
	Douglas Unified School District, #27 Amendment #2		1132 E 12 Street Douglas, AZ 85607
	IFB: 21-007-22 PROJECT: Weatherization, Roofing, and Structural Repairs at Faras Elementary	Page 1 of 5	

March 25, 2021

This amendment is released to all interested parties.

1. The District needs to provide a revised Bid Submittal Form. It follows on the next pages. The only change is to ask for “piers”, should they be needed.
2. There are two pages of drawings that will detail the piers; they are located on the courtyard side.
3. All other terms and conditions remain the same.
4. Please remember to acknowledge this Amendment #2 with your offer.
5. End of Amendment #2.

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Bid Submittal for Weatherization, Roofing, and Structural Repairs at Faras Elementary

Bid submittal of _____,
 (Firm's Name)


PROJECT: Weatherization, Roofing, and Structural Repairs at Faras Elementary, as per the specifications of this solicitation and the detailed stamped Drawings.

TO: **Douglas Unified School District, #27 (Owner)**

1. In compliance with the Invitation for Bid and Instructions to Bidders, the Bidder named above hereby offers to furnish the materials and perform the Work for the Owner's Project designated above in strict accordance with the Terms and Conditions, Specifications, Schedules, Drawings, all other pertinent Contract Documents, and his own field verification of the project. The bidder further agrees, upon written notice of acceptance of this Bid at any time within ninety (90) days after the date of opening of the bids, that Bidder will execute the Contract in accordance with the Bid as accepted, and give bond, as sufficient surety, in the amount of one hundred percent (100%) of the Contract Amount, within two (2) working days after a Notice of Award is presented for the following sums:

Base Bid: for Weatherization, Roofing, and Structural Repairs at Faras Elementary	\$
This is an SFB project and the items below are considered "unknowns" that may or may not be utilized through a change order process. They are not for items you should have included in your base bid. Additions and subtractions will be determined upon project completion. These line items are to be added to the Base Bid and other line items listed to provide the overall Total Bid Project Cost.	
128 square feet of 2x6, tongue and groove roof decking per plans and specifications, at \$_____ per sq. ft. installed	\$
128 square feet of 5/8" plywood roof sheathing per plans and specifications, at \$_____ per sq. ft. installed	\$
Remove and replace 10' long by 2' wide (20sf) portion of concrete floor slab with new concrete and vinyl tile floor covering \$_____ per sq. ft. installed	\$
100 Square feet of masonry wall cracks repaired in an interior wall and repainted at \$_____ per sq. ft. installed	\$
7 piers per plans and specifications at \$_____ per pier installed	\$
Cost to paint the interior side of the doors and frames	\$
Subtotal	\$
Cost of Performance and Payment Bonds	\$
Total Bid Project Cost	\$

2. Enclosed is bid security as required consisting of _____ in the amount of (\$_____). (Not less than ten percent (10%) of the proposed Total Bid Project Cost, including all additive alternates.)
3. The Bidder hereby agrees that the above Base Bid includes a Cash Allowance of Zero and No/100 (\$0):
4. It is understood and agreed that the work under the Contract Documents shall be commenced by the Bidder, if awarded the Contract for the Project, on the date specified as the Start Date in the Notice to Proceed issued by the Owner in the manner specified in the Contract and General Conditions, and shall be completed by the Contractor by sunset, on the 135 days following

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the notice to proceed. Substantial completion shall be reached by sunset on the 120 days after notice to proceed. If the Work is not completed by these dates, then the Bidder shall pay the Owner the amount of **five hundred and No/100 Dollars (\$500.00) per day** as liquidated damages.

5. The Bidder offers the minimum workmanship warranty of 24 months: YES ☐ NO ☐
6. The Bidder has attached the "Intent to Warranty" information. YES ☐ NO ☐
7. The Bidder has attached the manufacturer's information on the major components of any roofing and/or weatherization system. YES ☐ NO ☐
8. The Bidder understands that the Owner reserves the right to reject any or all Bids or to waive any formality or technicality, as determined by the Owner in its sole discretion, in any Bid in the interest of the Owner. YES ☐ NO ☐
9. Provide a short Restatement of Work including product(s) being used to demonstrate understanding of the project:

10. The Bidder confirms a site visit and understands the conditions of the site, the full scope of the work, and related areas. YES ☐ NO ☐ If no, document that you will ask for no change orders as a result of not having made a site visit and thereby asking any questions that could have arisen.

