION NO TCD -33

DRAWN BY:

CHK'D BY:

ACAD FILE NO:

TOWNSHIP OF OLD BRIDGE  
DIVISION OF PLANNING

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER





Variation is the key to creating interest. Buildings should be unique and distinctive, but not to the point that their prominence overshadows or detracts from other buildings. The above photographs provide a benchmark from which architectural proposals should be measured.



#### TOWN CENTRE DISTRICT

Architecture  
Styles - Residential

SCALE: NTS

DATE: 12-10-99

ILLUSTRATION NO. TCD - 34

DRAWN BY:

CHK'D BY:

ACAD FILE NO:

#### TOWNSHIP OF OLD BRIDGE DIVISION OF PLANNING

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. --- TOWNSHIP PLANNER





Attention must be paid to aesthetic details such as roof gables, parapet and fenestration. The above are examples of residential and commercial architectural details which would enhance the character of the Town Centre.



**TOWN CENTRE DISTRICT**  
**Architecture**  
 Fenestrations, cupolas, and dormers

SCALE: NTS

DATE: 1-31-00

ILLUSTRATION NO. TCD - 35

DRAWN BY:

CHK'D BY:

ACAD FILE NO:

**TOWNSHIP OF OLD BRIDGE**  
**DIVISION OF PLANNING**

One Old Bridge Plaza, Old Bridge Township  
 Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER

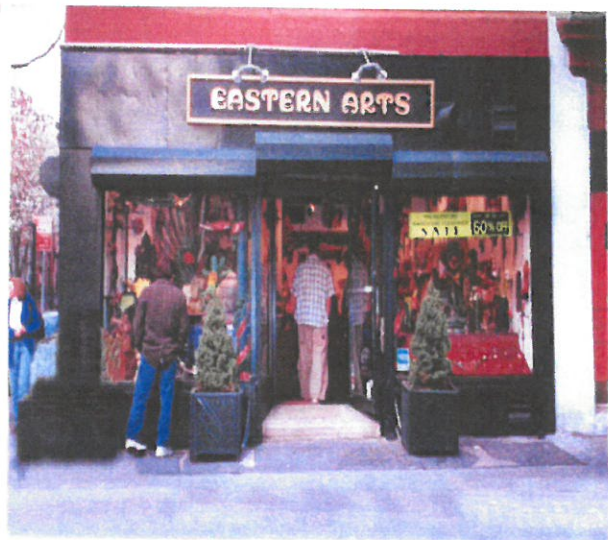
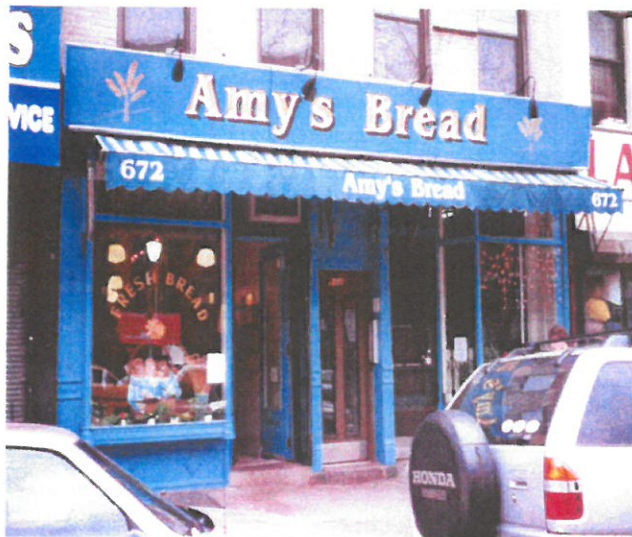




Canopies can be used to provide shade and atmosphere for sidewalk cafes or just to stylize buildings.

	TOWN CENTRE DISTRICT Canopies		
	SCALE: NTS	DATE: 6-6-00	ILLUSTRATION NO TCD -37
	DRAWN BY:	CHK'D BY:	ACAD FILE NO:
	<b>TOWNSHIP OF OLD BRIDGE</b> <b>DIVISION OF PLANNING</b> One Old Bridge Plaza, Old Bridge Township Middlesex County, New Jersey 08857 <hr/> SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER		





Architectural standards should be maintained while encouraging creativity. The commercial buildings should be compatible while creating interesting designs. The photographs shown above display characteristics that are both unique and attractive but would not overshadow or detract from other buildings.



