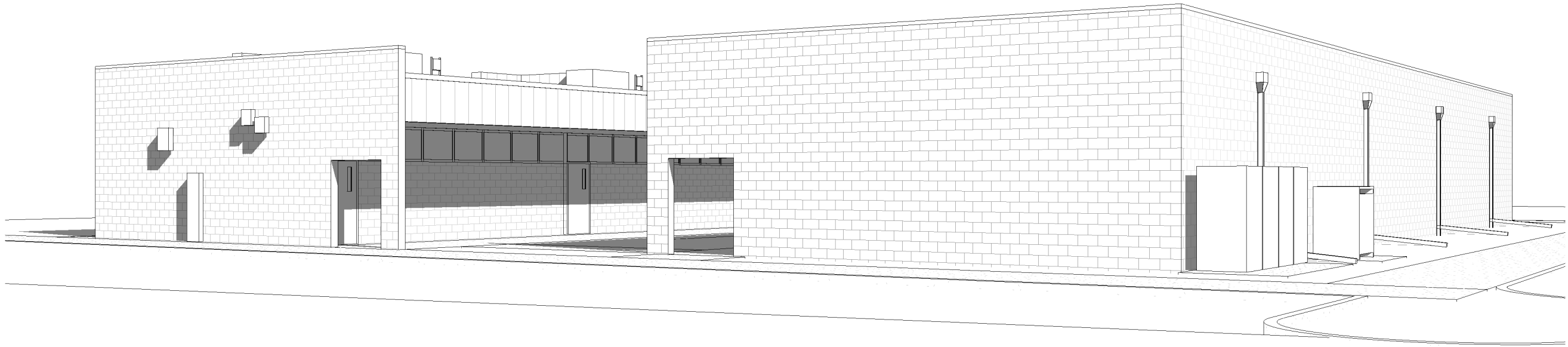


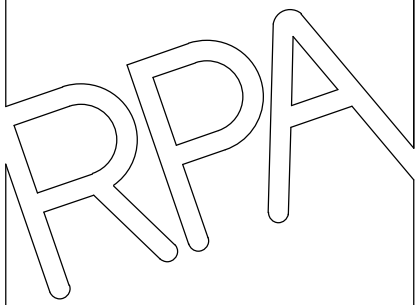
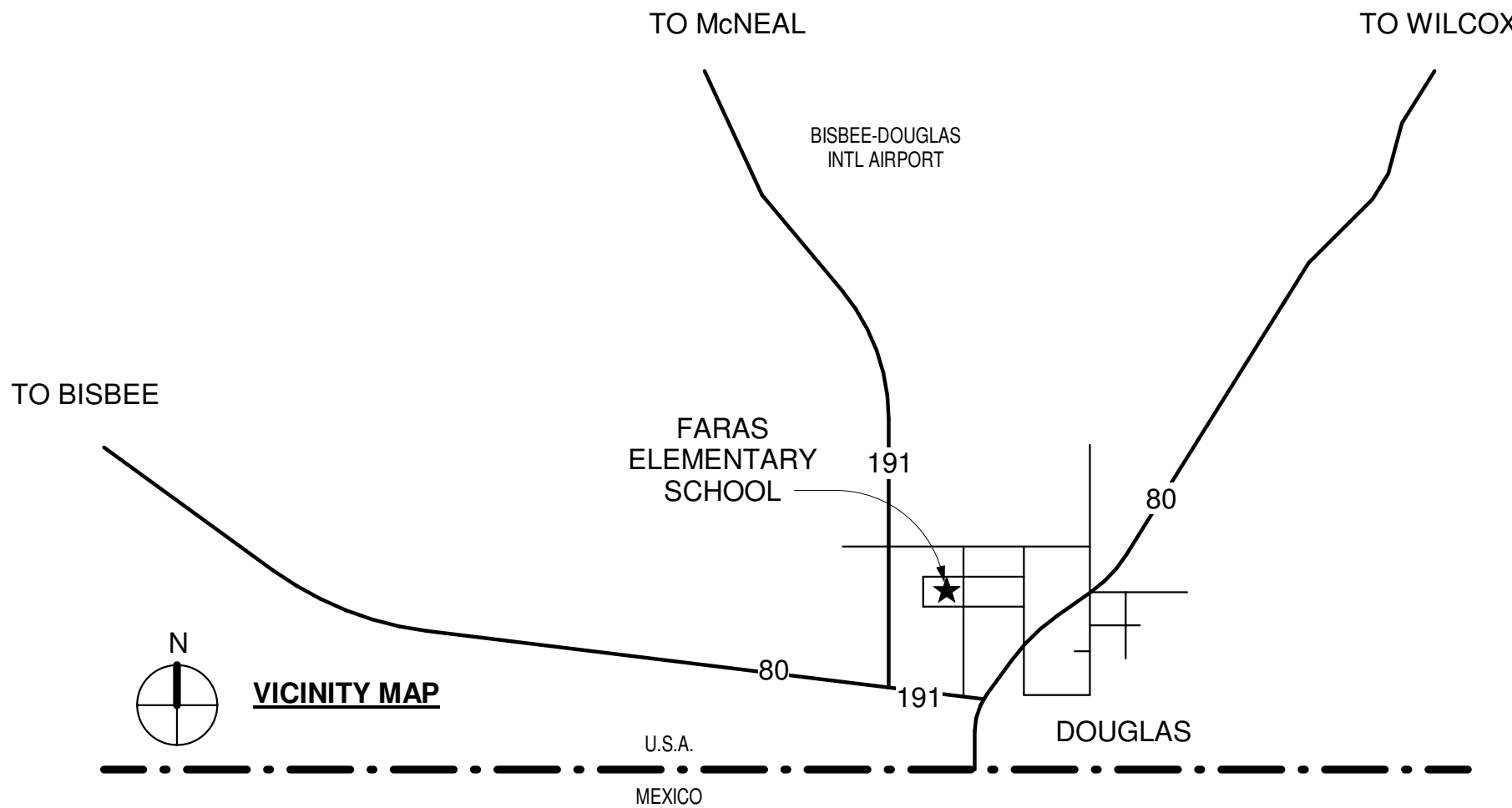
DOUGLAS UNIFIED SCHOOL DISTRICT

WEATHERIZATION
ROOFING AND STRUCTURAL REPAIRS
at
FARAS ELEMENTARY SCHOOL
410 W FIR AVE, PIRTLEVILLE, AZ 85626

2021



2 VIEW FROM SOUTHWEST



ROBERT POLCAR ARCHITECTS, INC.
(480) 675-9760 (602) 363-4096
SCOTTSDALE, ARIZONA

DOUGLAS UNIFIED DISTRICT
FARAS SCHOOL WEATHERIZATION
410 W FIR AVE, PIRTLEVILLE, AZ 85626

PROJECT SCOPE:

THE PROJECT INVOLVES TWO CAMPUS BUILDINGS AND INCLUDES:

STRUCTURAL STABILIZATION OF PORTIONS OF THE BUILDING FOUNDATIONS, LEVELING AND PATCHING OF PORTIONS OF THE INTERIOR CONCRETE FLOOR SLABS, AND REPAIR OF MASONRY JOINTS AND CRACKS IN BOTH INTERIOR AND EXTERIOR INTERIOR WALLS.

REMOVAL OF THE EXISTING ROOF MEMBRANE SYSTEMS TO THE STRUCTURAL DECKS AND REPLACEMENT WITH NEW INSULATION, COVER BOARD AND PVC ROOF MEMBRANES, INCLUDING REPLACEMENT OF ROOF SCUPPERS, DOWNSPOUTS AND SPLASH BLOCKS. INSTALLATION OF NEW PARAPET COPINGS ON THE SOUTH BUILDING, REPAIR OF THE EXISTING PARAPET COPINGS AT THE NORTH BUILDING.

REMOVING AND REPLACING ALL BUILDING SEALANTS AT MASONRY JOINTS, DOORS, WINDOWS AND WALL PENETRATION. CLEANING, PREPARING, PRIMING AND COATING THE EXTERIOR MASONRY WALLS, CLEANING, PREPARING, PRIMING AND PAINTING EXTERIOR METALS.

THE WORK WILL TAKE PLACE DURING THE SCHOOL YEAR.

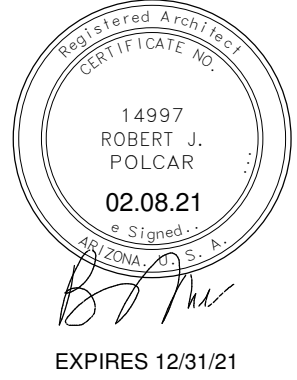
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DNORRIS@AZSFB.GOV

ARCHITECT: KIRBY SPITLER
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(602) 317-7209
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STRUCTURAL ENGINEER: RYAN WENDT
BRODERICK ENGINEERING
RYAN@BRODERICKENG.COM