11. Who is your Performance Bond Carrier and your policy number?

12. Schedule based on Notice to Proceed through Substantial Completion on your letterhead or Gantt Chart: YES ☐ NO ☐

13. Are there any unresolved issues with your firm and the Registrar of Contractors? YES ☐ NO ☐ If Yes, explain:

14. Are there any long standing projects, unresolved issues or ongoing issues with your firm and any other SFB Projects YES ☐ NO ☐ If Yes, explain:

15. (Firm) _____ and (Manufacturer) _____ do not have any unresolved warranty issues with any previous SFB projects. YES ☐ NO ☐ If Yes, explain:

16. Do any of your subcontractors have any unresolved or long standing issues with any current or previous SFB projects?

YES ☐ NO ☐ If Yes, explain:

STRUCTURAL NOTES:

- DESIGN CRITERIA:
 - ALL CONSTRUCTION SHALL CONFORM TO THE 2012 EDITION OF THE INTERNATIONAL BUILDING CODE.
 - EXISTING ROOF:

ROOF LIVE LOAD = 20 PSF (REDUCIBLE)

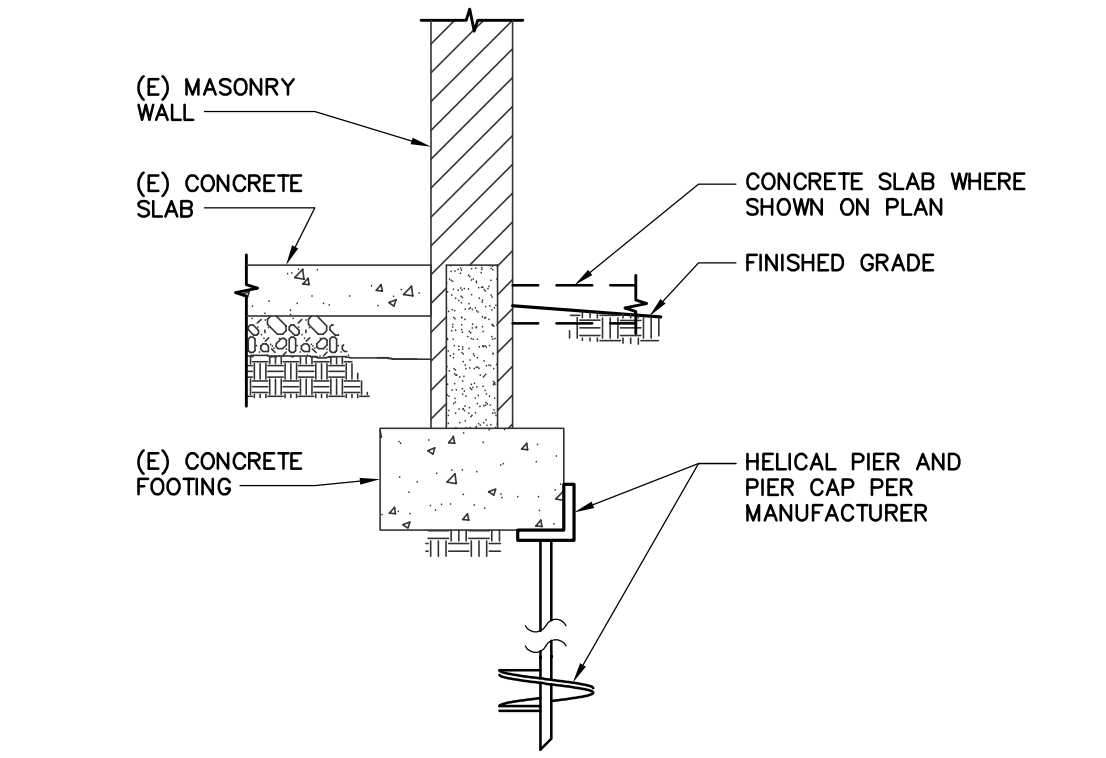
ROOF DEAD LOAD = 16 PSF
- DETAILS AND NOTES ON DRAWINGS SHALL TAKE PRECEDENCE OVER STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.
- DETAILS MARKED "TYPICAL" MAY OR MAY NOT BE CUT ON PLANS, BUT SHALL APPLY UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT THE STRUCTURE DURING CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHORING, BRACING, AND SCAFFOLDING. OBSERVATION VISITS OR SPECIAL INSPECTION TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS. THE STRUCTURAL ENGINEER WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SITE SAFETY, OR THE SAFETY PRECAUTIONS AND PROGRAMS.
- CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED ROOF OR FLOORS. THE LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
- THE CONTRACT STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHOD OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH RECOMMENDATIONS OF THE GEOTECHNICAL REPORT #G24634, BY RICKER, ATKINSON, McBEE, MORMAN AND ASSOCIATES INC. DATED MARCH 15, 2018.
- LAP SPLICES FOR REINFORCING IN CONCRETE SHALL BE 48 BAR DIAMETERS MINIMUM.
- HELICAL PIERS SHALL BE DESIGNED BY A CIVIL OR STRUCTURAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED. THE DESIGN LOADS ARE STATED ON THE DRAWINGS. SHOP DRAWINGS AND CALCULATIONS SHALL BE STAMPED BY A CIVIL OR STRUCTURAL ENGINEER REGISTERED IN THE STATE AND SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION.
- MATERIALS SPECIFICATIONS:

