



BID ADDENDUM NO.2

CHILLICOTHE ELEMENTARY SCHOOL ADDITION

Issue Date: October 7, 2022

Project: Chillicothe Elementary School Addition
Chillicothe, Missouri

Bidders are hereby informed that the following changes, corrections, additions, deletions, and clarification information are made in regards to the Contract Documents. Acknowledgement of receipt of the Addendum is required as part of the Work, and receipt of all Addendums shall be so indicated on the Bid Proposal.

Refer to Drawings and Specifications Issued for Bid dated: **September 23, 2022**. Refer to Responses, Drawings, and Specifications Issued in Addendum #1 dated: **September 30, 2022**

GENERAL:

1. Bid time has been extended to Wednesday, **October 26th**. **Bids are due at 1:00pm CST** and will be opened at 1:10pm. The School District will make a recommendation to the Board on Tuesday, November 1st during a special board meeting.

BIDDERS QUESTIONS:

1. Question: Please clarify where the stadium parking is located?
a. Answer: Reference sheet C406 issued in this Addendum.
2. Question: What is the extent of grading that is required behind the District Administration Building?
a. Answer: Reference sheet C503 issued in this Addendum.
3. Question: What extent is photo documentation required on site?
a. Answer: Weekly photographs are expected to be submitted to keep the District and Architect updated on the progress at the job site. These photographs can be individual photographs (that have labels) or inserted into a word doc or pdf that has a brief description under the photo (example: "West Elevation"). The quantity of photographs can be 6-10 photographs per week. GIS locations are not required. Reference updated specification 013233 Photographic Documentation issued in this Addendum.
4. Question: Can you confirm that all subcontractors and GC's must provide to the Owner both the Missouri Child Abuse or Neglect/Criminal Record Check, as well as the Missouri State Highway Patrol Criminal Record Check? (Reference Specification 007301 Section 8.7.5)
a. Answer: The School District is requiring that the Contractor shall not utilize an employee, including a subcontractor or his employee, on Owner's property who is a registered sex offender or who has an unsatisfactory criminal record. Contractor shall have on file two types of background checks for all employees or subcontract employees who will be working on/in any Owner campus and/or buildings. The two



checks included Missouri Child Abuse or Neglect/Criminal Record Check, as well as the Missouri State Highway Patrol Criminal Record Check.

5. Question: Can you confirm that the School District will be providing Builder's Risk Insurance and that they will not request the Contractor to provide this coverage? (Reference Specification 007301 Section 1.1 Article A.2)
 - a. Answer: The School District will be providing Builder's Risk Insurance.
6. Question: - Room number 918 on the schedule calls for CPT-1 and LNT-1 but the legend is calling for CPT-1 only?
 - a. Answer: Room 918 will only have CPT-1. Reference sheet A700 issued in this Addendum.
7. Question: What is the height of the shelving being provided in the Library?
 - a. Answer: Reference enlarged plan 1/A602. The shelving height is located in the bottom right of the enlarged Library Plan.
8. Question: Are you wanting dampproofing and a waterstop at the elevator pit.
 - a. Answer: Reference sheet 12/S200 for the location of the waterstop. A heavy-duty vapor barrier should be provided below the elevator pit slab and dampproofing should be installed on the outside face of the walls to the elevator pit.
9. Question: Where should the waterstop be installed at exterior grade beams and foundation footings?
 - a. Answer: Reference sheets A350, A351, and A352 issued in Addendum #2. Dampproofing should be installed on the exterior vertical face of the first floor slab and the horizontal exterior face of the grade beams and foundation footings. A waterstop should be placed 4" in from the outside edge of the slab turndown. This is typical for all outside wall locations on the first floor.
10. Question: Should recessed lighting be installed at the hexagon cubbies with wood trim at the north and south walls of the central stair.
 - a. Answer: Reference detail 3/A650. These cubbies are shallow and decorative. Lighting should not be provided in this location. The deeper cubbies do have recessed lighting, reference 2/A650.
11. Question: If the North Overflow parking lot is not installed, do you still want a storm inlet installed?
 - a. Answer: Reference sheet C502, which indicates that if the North Overflow parking lot is not installed, storm line C shall be moved approximately 25' south to be constructed in the new north lot low point.
12. Question: Can you provide more information about the existing Administration Building Downspouts?
 - a. Answer: See pictures provided at the back of this addendum showing the current downspouts that are installed at the administration building. The existing extensions should be removed, and a new cast iron boot should be installed that provides a connection from the existing downspouts to the new storm drainpipe indicated on sheet C503.
13. Question: 104D is a new 90-minute door, but it's not on the door schedule nor in any hardware sets. Can you please let me know what size and type of door and frame and what hardware set it should belong to?
 - a. Answer: On sheet A102a, door tag D104 should read 724C. This door is included in the schedule and hardware specification. Reference sheet A102a issued in this Addendum.