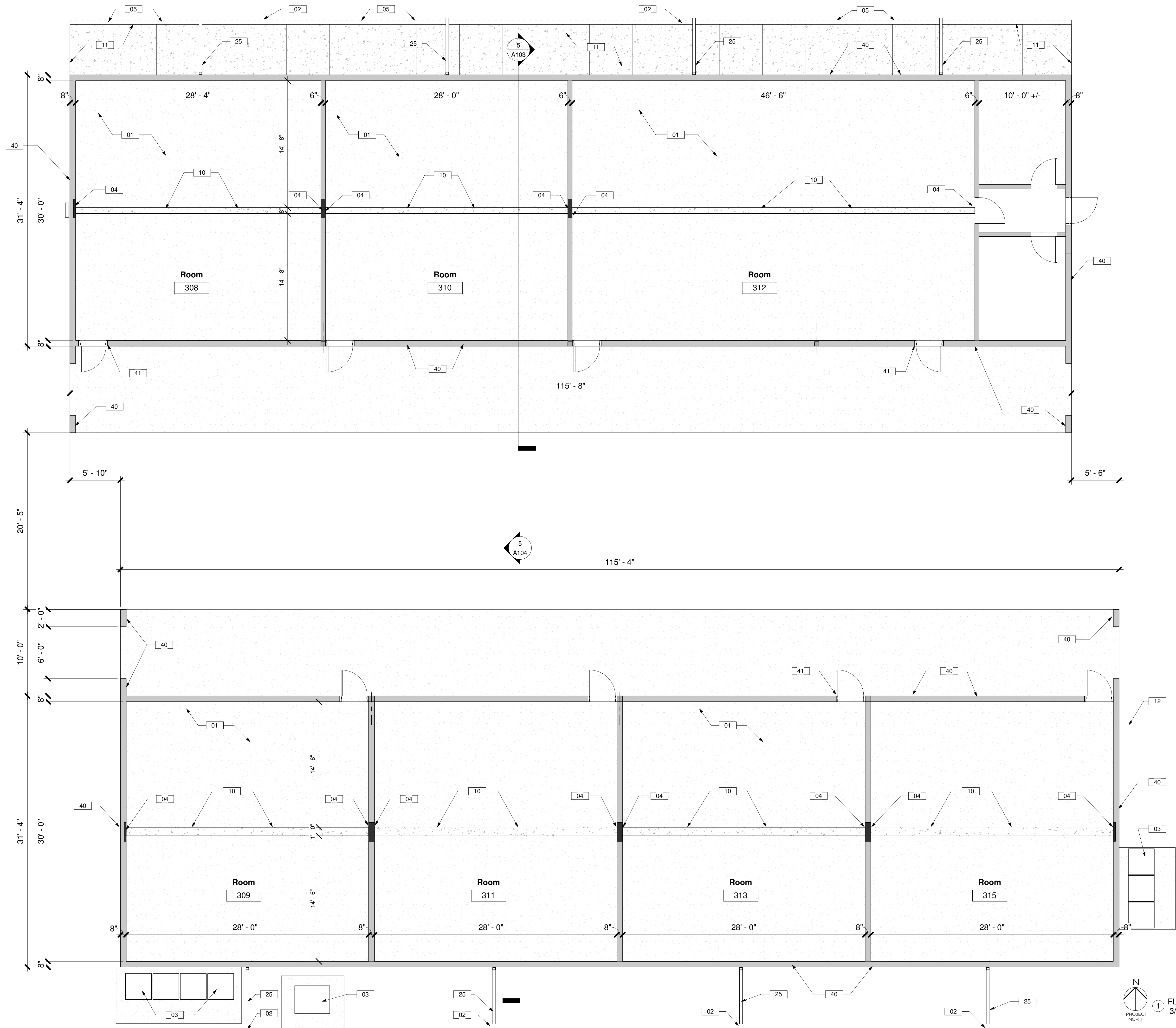
SCHOOL CONTACT: FERNANDO QUINONEZ
FQUINONEZ@DUSD.K12.AZ.US

SFB PROJECT #: 020227105-9999-012-BRG



Revision	Revision Date
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Date	02.08.21
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Checked by	BP
Sheet Size	ARCH D
Sheet Name	COVER SHEET

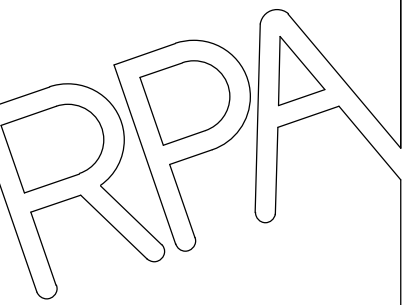
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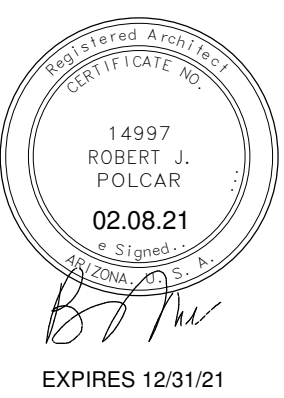


1 FLOOR LEVEL EXISTING
3/16" = 1'-0"



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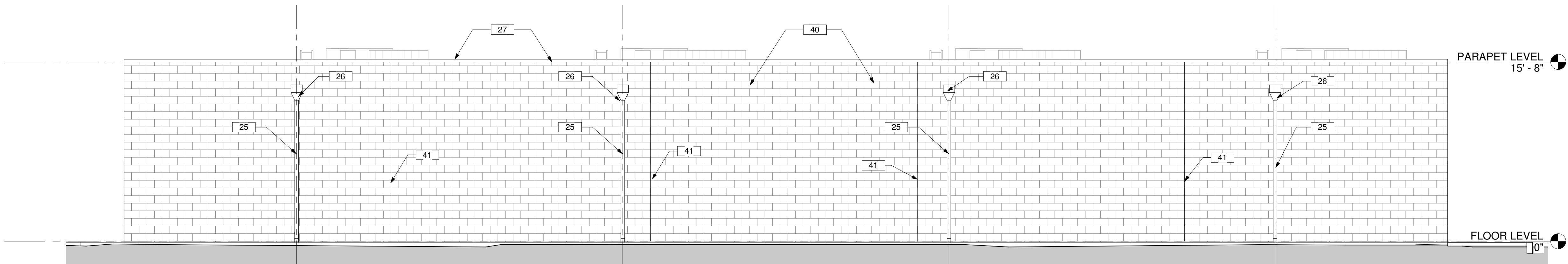
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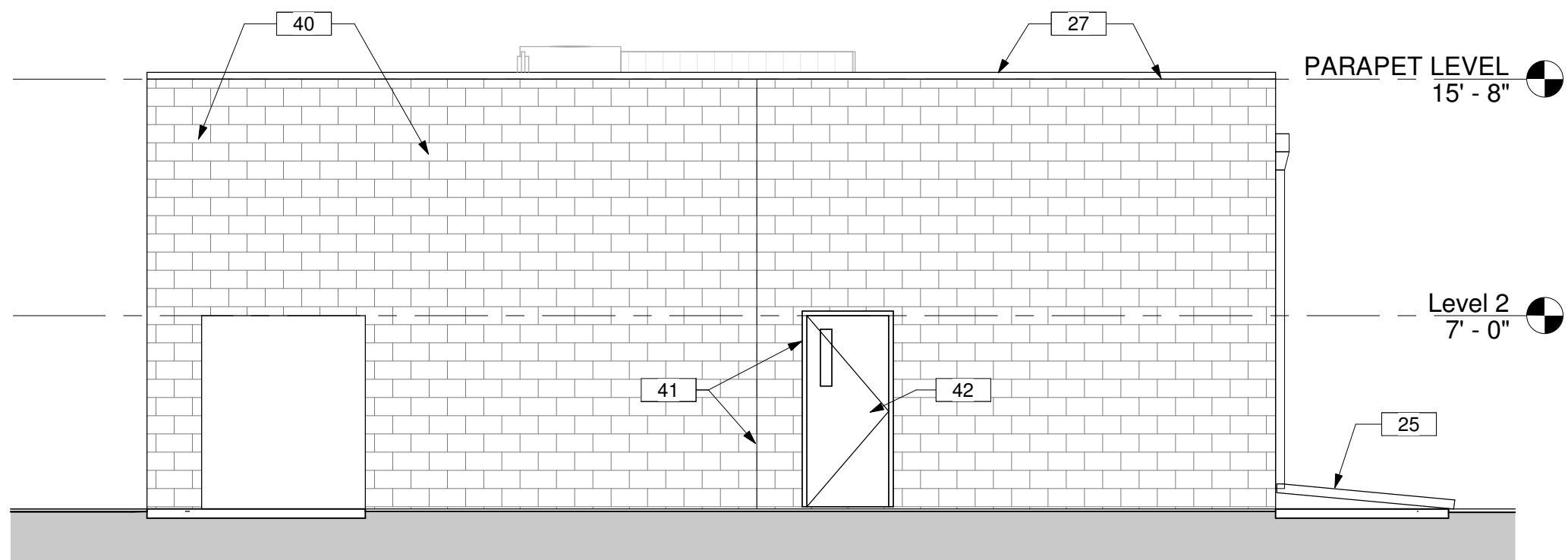
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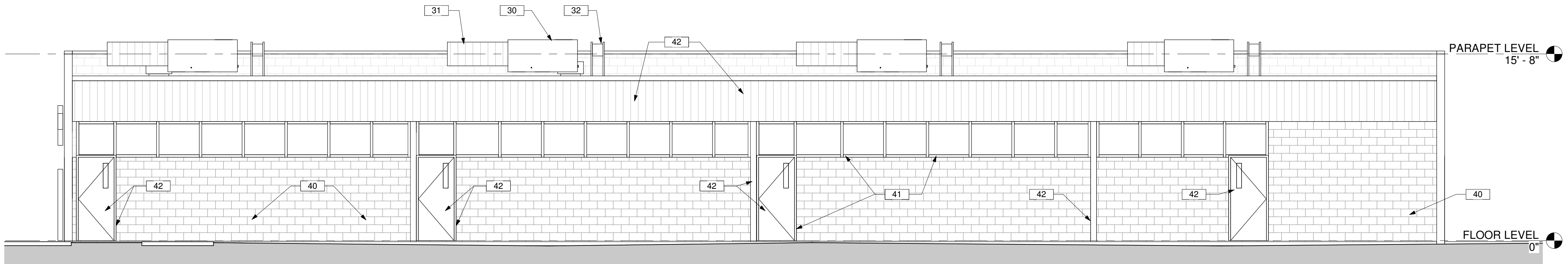
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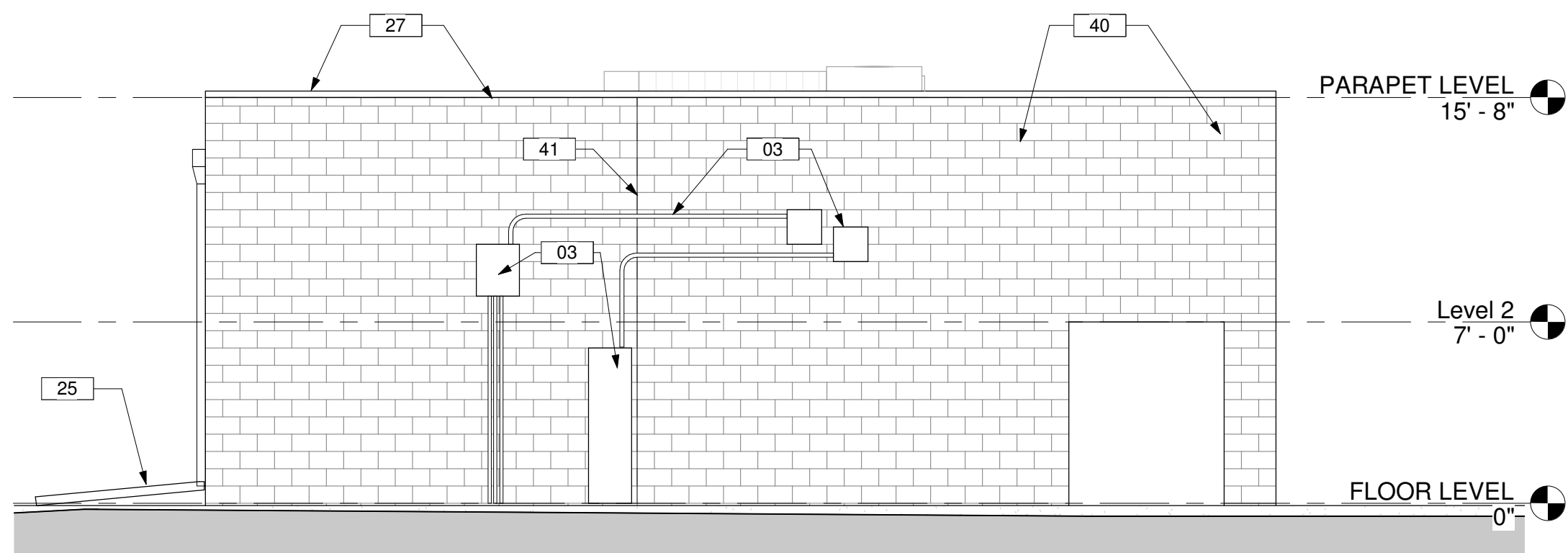
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3/16" = 1'-0"