CONCRETE – ASTM C94, F'c = 3000 PSI (DESIGNED FOR 2500 PSI) AT 28 DAYS. PROVIDE AIR-ENTRAINING ADMIXTURE AT ALL EXPOSED CONCRETE AT RATE ADEQUATE TO PROVIDE 1.5% AIR AT POINT OF PLACEMENT.

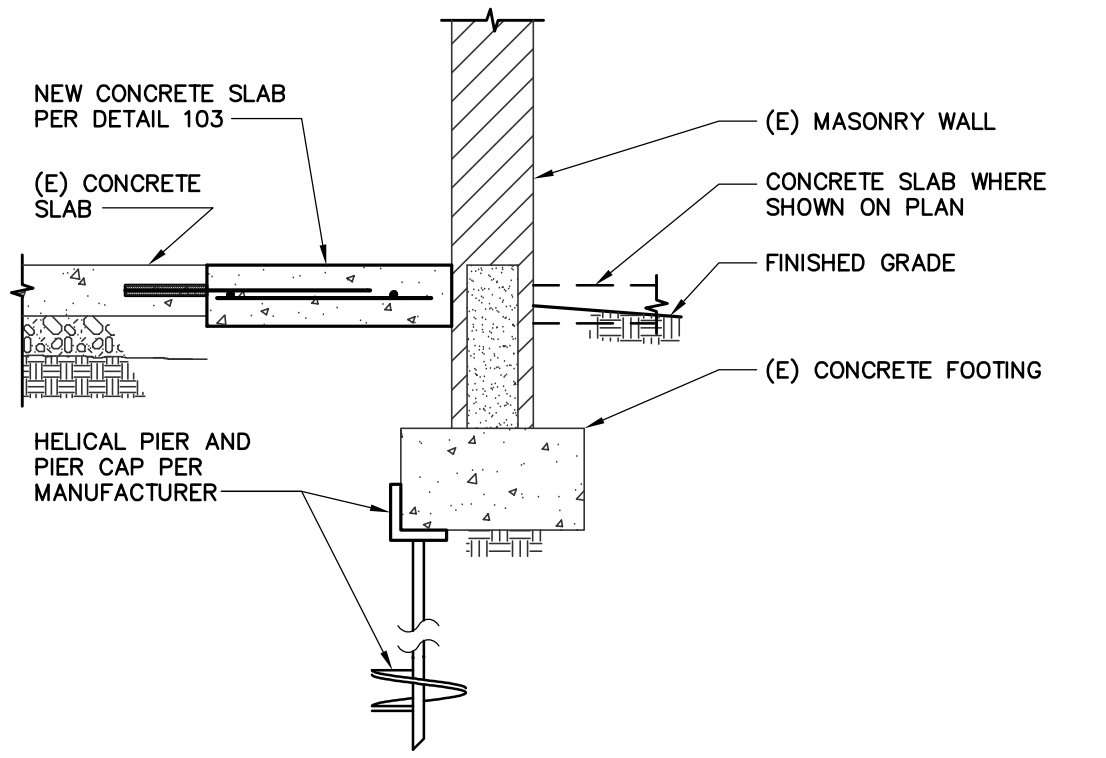
REINFORCING – ASTM A615 GRADE 40 FOR #4 AND SMALLER AND
 ASTM A615 GRADE 60 FOR #5 AND LARGER
 ASTM A706 GRADE 60 FOR WELDED REINFORCING

HELICAL PIERS – DESIGNED FOR AN ALLOWABLE
 VERTICAL LOAD OF 25,000 LBS/PIER.