14. Question: 178a is indicated in the plans, but it's not on the door schedule nor in any hardware sets. Can you please let me know what size and type of door and frame and what hardware set it should belong to?
- a. Answer: On Sheet A105a, door tag 178A should read 124A. This door is included in the schedule and hardware. Reference sheet A105a issued in this Addendum.
15. Question: Is a Construction Schedule required to be submitted with the bid?
- Answer: As noted in 002113 Instructions to Bidders, a construction schedule is only required during the bidding period upon request. Once the Owner has selected a bidder, the Architect and Owner will request that a construction schedule be submitted for review and approval.
16. Question: Is there a location that identifies the carpet type that should be installed in the cubbies?
- Answer: The interior elevations should show the carpet types for each color. As an example, 2/A603 indicates two different carpet types to be installed (CPT-15 and CPT-14). For the rectangular cubbies located just outside the Think Tanks (represented in 5/A605), all rectangular cubbies should be.

DRAWING REVISION:

1. SHEET G000:
 - a. CLARIFIED – Project Alternate NO 3, title changed to Northern Overflow Parking Lot.
 - b. CLARIFIED – Project Alternate NO 4, title changed to Northern Overflow Parking Lot.
 - c. MODIFY – Project Alternate NO 5, eliminated lights from the deduct description. Lights are not to be installed at the Stadium Parking Lot.
2. SHEET C302:
 - a. CLARIFIED – The enlarged plan was updated to clarify to indicate the location of the North Overflow Parking Lot referencing back to the updated made to Alternates NO. 3 and NO. 4.
3. SHEET C403:
 - a. CLARIFIED – The enlarged plan was updated to clarify to indicate the location of the North Overflow Parking Lot referencing back to the updated made to Alternates NO. 3 and NO. 4.
4. SHEET C406:
 - a. CLARIFIED – A title was added to the enlarged plan clarifying that the plan is of the Stadium Parking Lot identified in Alternate NO. 5.
5. SHEET C503:
 - a. CLARIFIED – The extent of grading that is required at new storm drain inlet.
 - b. CLARIFIED – A title was added to the Administration Building
6. SHEET A018:
 - a. MODIFY – On sheet updated signage material for signage type 1-10.
7. SHEET A102a:
 - a. MODIFY – On sheet A102a, door tag 104D was modified to read 724C.
8. SHEET A105a:
 - a. MODIFY – On sheet A105a, door tag 178A was modified to read 124A.
9. SHEET A350:
 - a. MODIFY – Section 5/A350 to coordinate directions for heavy duty vapor barrier, waterstop, and dampproofing installation.



- b. MODIFY – Section 6/A350 to coordinate directions for heavy duty vapor barrier, waterstop, and dampproofing installation.
- 10. SHEET A351:
 - a. MODIFY – Section 6/A351 to coordinate directions for heavy duty vapor barrier, waterstop, and dampproofing installation.
- 11. SHEET A352:
 - a. MODIFY – Section 7/A352 and Section 8/A352 to coordinate directions for heavy duty vapor barrier, waterstop, and dampproofing installation.
- 12. SHEET A700:
 - a. MODIFY – Room 918 in the finish legend has been updated to just be CPT-1.

SPECIFICATIONS REVISION:

- 1. Section 001113 – Advertisement for Bids:
 - a. MODIFY – The bid due date and questions to the Architect was modified to match dates issued in Addendum No. 1.
 - b. MODIFY – Identified when bids would be read aloud and a final award would be announced, based on information issued in Addendum No. 1.
 - c. ADD – Requirement that the Storm Shelter Masonry Schedule Form is to be submitted with bids, as noted in Addendum No. 1.
- 2. Section 002113 – Instruction to Bidders:
 - a. MODIFY – The bid due date and questions to the Architect was modified to match dates issued in Addendum No. 1.
 - b. ADD – Requirement that the Storm Shelter Masonry Schedule Form is to be submitted with bids, as noted in Addendum No. 1.
- 3. Section 004323 – Alternate Bid Form:
 - a. CLARIFIED – Project Alternate NO 3, title changed to Northern Overflow Parking Lot.
 - b. CLARIFIED – Project Alternate NO 4, title changed to Northern Overflow Parking Lot.
 - c. MODIFY – Project Alternate NO 5, eliminated lights from the deduct description. Lights are not to be installed at the Stadium Parking Lot.
- 4. Section 012300 – Alternates:
 - a. CLARIFIED – Project Alternate NO 3, title changed to Northern Overflow Parking Lot.
 - b. CLARIFIED – Project Alternate NO 4, title changed to Northern Overflow Parking Lot.
 - c. MODIFY – Project Alternate NO 5, eliminated lights from the deduct description. Lights are not to be installed at the Stadium Parking Lot.
- 5. Section 013233 – Photographic Documentation:
 - a. CLARIFIED – How pictures should be labeled, as noted in Question 3 if Addendum #2.
 - b. DELETED – Metadata requirements were deleted from specification.
 - c. MODIFY – Required number of photographs taken weekly, as noted in Question 3 if Addendum #2.

SUBSTITUTION REQUEST:

1. Question: Can Aluminum Canopy System by Archetype Canopies be substituted for the Pre-Engineered Metal Awning?
 - a. Answer: Yes, Aluminum Canopy System by Archetype Canopies may be used for the Pre-Engineered Metal Awning as long as the specifications requirements are met outlined in Section 105300. The basis of design for finish is Mapes extra dark bronze. A similar color should be submitted.

END OF ADDENDUM



Chillicothe Admin Building Existing Downspout: Note this downspout is not showing an extension that does exist at the base of the downspout. The extension to be removed.



SUBSTITUTION REQUEST

(During the Bidding/Negotiating Stage)

Project: Chillicothe Elementary School Addition Substitution Request Number: 1
900 Coach K Street, Chillicothe, MO 64601 From: Archetype Canopies
To: Lawhon Construction Company Date: 9/29/2022
Attn: Rick Akers A/E Project Number: _____
Re: Substitution request Contract For: Aluminum Canopy

Specification Title: Pre-Engineered Metal Awning Description: Products
Section: 105300 Page: 1 - 3 Article/Paragraph: Part 2.1A

Proposed Substitution: Aluminum Canopy System

Manufacturer: Archetype Canopies Address: 5408 S 103rd E Ave, Tulsa, OK 74146 Phone: (918) 584-8449
Trade Name: Architectural Canopies Model No: _____

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

The Undersigned certifies:

- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product.
- Same warranty will be furnished for proposed substitution as for specified product.
- Same maintenance service and source of replacement parts, as applicable, is available.
- Proposed substitution will have no adverse effect on other trades and will not affect or delay progress schedule.
- Proposed substitution does not affect dimensions and functional clearances.
- Payment will be made for changes to building design, including A/E design, detailing, and construction costs caused by the substitution.

Submitted by: Jerran Huey

Signed by: Jerran Huey

Firm: Archetype Canopies

Address: 5408 S 103rd E Ave

Tulsa, OK 74146

Telephone: (918) 584-8449

A/E's REVIEW AND ACTION

- ☐ Substitution approved - Make submittals in accordance with Specification Section 01 25 00 Substitution Procedures.
☐ Substitution approved as noted - Make submittals in accordance with Specification Section 01 25 00 Substitution Procedures.
☐ Substitution rejected - Use specified materials.
☐ Substitution Request received too late - Use specified materials.

Signed by: _____ Date: _____

Supporting Data Attached: ☒ Drawings ☒ Product Data ☐ Samples ☐ Tests ☐ Reports ☒ Other

Statement of Qualifications:

- Archetype's Engineers are licensed in all 50 US States.
- Archetype's management staff and installers have completed over 150 canopy and walkway projects within the last 5 years in the State of Oklahoma including the largest contiguous Aluminum walkway ever constructed in Oklahoma for Jenks Public Schools at over 13,500 SF.
- In the last 12 months alone, Archetype's management staff and installers have completed over \$3 million in canopy and walkway projects for the following:
 - Bethany Public Schools, Owasso Public Schools, Jenks Public Schools, Union Public Schools, Ponca City Public Schools, Arapaho Public Schools, Okarche Public Schools, Deer Creek Middle School, Bixby Public Schools, Apache Public Schools, Broken Arrow Public Schools, Putnam City North, Putnam City High School, Putnam City West, City of Oklahoma City, Edmond Public Schools, Moore Public Schools, City of Tulsa Parks, Stroud Public Schools, City of Stillwater, Chickasaw Nation, Cherokee Nation, Boardwalk at Bixby Apartments, Dial Senior Apartments, Spring Creek Lift Station, Clinton Water Treatment Plant, Knight Transportation, Community Place Apartments, Sherwin-Williams Paint Company, AAA, Big Lots, Price Family Properties, Holiday Inn, and Homewood Suites.
- Archetype utilizes 6063-T6 Aluminum.
- Archetype uses shop-performed heliarc welding processes.
- Archetype uses only Valspar-certified Kynar finish coating facilities.
- Archetype self performs their own concrete footings.