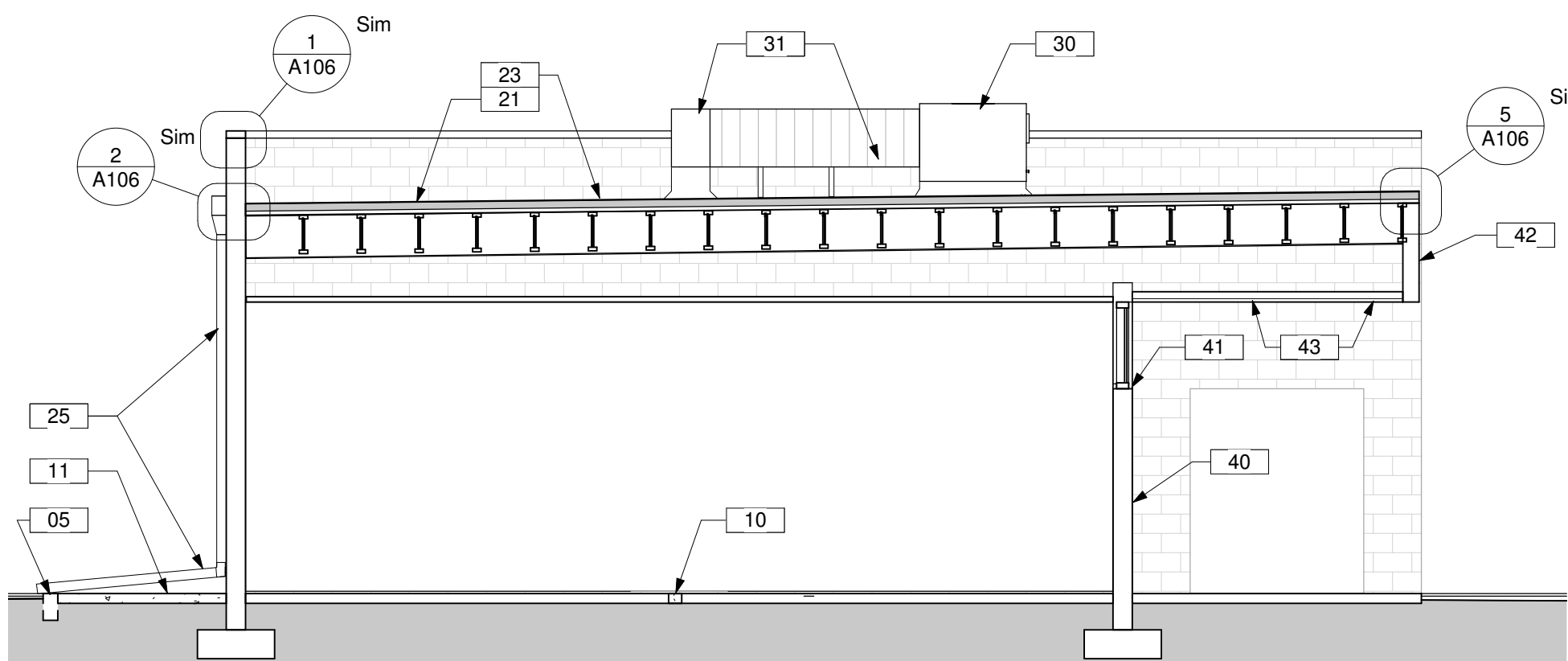
3 EAST SIDE NORTH BLDG
3/16" = 1'-0"



2 SOUTH SIDE NORTH BUILDING
3/16" = 1'-0"



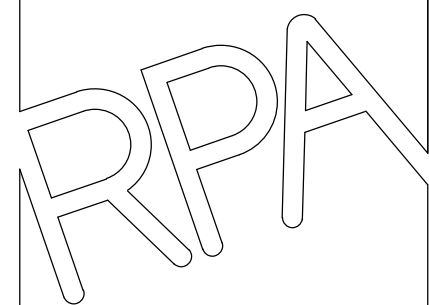
4 WEST SIDE NORTH BLDG
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5 SEC NORTH BLDG
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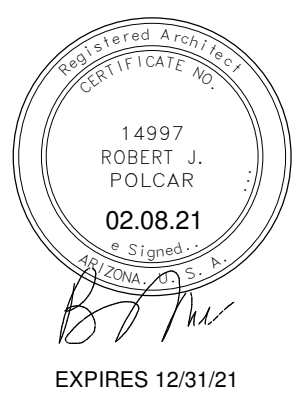
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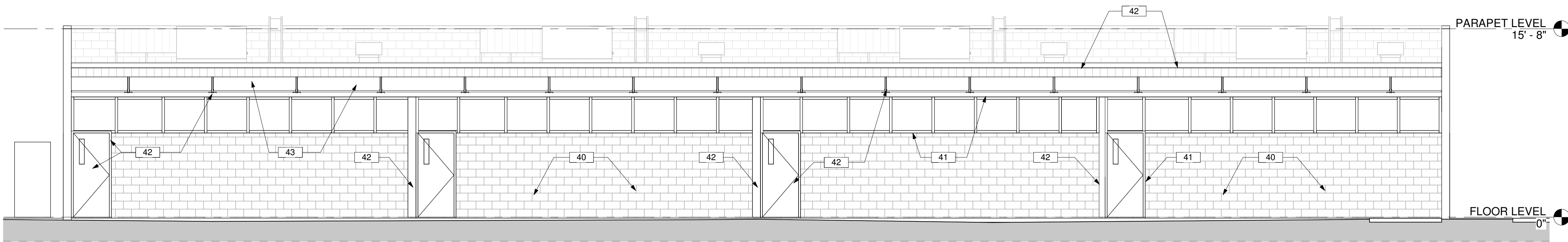
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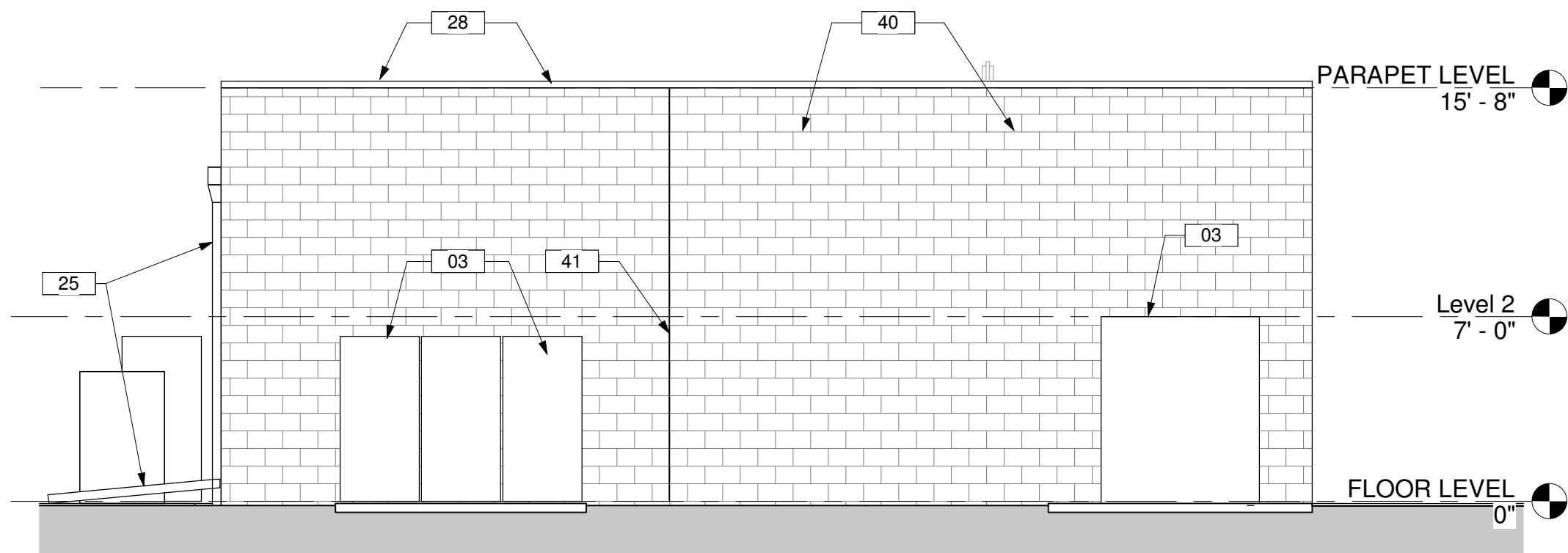
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NORTH BUILDING

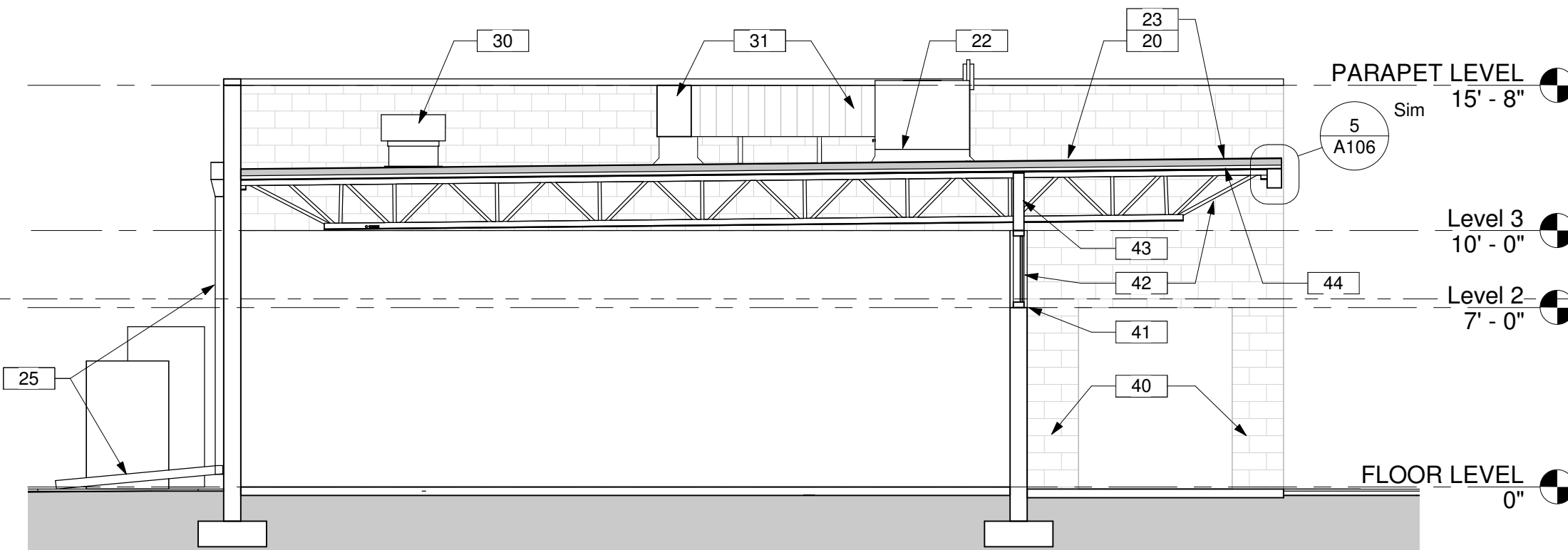
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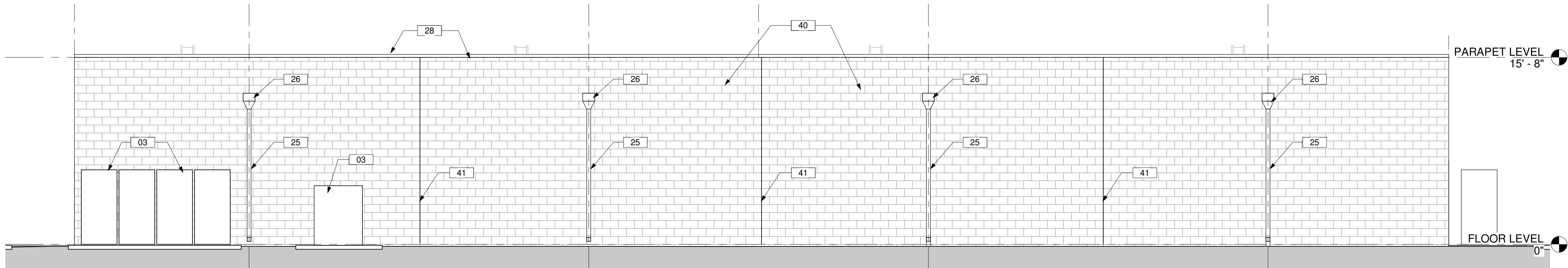
① NORTH SIDE SOUTH BLDG
3/16" = 1'-0"