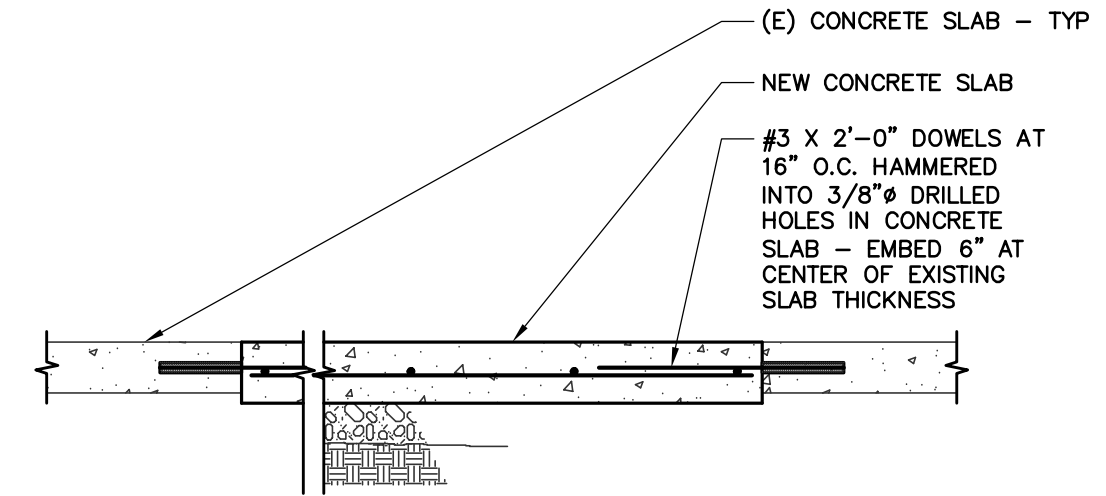
- SPECIAL INSPECTIONS SHALL BE PERFORMED BY BRODERICK ENGINEERING, LLC OR A QUALIFIED INSPECTOR AS APPROVED BY THE BUILDING OFFICIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A MINIMUM OF 24 HOURS NOTICE TO THE SPECIAL INSPECTOR AND THE TESTING LABORATORY PRIOR TO BEGINNING ANY WORK FOR WHICH SPECIAL INSPECTION OR TESTING IS REQUIRED. THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE WITH THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL AND TO THE ENGINEER OR ARCHITECT OF RECORD. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED, TO THE ENGINEER OR ARCHITECT OF RECORD AND THE BUILDING OFFICIAL. SPECIAL INSPECTION IS REQUIRED DURING THE FOLLOWING OPERATIONS PER IBC CHAPTER 17:
 - HELICAL PIERS: DURING INSTALLATION OF ALL HELICAL PIERS TO ENSURE THAT EMBEDMENT AND TORQUE REQUIREMENTS HAVE BEEN MET – CONTINUOUS.