The following photographs are representative of projects completed by Archetype's management staff and installers:

Bixby NW Elementary & Intermediate School, Kerr Middle School, The Parlor, Lawton Whittier Elementary, Putnam City High School, Greenheck, Emergency Infant Services, Frontier Public Schools, Bethany Public Schools, AAA Car Care Center, Village on Main Apartments, Seiling Public Schools, Rose District Mixed Use, Western Heights Public Schools.



Bixby NW Elementary & Intermediate School



Bixby NW Elementary & Intermediate School



Kerr Middle School



Kerr Middle School



The Parlor



The Parlor



Lawton Whittier Elementary Saferoom



Jenks East Elementary



Putnam City High School



Greenheck



Emergency Infant Services



Scissortail Wealth Management



Frontier Public Schools



Bethany Public Schools



AAA Car Care Center Norman



Village on Main Apartments



Seiling Public Schools Fieldhouse



Rose District Mixed Use



Bixby NW Elementary & Intermediate School



Western Heights Public Schools

Specification Section	Mapes Canopies (Specified Product)	Archetype Canopies (Proposed Substitution)
10 7300	<p>A. American Society for Testing and Materials (ASTM):</p> <ol style="list-style-type: none"> 1. ASTM D 3451 - Standard Guide for Testing Powder Coatings. <p>B. American Welding Society (AWS):</p> <ol style="list-style-type: none"> 1. Standard D1.2 - Structural Welding Code - Aluminum. <p>C. Aluminum Association (AA):</p> <ol style="list-style-type: none"> 1. Aluminum Design Manual 	<p>American Architectural Manufacturers Association (AAMA):</p> <ol style="list-style-type: none"> 1. AAMA 603 - Voluntary Performance Requirements and Test Procedures for Pigmented Organic Coatings on Extruded Aluminum. 2. AAMA 605 - Voluntary Specification for High Performance Organic Coatings on Architectural Extrusions and Panels. 3. AAMA 607.1 - Voluntary Guide Specification and Inspection Methods for Clear Anodic Finishes for Architectural Aluminum. 4. AAMA 608.1 - Voluntary Guide Specification and Inspection Methods for Electrolytically Deposited Color Anodic Finishes for Architectural Aluminum.
1.2 References		
1.6 Quality Assurance		
A. Qualifications	5 years by manuf and 5 years by installer	Archetype Canopies has more than 5 years documented experience
1.6 Warranty	1 Year manufacturer warranty	1 Year manufacturer warranty
2.2 Materials		
A. Framing	6063-T6 Alloy extruded aluminum.	6063-T6 Alloy extruded aluminum.
B. Decking	.078 extruded aluminum flat soffit	.078 extruded aluminum flat soffit
C. Hardware	Nuts, washers, steel fasteners, and clevis pins shall be stainless steel.	100% Stainless steel
D. Flashing	Shall be minimum 0.040 inch aluminum fabricated to prevent leakage, and sealed with a sonoplastic NP-1 in clear or color match. Other equivalent sealant is acceptable.	0.040 inch aluminum to match finish
E. Fasteners and Accessories	Eyebolts, lag screws, masonry anchors, and pipe spacers in sizes required to suit application and canopy load requirements.	Engineered as required
2.3 Finish:	Selected from manufacturer's full range	Selected from full range to best match owner's blue
2.4 Fabrication		
A.	Fabricate canopy to size as indicated on Drawings. Preassemble awning frames in the shop to greatest extent possible. Disassemble units only as necessary for shipping and handling limitations. Clearly mark units for reassembly and coordinated installation	Fabricate canopy to size as indicated on Drawings.
B.		Archetype canopies are shipped preassembled to the greatest extent possible
Cost Benefit:	GC to verify savings with owner.	Benefit to Owner included in base bid.