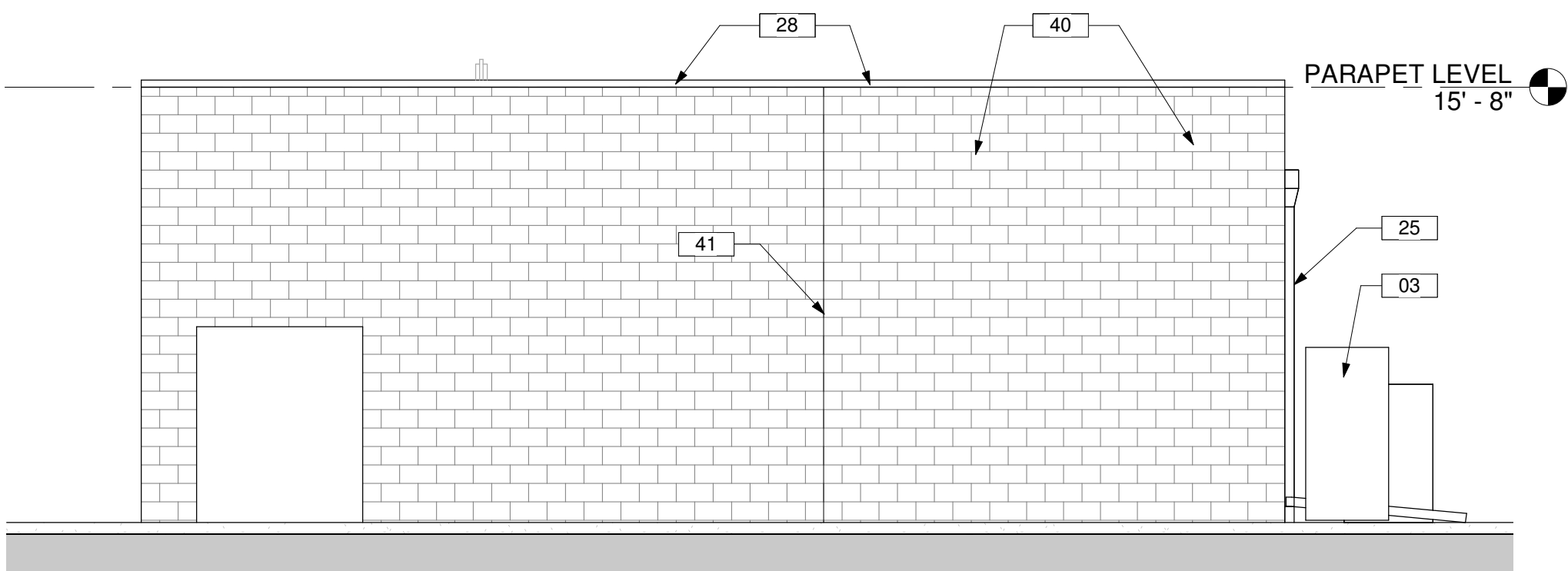
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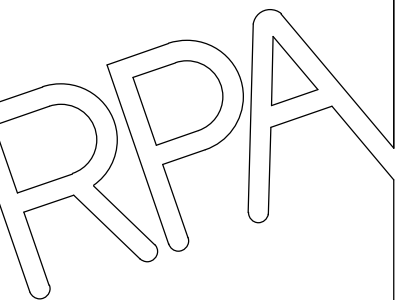


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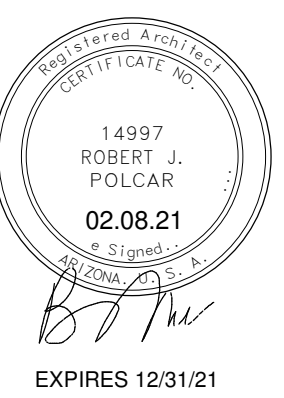
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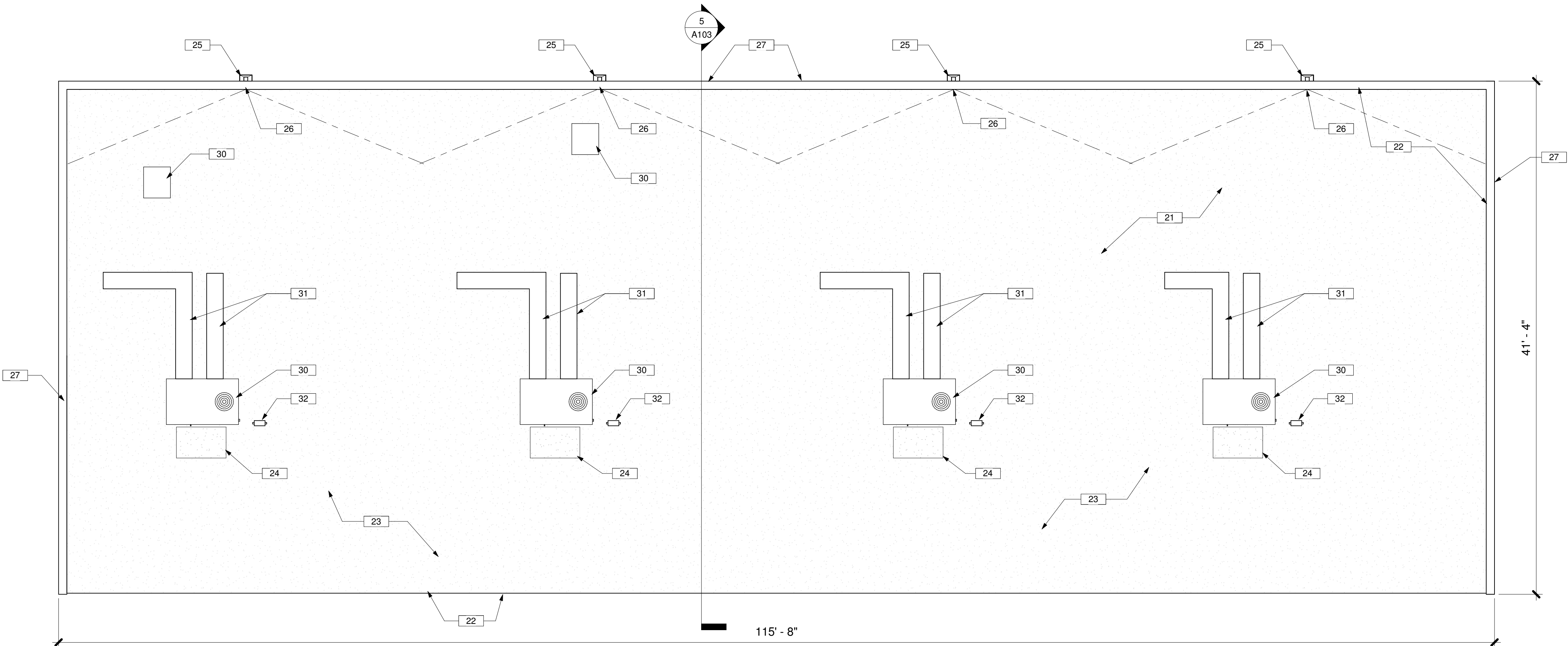
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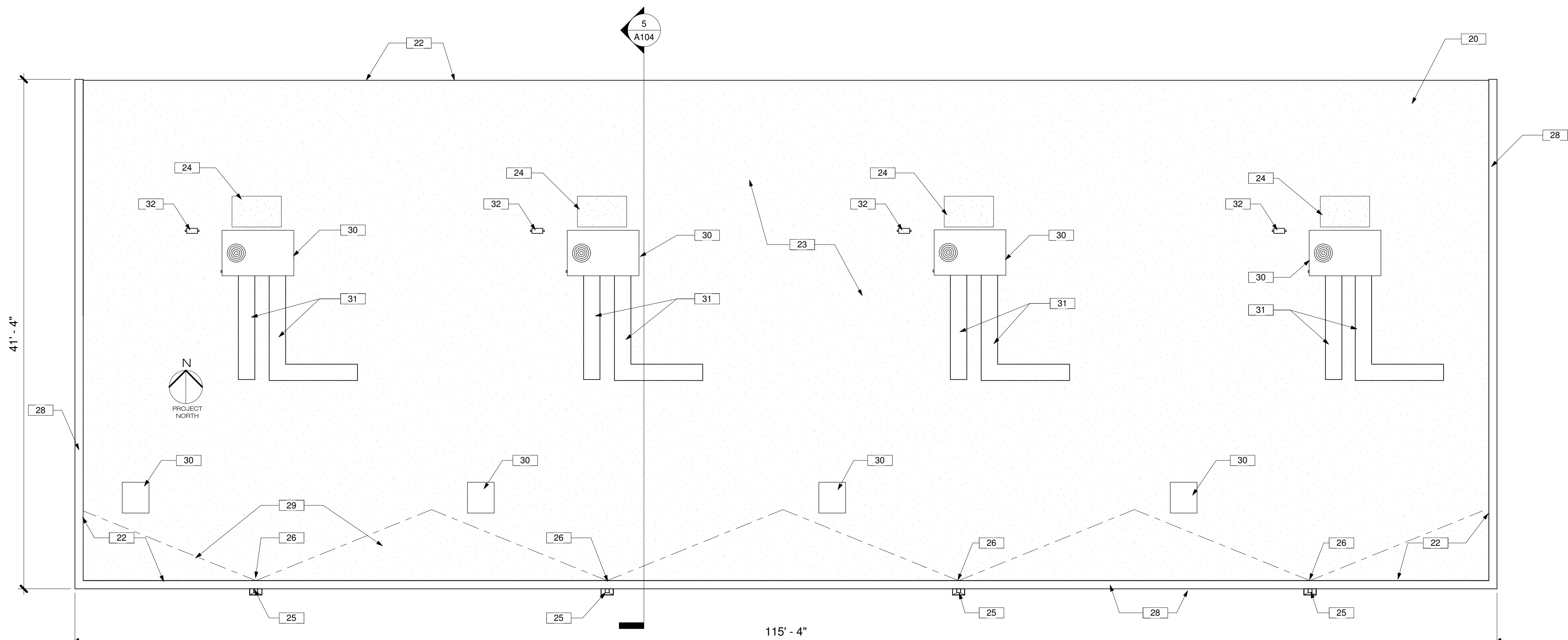