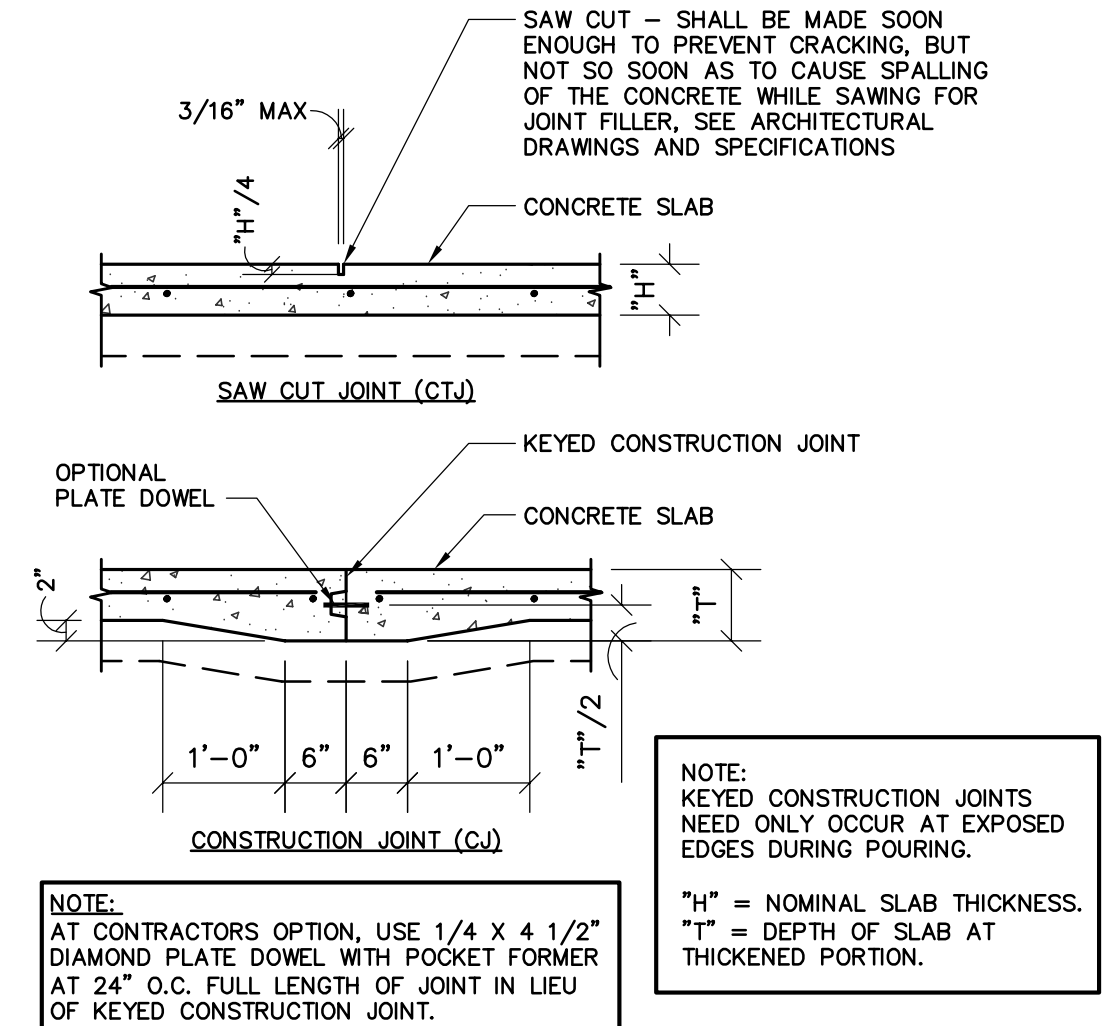
NEW HELICAL PIER AT EXISTING CONCRETE FOOTING 101



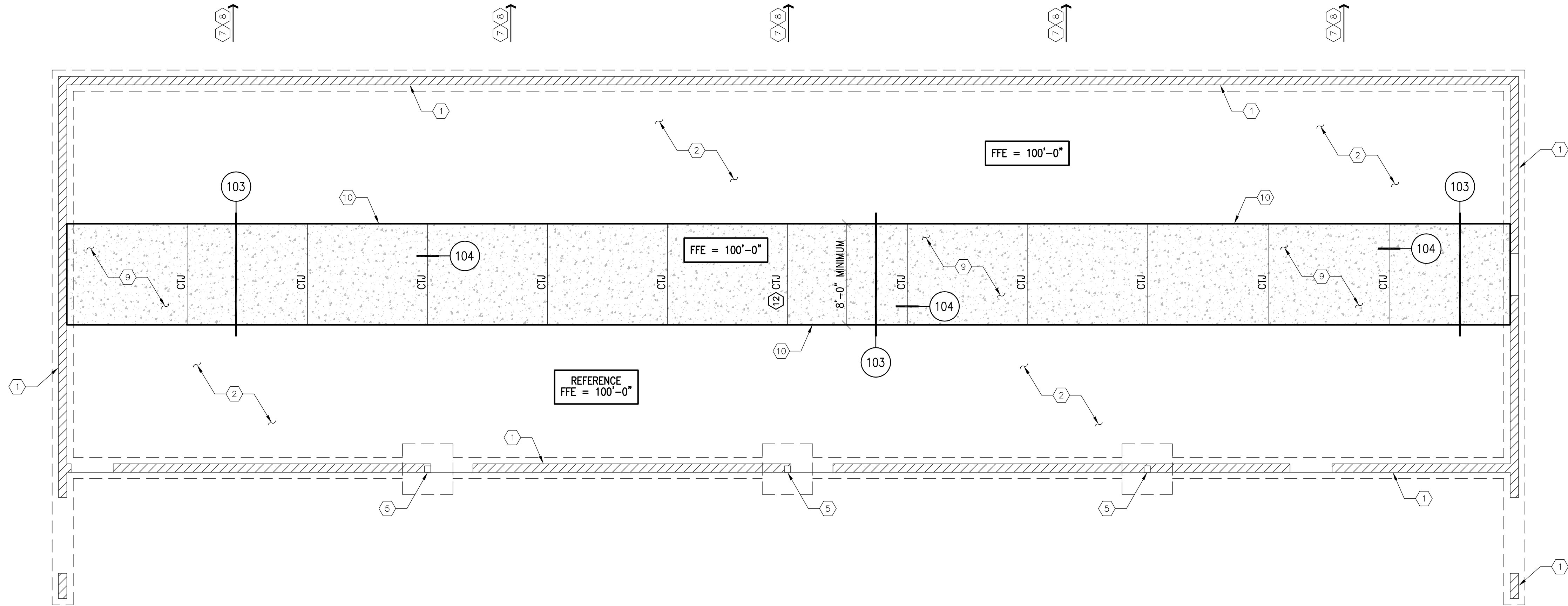
NEW HELICAL PIER AT EXISTING CONCRETE FOOTING 102