**TOWN CENTRE DISTRICT**  
Commercial Architecture  
Window and Door Treatments

SCALE: NTS

DATE: 4-6-00

ILLUSTRATION NO TCD -38

DRAWN BY:

CHK'D BY:

ACAD FILE NO:

**TOWNSHIP OF OLD BRIDGE**  
**DIVISION OF PLANNING**

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER





An example of architectural styling which would contribute to the character of the streetscape a visual connection while still producing an interesting and unique appearance.



**TOWN CENTRE DISTRICT**  
Residential Architecture  
Window and Door Treatments

SCALE: NTS

DATE: 02-24-00

ILLUSTRATION NO. TCD -39

DRAWN BY:

CHK'D BY:

ACAD FILE NO:

**TOWNSHIP OF OLD BRIDGE**  
DIVISION OF PLANNING

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER





The residential homes within the town center district can also contribute to the overall look of the area with features such as front porches and semi-private yards cordoned off from the street by decorative walls, wrought iron or picket fencing and hedges and landscaping.



#### TOWN CENTRE DISTRICT

Architecture  
Residential Front Yards and Streetscapes

SCALE: NTS

DATE: 02-24-00

ILLUSTRATION NO TCD -40

DRAWN BY:

CHK'D BY:

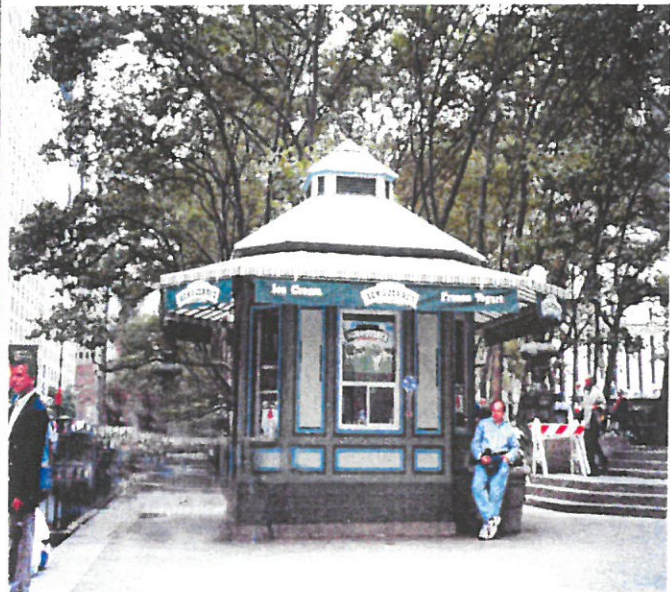
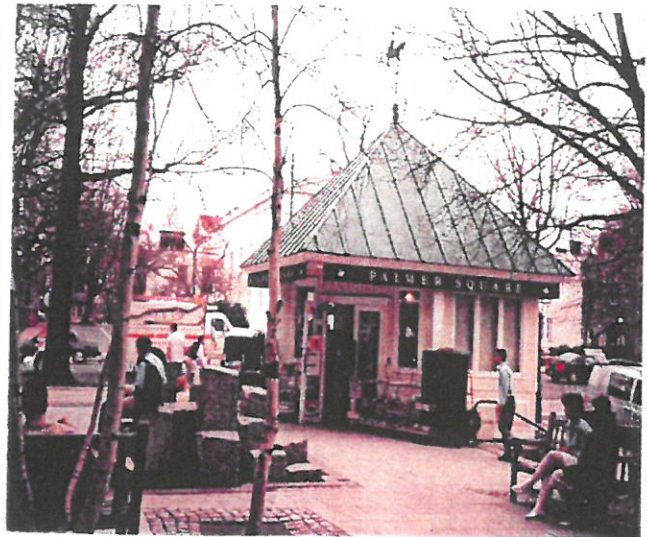
ACAD FILE NO:

#### TOWNSHIP OF OLD BRIDGE DIVISION OF PLANNING

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER





Attractively designed kiosks can provide informational services while quaint pushcarts can provide additional retail. The design of both should match the look of the town centre and will help to promote pedestrianism and peak the interest of the passerby.