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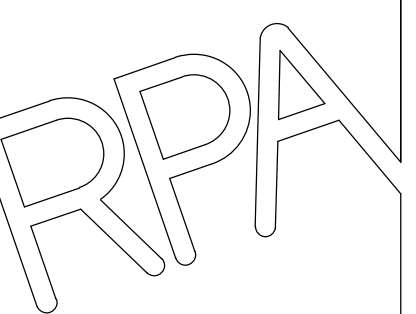
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 - NEW WALKPAD MATERIAL AT EACH UNIT, TYPICAL. INSTALL ON FILTER SIDE OF UNIT.
 - PROVIDE NEW DOWNSPOUTS AND EXTEND APPROXIMATELY 10 FEET BEYOND EXTERIOR WALL TO DIVERT RAINWATER AWAY FROM BUILDING FOUNDATIONS.
 - REMOVE AND REPLACE EXISTING THROUGH WALL SCUPPERS, TYPICAL.
 - EXISTING NORTH BUILDING METAL COPING AND WOOD NAILER TO BE REMOVED AND REPLACED WITH NEW.
 - PROVIDE AND INSTALL NEW WOOD NAILER AND METAL COPING ON SOUTH BUILDING.
 - PROVIDE TAPERED INSULATION FOR CRICKET, SLOPE MIN. 1/4" PER FT TO SCUPPERS.
 - EXISTING MECHANICAL UNITS, VENTS, EXHAUST FANS, SUPPORTS, CURBS, ETC. ARE TO BE INSPECTED BY THE ROOF MANUFACTURER REPRESENTATIVE FOR COMPLIANCE WITH THEIR WARRANTY REQUIREMENTS. CURBS SHALL BE ADJUSTED AND SUPPORTS REPLACED IF NECESSARY TO ACHIEVE THE 20 YEAR MANUFACTURER'S WARRANTY.
 - EXISTING DUCTWORK ABOVE ROOF SHALL BE INSPECTED AND PATCHED WHERE NECESSARY TO INSURE WATERTIGHT SYSTEM.
 - EXISTING UTILITY LINES (GAS, WATER, OR ELEC CONDUITS AND DISCONNECTS) TO REMAIN, SUPPORT AS NECESSARY DURING REROOF WORK, REMOVE WOOD BLOCKING AND PROVIDE NEW RUBBER SUPPORT BLOCKS. INSPECT AND REPLACE ELECTRICAL WHIPS AND OR CONDENSATE LINES WHERE NECESSARY FOR SAFETY OR CODE COMPLIANCE.
 - EXTERIOR MASONRY WALLS TO REMAIN, TYPICAL. REPAIR CRACKS IN JOINTS AND MASONRY AFTER FOUNDATION WORK IS COMPLETED. CLEAN, BLOCKFILL, PRIME AND COAT ALL EXTERIOR BLOCK SURFACES.
 - REMOVE AND REPLACE ALL BUILDING SEALANTS INCLUDING CONSTRUCTION JOINTS, SEALANT AROUND DOORS AND WINDOWS, SEALANT AT ALL BUILDING PENETRATIONS.
 - CLEAN, PRIME AND PAINT ALL EXTERIOR METAL DOORS, HOLLOW METAL WINDOW AND DOOR FRAMES, METAL FASCIAS, VERTICAL METAL PANELS AND METAL TRIMS. ALUMINUM FRAMES TO BE CLEANED.
 - CLEAN, PRIME AND PAINT EXTERIOR GYP BD OR PLASTER.
 - CLEAN, REPAIR/PATCH, PRIME AND PAINT EXTERIOR SOFFIT.

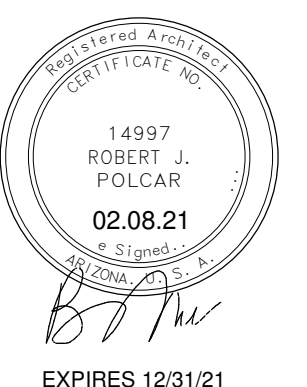


1 ROOF PLAN
3/16" = 1'-0"



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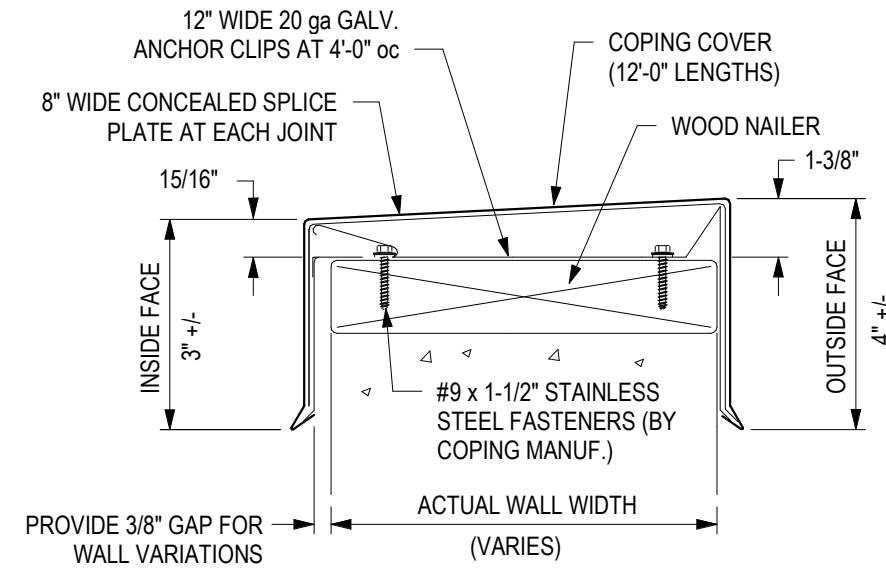
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FARAS SCHOOL WEATHERIZATION
410 W FIR AVE, PIRTLEVILLE, AZ 85626



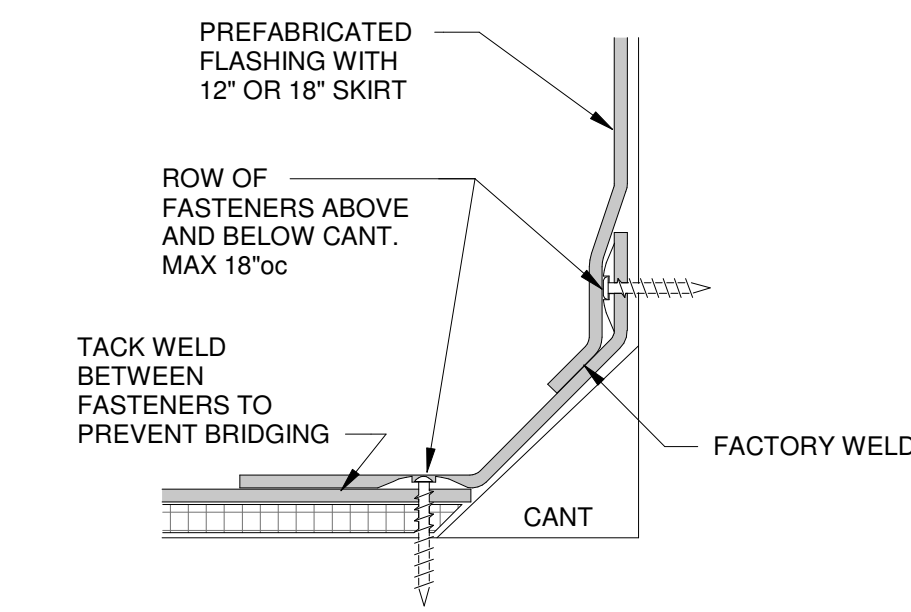
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Project number	020227105-9999-012BRG
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Drawn by	BP
Checked by	KS
Sheet Size	ARCH D
Sheet Name	ROOF PLANS

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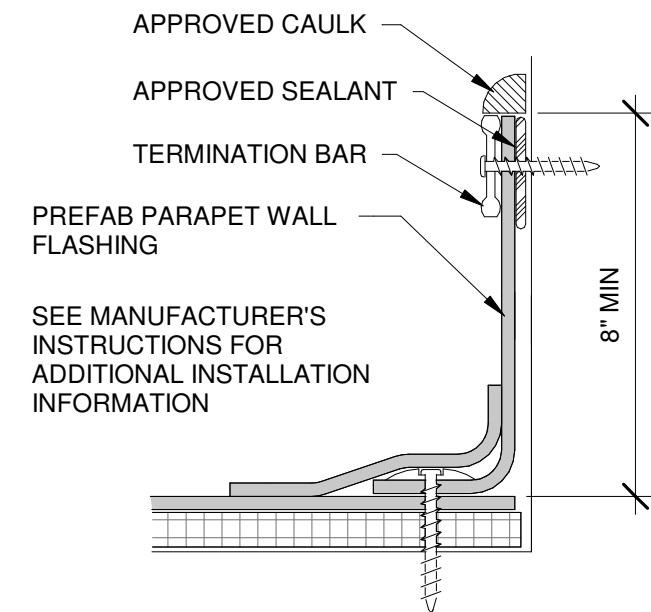
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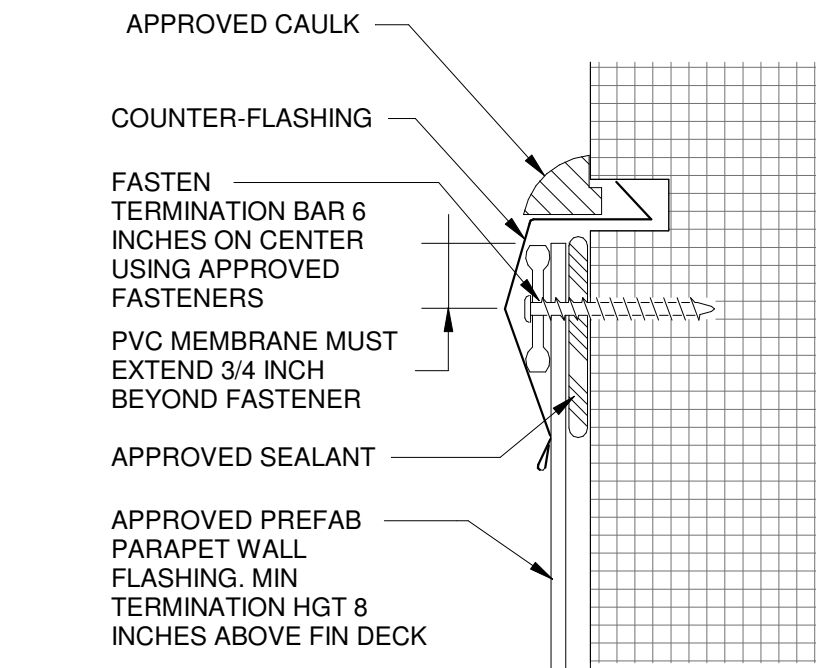
1 METAL COPING
3" = 1'-0"