TYPICAL CONCRETE SLAB REPAIR 103
TYPICAL DETAIL

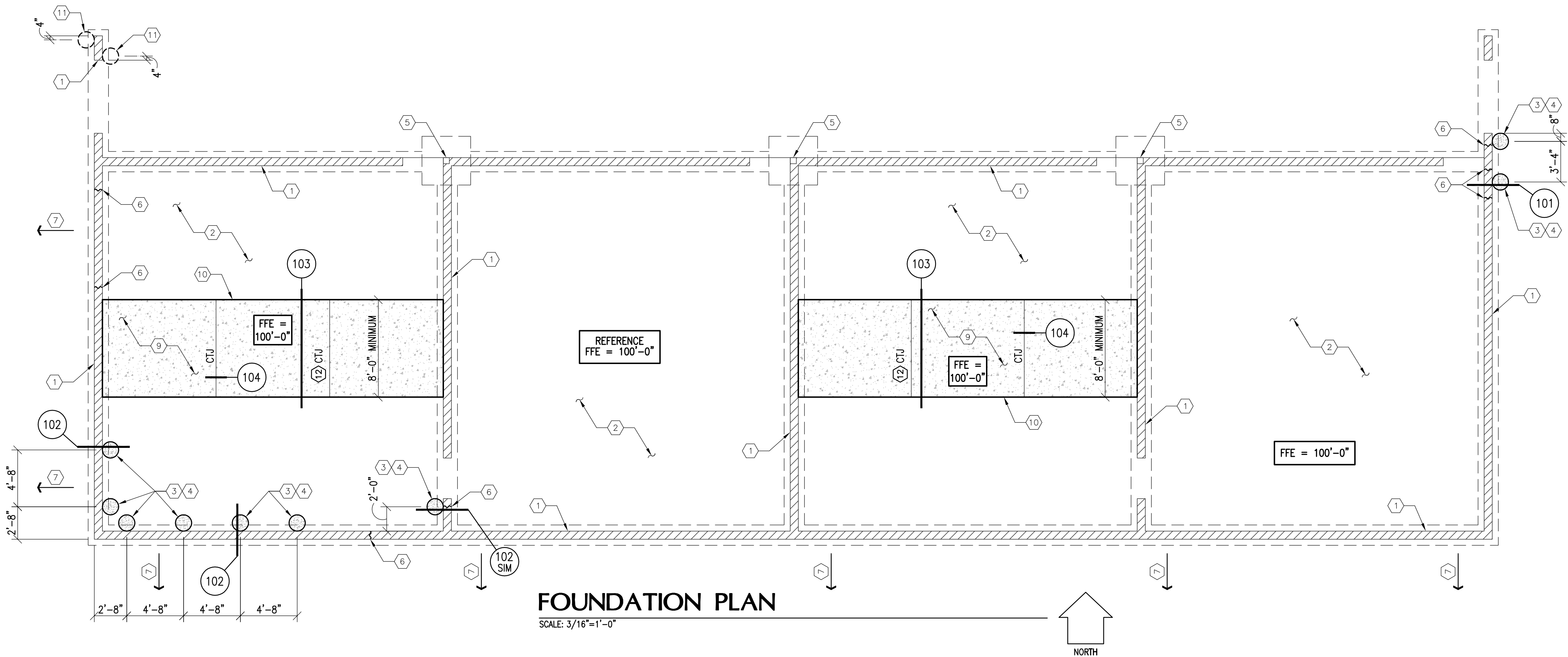


CONSTRUCTION OR CONTROL JOINT IN CONCRETE SLAB 104



FOUNDATION PLAN NOTES

- 1 - INDICATES EXISTING MASONRY WALL AND ASSOCIATED CONCRETE FOOTING TO REMAIN - TYPICAL.
- 2 EXISTING CONCRETE SLAB TO REMAIN - TYPICAL.
- 3 NEW HELICAL PIER DESIGNED FOR AN ALLOWABLE VERTICAL LOAD OF 25,000 LBS/PIER - ATTACH TO EXISTING WALL FOOTING PER MANUFACTURER.
- 4 USE NEW HELICAL PIER TO JACK UP EXISTING FOOTING AND WALL ASSEMBLY TO A LEVEL CONDITION.
- 5 EXISTING STEEL COLUMN AND ASSOCIATED CONCRETE FOOTING TO REMAIN.
- 6 FILL IN EXISTING CRACK VOIDS IN MASONRY WALL ASSEMBLY ABOVE WITH EPOXY DURING THE JACKING PROCESS OR AFTER JACKING IS COMPLETE - DO NOT LET EPOXY CURE PRIOR TO COMPLETION OF THE JACKING PROCESS (PRIOR TO TIGHTENING UP EXISTING WALL CRACKS).
- 7 SLOPE FINISHED GRADE AWAY FROM EXISTING FOUNDATION PERIMETER AND/OR NEW CONCRETE SIDEWALK FOR 5'-0" MINIMUM TOWARDS POSITIVE DRAINAGE TO ELIMINATE PONDING WITHIN 10'-0" OF EXISTING FOUNDATION - TYPICAL.
- 8 NEW CONCRETE SIDEWALK PER ARCHITECTURAL DRAWINGS.
- 9 5" CONCRETE SLAB OVER 4" A.B.C. - REINFORCE SLAB WITH #3 AT 16" O.C. EACH WAY LOCATED 1 1/2" CLEAR FROM TOP OF SLAB.
- 10 SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB PER ARCHITECTURAL DRAWINGS - TYPICAL.