**TOWN CENTRE DISTRICT**  
Kiosks and Pushcarts

SCALE: NTS

DATE: 4-6-00

ILLUSTRATION NO TCD -41

DRAWN BY:

CHK'D BY:

ACAD FILE NO:

**TOWNSHIP OF OLD BRIDGE**  
DIVISION OF PLANNING

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER





Landsaped courtyards and plazas are provided throughout the core of the district and planned to be complementary to uses such as restaurants and public buildings.



**TOWN CENTRE DISTRICT**  
Courtyards, Plazas and Piazzas

SCALE: NTS

DATE: 02-24-00

ILLUSTRATION NO. TCD - 42

DRAWN BY:

CHK'D BY:

ACAD FILE NO:

**TOWNSHIP OF OLD BRIDGE**  
DIVISION OF PLANNING

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER





As the core of the community, the Town Centre should offer something for everyone. Tot lots help insure that the village greens can be enjoyed by all.



**TOWN CENTRE DISTRICT**  
Tot lots

SCALE: NTS

DATE: 4-6-00

ILLUSTRATION NO TCD -43

DRAWN BY:

CHK'D BY:

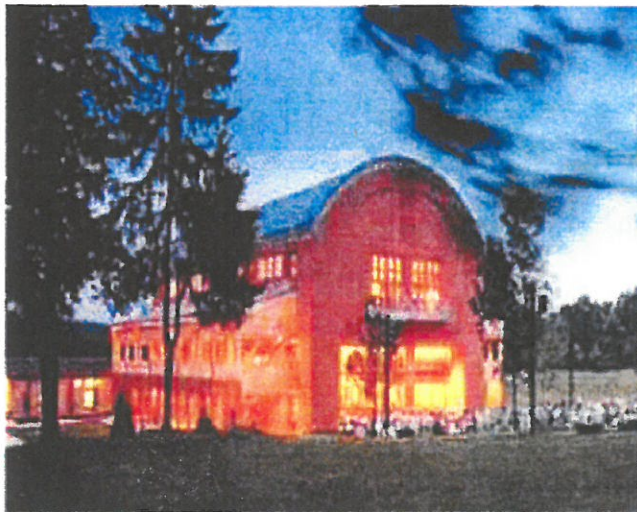
ACAD FILE NO:

**TOWNSHIP OF OLD BRIDGE**  
**DIVISION OF PLANNING**


One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER





The town commons contain several large tracts of grassed land and scattered trees on which a park or village green could be established and which could accommodate an open-air bandstand for community events.

	<b>TOWN CENTRE DISTRICT</b> Site Enhancement Features Park, Bandstand and Community Theater		
	SCALE: NTS	DATE: 02-24-00	ILLUSTRATION NO TCD - 44
	DRAWN BY:	CHK'D BY:	ACAD FILE NO:
	<b>TOWNSHIP OF OLD BRIDGE</b> DIVISION OF PLANNING One Old Bridge Plaza, Old Bridge Township Middlesex County, New Jersey 08857 SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER		





Across the street from the town common may be another village/park green of approximately 1.8 acres, grassed for multipurpose uses, with occasional benches and clumps of trees, artwork, fountains and other focal points. Above are examples of fountains surrounded by landscaping and other features that may be incorporated into village greens, parks, courtyards and other common gathering areas.