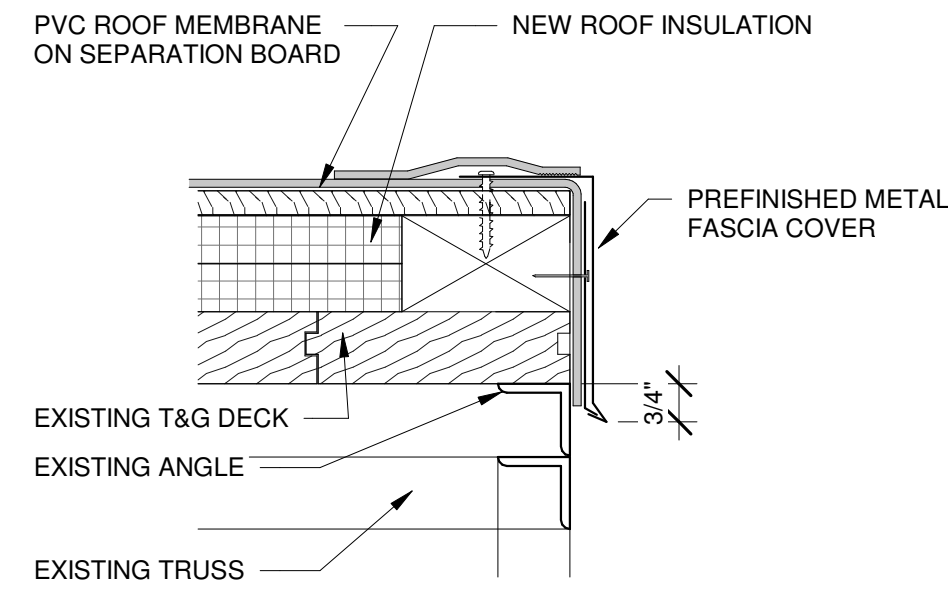
2 CANTED WALL
3" = 1'-0"



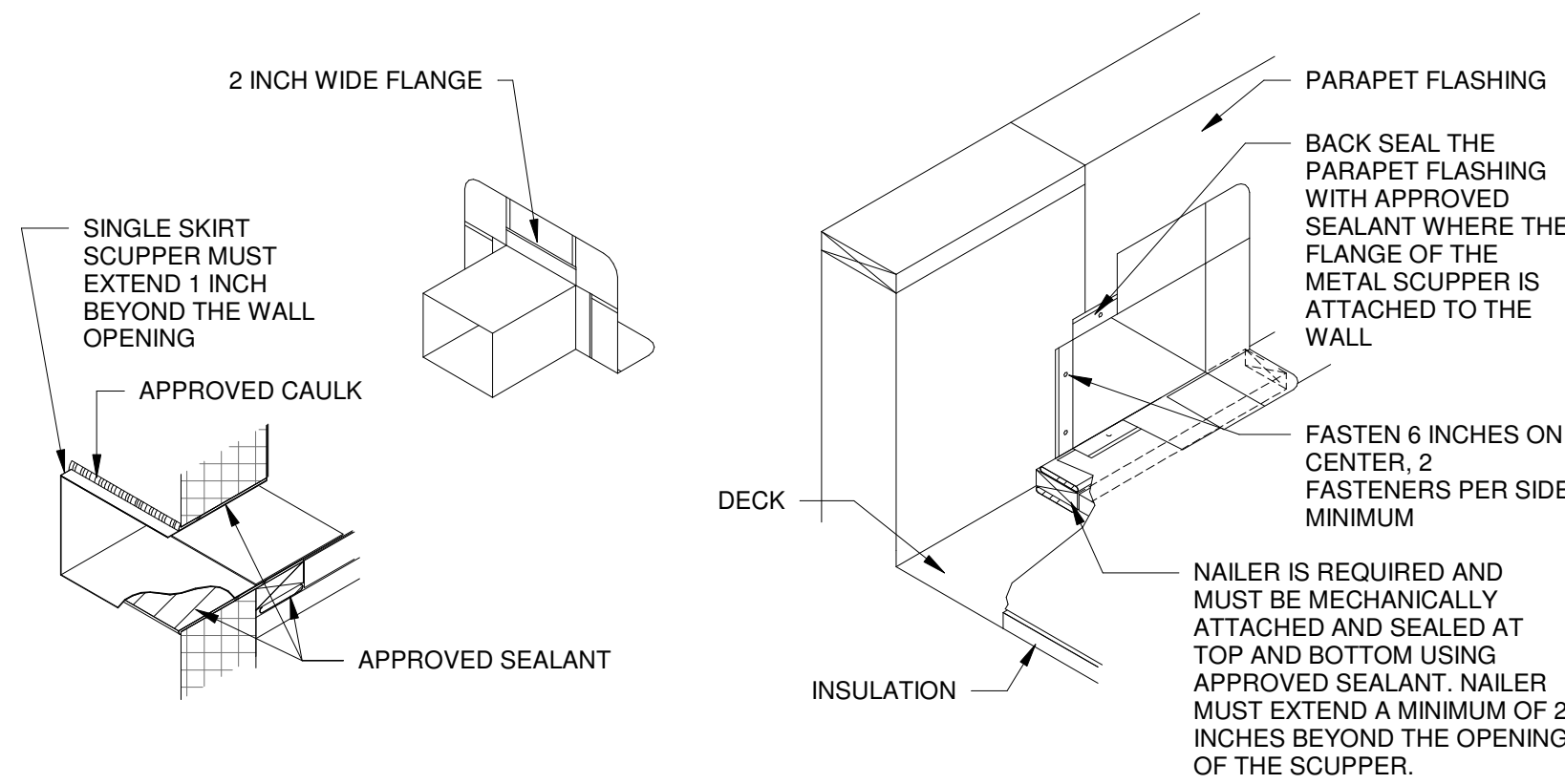
3 PARAPET WALL
3" = 1'-0"



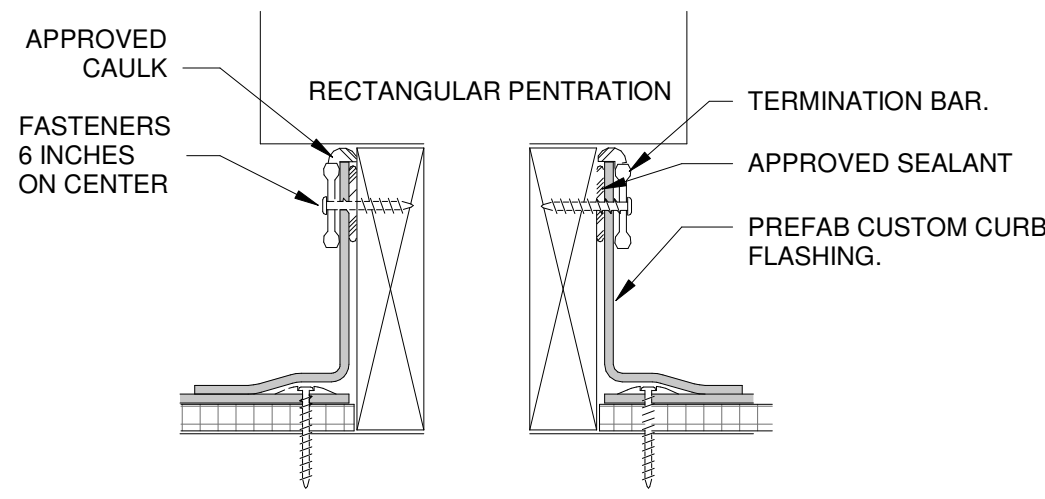
4 REGLET-COUNTERFLASHING
3" = 1'-0"



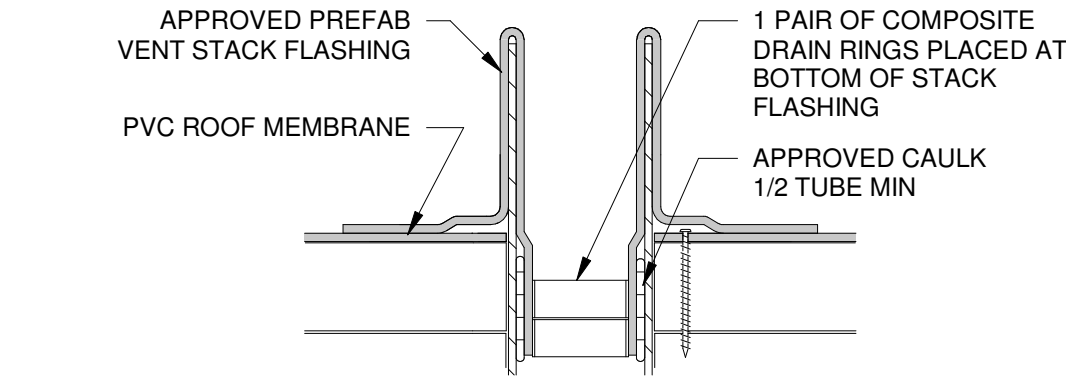
5 EDGE TERMINATION
3" = 1'-0"



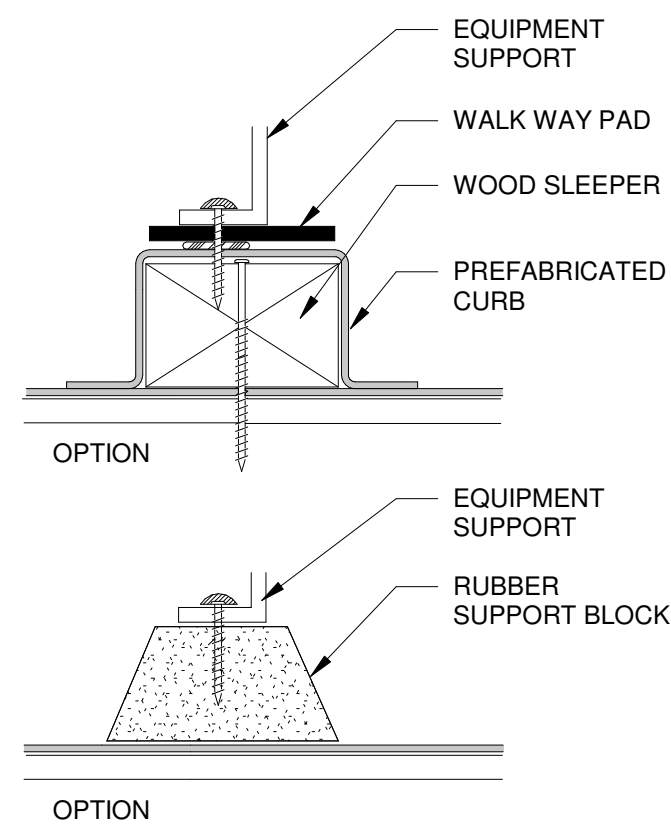
6 SCUPPER
3" = 1'-0"