- 11 LOCATION OF ADDITIONAL HELICAL PIER PER PLAN NOTES 3 AND 4 AS REQUIRED - USE ONLY IF INITIAL JACKING PROCESS CREATES A NON-LEVEL CONDITION AT EXISTING FOOTING AND WALL ASSEMBLY.
- 12 CTJ - INDICATES SLAB CONTROL JOINT. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AT 10'-0" O.C. MAXIMUM.



FOUNDATION PLAN
SCALE: 3/16"=1'-0"

NOTE:
EVERY EFFORT HAS BEEN MADE TO DETERMINE AS-BUILT CONDITIONS DURING DEVELOPMENT OF CONSTRUCTION DOCUMENTS. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY AS-BUILT CONDITIONS AND NOTIFY THE ENGINEER OF RECORD IF IT IS DETERMINED THAT THE ACTUAL CONDITIONS VARY FROM WHAT IS NOTED AND REFERENCED ON THESE DRAWINGS.

BRODERICK ENGINEERING LLC.

BRODERICK ENGINEERING LLC.
6859 E. REMBRANDT AVE., SUITE 124
MESA, AZ 85212
PH 480-926-6333
FAX 480-926-3999
B.E. JOB NO. 18174

RPA

ROBERT POLCAR ARCHITECTS, INC.
(480) 675-9760 (602) 363-4096
SCOTTSDALE, ARIZONA

DOUGLAS UNIFIED DISTRICT
FARAS SCHOOL WEATHERIZATION
410 W FIR AVE, PIRTVILLE, AZ 85626

49332
RYAN MITCHELL
WENDT
REGISTERED PROFESSIONAL ENGINEER
ARIZONA 09/25/18
EXPIRES 3/31/2021

Revision	Revision Date
Project number	020227105-9999-012BRG
Date	09/25/18
Drawn by	JG
Checked by	RMW
Sheet Size	ARCH D 24"x36"
Foundation Plan	

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