**TOWN CENTRE DISTRICT**  
Site Enhancement Features  
Fountain

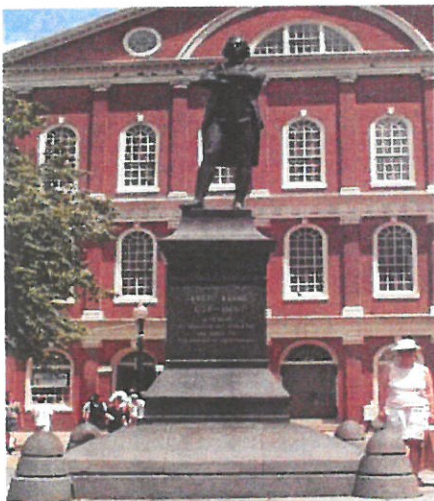
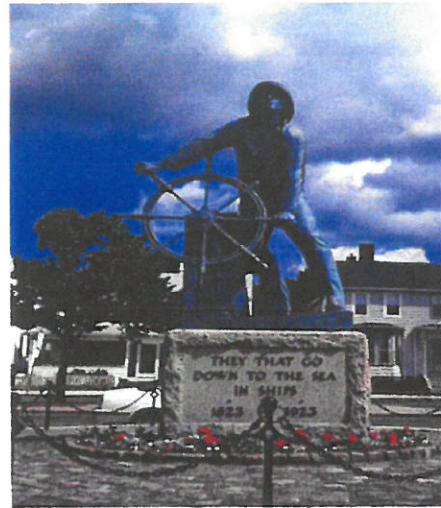
SCALE: NTS	DATE: 12-10-99	ILLUSTRATION NO. TCD - 45
DRAWN BY:	CHK'D BY:	ACAD FILE NO:

**TOWNSHIP OF OLD BRIDGE**  
DIVISION OF PLANNING

One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

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Statues as a memorial or as artwork can add to the overall appeal of the Town Centre, while also serving as a focal point.



**TOWN CENTRE DISTRICT**  
Site Enhancement Features  
Statues

SCALE: NTS

DATE: 1-31-00

ILLUSTRATION NO TCD - 49

DRAWN BY:

CHK'D BY:

ACAD FILE NO:

**TOWNSHIP OF OLD BRIDGE**  
DIVISION OF PLANNING


One Old Bridge Plaza, Old Bridge Township  
Middlesex County, New Jersey 08857

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Historic buildings are an existing asset which should be incorporated into the Town Centre plan. The Cottrell estate is an excellent example of architectural style that could be used as the basis for an architectural theme, drawing upon the local history of the area. Also shown above are the R. Higgins home and the D. Burlew house.

	<b>TOWN CENTRE DISTRICT</b> Site Enhancement Features Historic Building		
	SCALE: NTS	DATE: 4-6-00	ILLUSTRATION NO TCD -50
	DRAWN BY:	CHK'D BY:	ACAD FILE NO:
	<b>TOWNSHIP OF OLD BRIDGE</b> <b>DIVISION OF PLANNING</b> One Old Bridge Plaza, Old Bridge Township Middlesex County, New Jersey 08857 <hr/> SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER		






Gazebos are an attractive and also utilitarian feature which would compliment an open space area.

	<b>TOWN CENTRE DISTRICT</b> Site Enhancement Features Gazebos		
	SCALE: NTS	DATE: 12-10-99	ILLUSTRATION NO. TCD - 48
	DRAWN BY:	CHK'D BY:	ACAD FILE NO:
	<b>TOWNSHIP OF OLD BRIDGE</b> DIVISION OF PLANNING One Old Bridge Plaza, Old Bridge Township Middlesex County, New Jersey 08857 <hr/> SEBASTIAN RIZZO, P.P. & P.E. - - TOWNSHIP PLANNER		





The commons are connected to the central courtyard of the municipal complex with a landscaped promenade containing about one acre of lawn and trees, ornamental shrubs, benches and other interesting features. Arboretums and botanical gardens can be interspersed throughout the Town Centre to enhance public areas.

	<b>TOWN CENTRE DISTRICT</b> Site Enhancement Features Botanical Gardens		
	SCALE: NTS	DATE: 02-24-00	ILLUSTRATION NO. TCD - 47
	DRAWN BY:	CHK'D BY:	ACAD FILE NO:
	<b>TOWNSHIP OF OLD BRIDGE</b> DIVISION OF PLANNING One Old Bridge Plaza, Old Bridge Township Middlesex County, New Jersey 08857 SEBASTIAN RIZZO, P.P. & P.E. -- TOWNSHIP PLANNER		