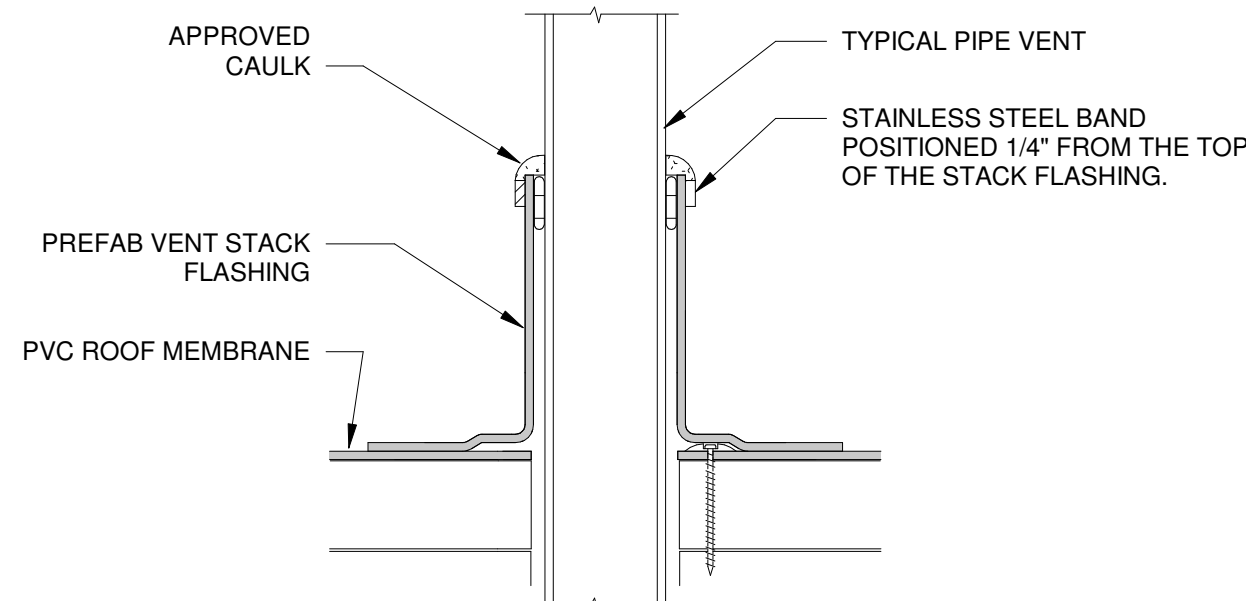
7 RECTANGULAR PENETRATION
3" = 1'-0"



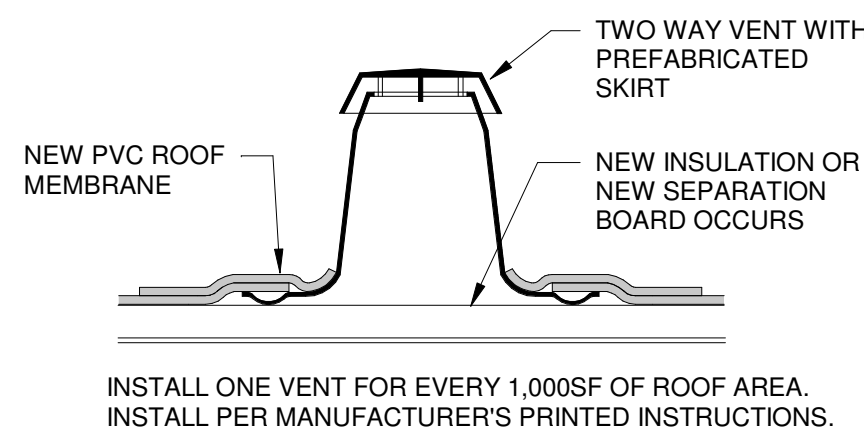
8 OVERFLOW
3" = 1'-0"



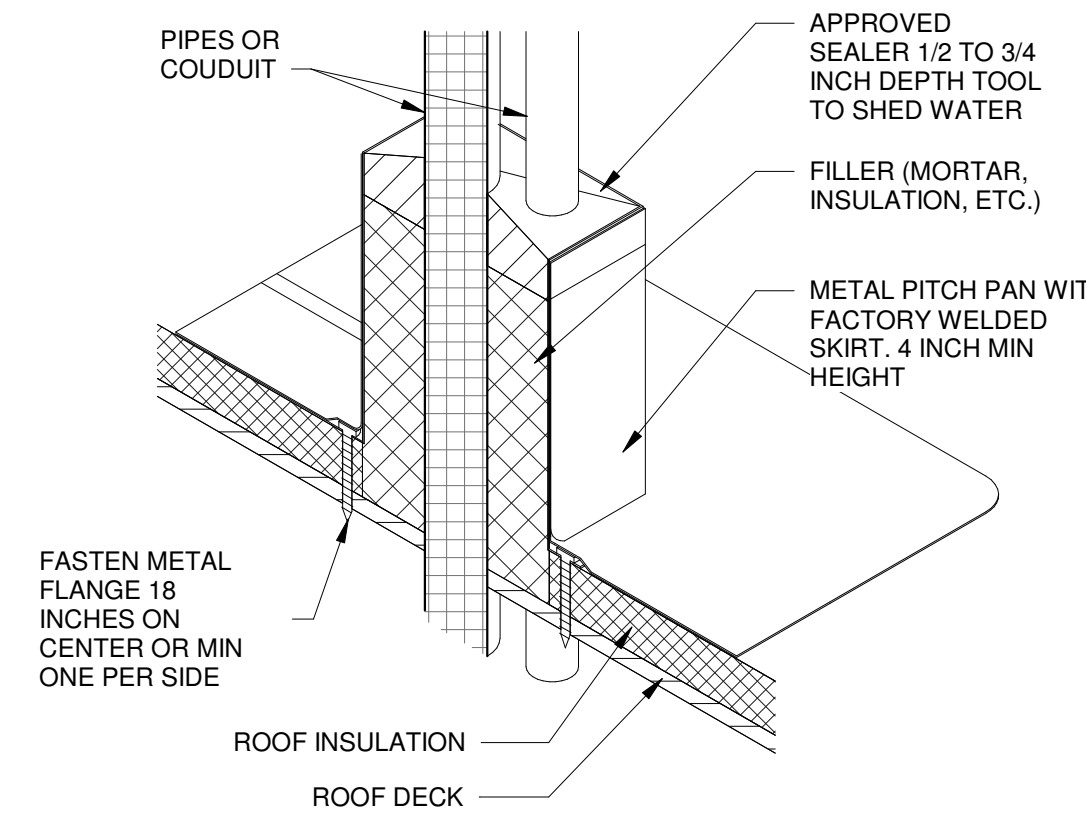
9 SUPPORT BLOCK
3" = 1'-0"



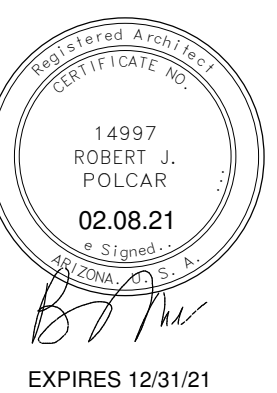
10 PIPE PENETRATION
3" = 1'-0"



11 VENT DETAIL
3" = 1'-0"



12 ROOF PENETRATION
3/4" = 1'-0"



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STRUCTURAL NOTES:

1. DESIGN CRITERIA:

A. ALL CONSTRUCTION SHALL CONFORM TO THE 2012 EDITION OF THE INTERNATIONAL BUILDING CODE.

B. EXISTING ROOF:

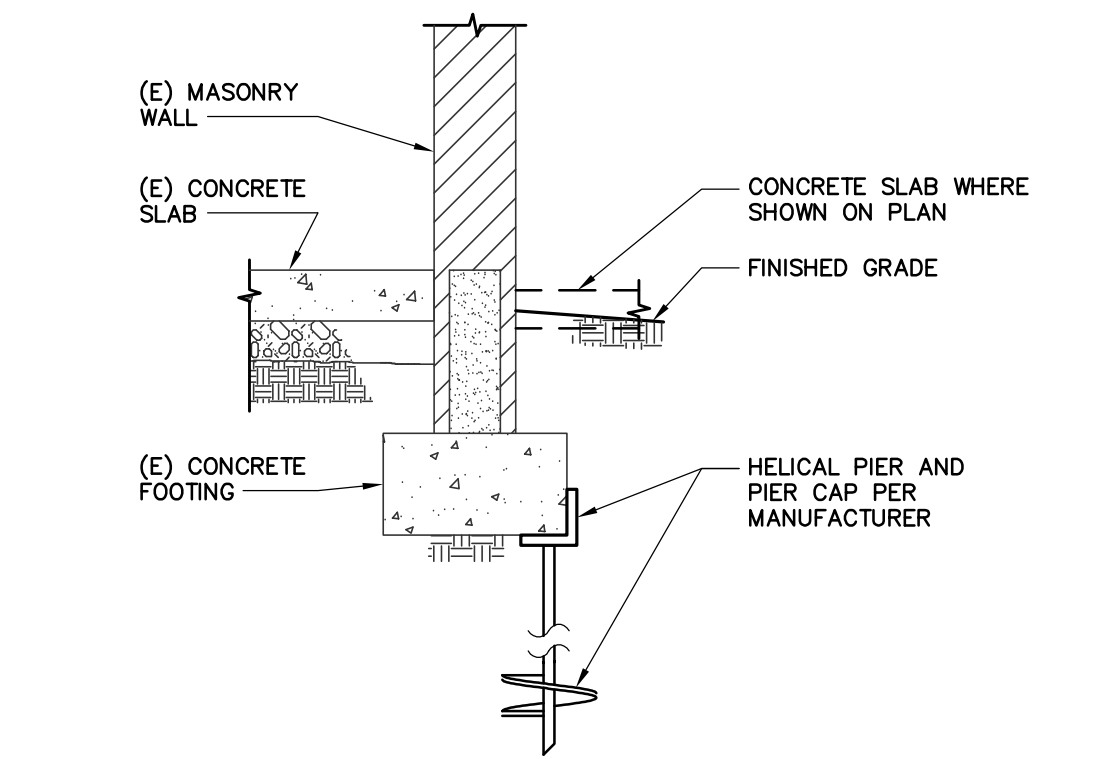
ROOF LIVE LOAD = 20 PSF (REDUCIBLE)

ROOF DEAD LOAD = 16 PSF
2. DETAILS AND NOTES ON DRAWINGS SHALL TAKE PRECEDENCE OVER STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
3. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.
4. DETAILS MARKED "TYPICAL" MAY OR MAY NOT BE CUT ON PLANS, BUT SHALL APPLY UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT THE STRUCTURE DURING CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHORING, BRACING, AND SCAFFOLDING. OBSERVATION VISITS OR SPECIAL INSPECTION TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS. THE STRUCTURAL ENGINEER WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SITE SAFETY, OR THE SAFETY PRECAUTIONS AND PROGRAMS.
6. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED ROOF OR FLOORS. THE LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
7. THE CONTRACT STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHOD OF CONSTRUCTION.
8. ALL CONSTRUCTION SHALL COMPLY WITH RECOMMENDATIONS OF THE GEOTECHNICAL REPORT #G24634, BY RICKER, ATKINSON, McBEE, MORMAN AND ASSOCIATES INC. DATED MARCH 15, 2018.
9. HELICAL PIER SHALL BE DESIGNED BY A CIVIL OR STRUCTURAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED. THE DESIGN LOADS ARE STATED ON THE DRAWINGS. SHOP DRAWINGS AND CALCULATIONS SHALL BE STAMPED BY A CIVIL OR STRUCTURAL ENGINEER REGISTERED IN THE STATE AND SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION.
10. MATERIALS SPECIFICATIONS:

HELICAL PIERs — DESIGNED FOR AN ALLOWABLE VERTICAL LOAD OF 25,000 LBS/PIER.

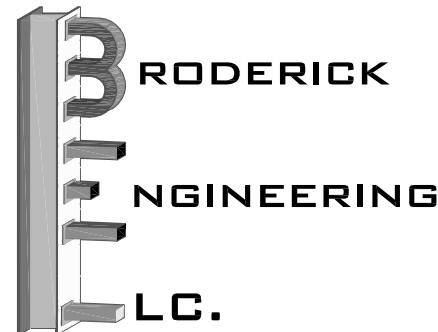
11. SPECIAL INSPECTIONS SHALL BE PERFORMED BY BRODERICK ENGINEERING, LLC OR A QUALIFIED INSPECTOR AS APPROVED BY THE BUILDING OFFICIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A MINIMUM OF 24 HOURS NOTICE TO THE SPECIAL INSPECTOR AND THE TESTING LABORATORY PRIOR TO BEGINNING ANY WORK FOR WHICH SPECIAL INSPECTION OR TESTING IS REQUIRED. THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE WITH THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL AND TO THE ENGINEER OR ARCHITECT OF RECORD. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED, TO THE ENGINEER OR ARCHITECT OF RECORD AND THE BUILDING OFFICIAL. SPECIAL INSPECTION IS REQUIRED DURING THE FOLLOWING OPERATIONS PER IBC CHAPTER 17:

A. HELICAL PIERs: DURING INSTALLATION OF ALL HELICAL PIERs TO ENSURE THAT EMBEDMENT AND TORQUE REQUIREMENTS HAVE BEEN MET — CONTINUOUS.

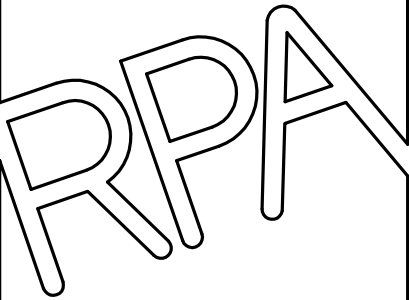


NEW HELICAL PIER AT EXISTING CONCRETE FOOTING

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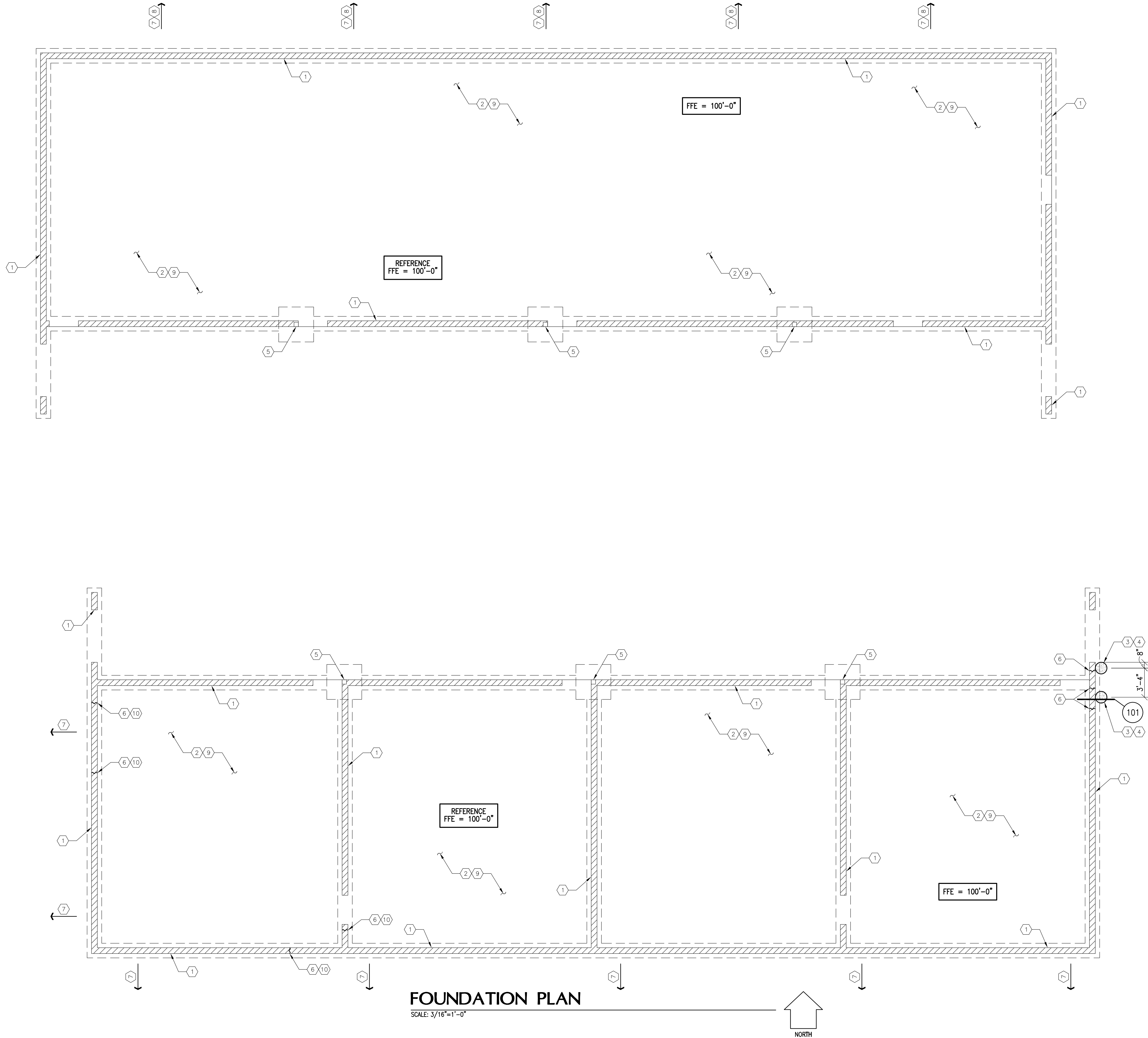
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EXPIRES 3/31/2021

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Structural Notes and Details	

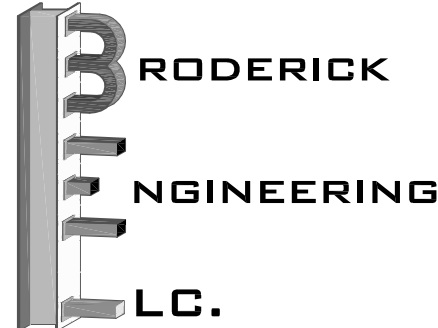
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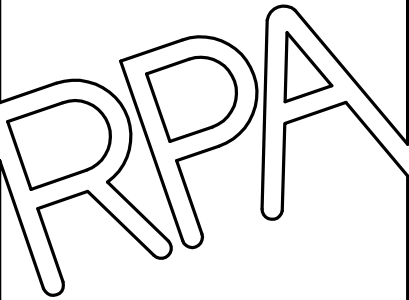
FOUNDATION PLAN NOTES

- 1 - INDICATES EXISTING MASONRY WALL AND ASSOCIATED CONCRETE FOOTING TO REMAIN - TYPICAL.
- 2 EXISTING CONCRETE SLAB TO REMAIN - TYPICAL.
- 3 NEW HELICAL PIER DESIGNED FOR AN ALLOWABLE VERTICAL LOAD OF 25,000 LBS/PIER - ATTACH TO EXISTING WALL FOOTING PER MANUFACTURER.
- 4 USE NEW HELICAL PIER TO JACK UP EXISTING FOOTING AND WALL ASSEMBLY TO A LEVEL CONDITION.
- 5 EXISTING STEEL COLUMN AND ASSOCIATED CONCRETE FOOTING TO REMAIN.
- 6 FILL IN EXISTING CRACK VOIDS IN MASONRY WALL ASSEMBLY ABOVE WITH EPOXY DURING THE JACKING PROCESS OR AFTER JACKING IS COMPLETE - DO NOT LET EPOXY CURE PRIOR TO COMPLETION OF THE JACKING PROCESS (PRIOR TO TIGHTENING UP EXISTING WALL CRACKS).
- 7 SLOPE FINISHED GRADE AWAY FROM EXISTING FOUNDATION PERIMETER AND/OR NEW CONCRETE SIDEWALK FOR 5'-0" MINIMUM TOWARDS POSITIVE DRAINAGE TO ELIMINATE PONDING WITHIN 10'-0" OF EXISTING FOUNDATION - TYPICAL.
- 8 NEW CONCRETE SIDEWALK PER ARCHITECTURAL DRAWINGS.
- 9 REPAIR EXISTING SLAB CRACKS AND MONITOR AS REQUIRED PER GEOTECHNICAL REPORT AND ARCHITECTURAL DRAWINGS - TYPICAL.
- 10 MONITOR EXISTING WALL CRACKS AS REQUIRED PER GEOTECHNICAL REPORT AND ARCHITECTURAL DRAWINGS - TYPICAL.

NOTE:
EVERY EFFORT HAS BEEN MADE TO DETERMINE AS-BUILT CONDITIONS DURING DEVELOPMENT OF CONSTRUCTION DOCUMENTS. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY AS-BUILT CONDITIONS AND NOTIFY THE ENGINEER OF RECORD IF IT IS DETERMINED THAT THE ACTUAL CONDITIONS VARY FROM WHAT IS NOTED AND REFERENCED ON THESE DRAWINGS.



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Foundation Plan	

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