DOCUMENT 001113 - ADVERTISEMENT FOR BIDS

1.1 PROJECT INFORMATION

- A. Notice to Bidders: Qualified bidders may submit bids for project as described in this Document. Submit bids according to the Instructions to Bidders 002113.
 - 1. Regulatory Requirements: As noted in construction documents, general contractor shall comply with governing agencies for submittal, opening, and award of bids.
- B. Project Identification: Chillicothe Elementary School Addition
 - 1. Project Location: 900 Coach K Street, Chillicothe, Missouri 64601.
- C. Owner: Chillicothe R-II School District
 - 1. Owner's Representative: Mr. Daniel Wiebers, Superintendent. Phone: 660.646.4566
- D. Architect: STRATA Architecture Inc. 1701 Oak Street, Suite 100, Kansas City Missouri 64108. Contact: Mrs. Claire Ashbrook, AIA LEED AP, Phone: 816.474.0900.
- E. Structural Engineer: Bob D. Campbell & Co, 4338 Belleview, Kansas City, Missouri 64111. Contact: Mr. Clark Basinger, PE, Phone: 816.531.4144.
- F. MEP Engineer: Hoss & Brown Engineers, 15902 Midland Drive, Shawnee, Kansas 66217. Contact: Mr. Casey Steiner, PE, Phone: 913.362.9090.
- G. Civil Engineer: McClure, 1901 Pennsylvania Drive, Columbia, Missouri 65202. Contact: Mr. Ryan Fuller, PE, Phone: 573.234.2607.
- H. The Chillicothe Elementary School is owned and operated by the Chillicothe R-II School District and is considered a tax-exempt project. Prevailing wage will be required on the project. All fees for plans are the responsibility of the General Contractor. All building permitting fees are the responsibility of the Owner.
- I. Project Description: Project consists of:

The Scope entails the construction of a new, two-story addition on the east elevation of the existing Chillicothe Elementary School (CES), a single-story addition that includes an ICC 500 rated storm shelter (serving as the new Cafeteria) on the east elevation of the existing CES Gymnasium, as well as a few areas of remodeling within the existing footprint. The total square footage of the new addition is 35,182 gross sq. ft. on the first floor and 26,398 gross sq. ft. on the second floor. The enclosure of the new two-story addition is comprised of exterior masonry veneer walls on a steel-framed structure, with a concrete slab-on-grade. The enclosure of the new one-story addition is a mixture of reinforced CMU walls and steel, a structural reinforced concrete roof slab, and a concrete slab-on-grade. Mechanical, Electrical, and Plumbing will be tying back to the existing building. The occupancy is an Educational 'E' occupancy that includes: Classrooms, Storage Closets, Offices, Cafeteria, Library extension, and miscellaneous support spaces including Restrooms, Utility Closets, and Custodial Spaces.

The Project includes site work that entails the construction of a new access road, enlarging an existing parking lot on the south, enlarging of an existing parking lot on the north, widening of an existing road to the east for bus drop-off, restriping of existing road, new sidewalks and miscellaneous utility work.

The new building addition is being constructed adjacent to a functioning educational building, which will be in use during the construction of the new addition. This project is a prevailing wage project. This project is a tax-exempt project, an exemption certificate is to be provided to the selected Contractor from the Owner prior to commencement of work.

J. Construction Contract: Bids will be received for the following Work:

1. General Contract (all trades).

1.2 BID SUBMITTAL AND OPENING

A. Owner will receive sealed lump sum bids until the bid time and date at the location given below. Owner will consider bids prepared in compliance with the Instructions to Bidders issued by Owner, and delivered as follows:

1. Bid Due Date: **October 26, 2022.**
2. Bid Time: **1:00 p.m.**, local time.
3. Location: **Chillicothe R-II School District Admin Building, Attn: Dr. Daniel Wiebers, 2807Hornet Road, Chillicothe, Missouri 64601.**

B. Bids will be publicly opened and read aloud at the School Districts Administration Building on October 26, 2022 at 1:10 pm. After bids have been vetted, the final award will be announced at the School District's Board Meeting on Tuesday, November 1st (time TBD).

C. Bidders will be required to provide Bid Security in the form of a Bid Bond of a sum no less than 5 percent of the Bid Amount.

D. Submit your offer on the Bid Form Provided. Bidders may supplement this form as appropriate.

E. Your offer will be required to be submitted under a condition of irrevocability for a period of 30 days after submission.

F. The Owner reserves the right to accept or reject any or all offers.

G. Contractors bidding on a contract for services in excess of \$5,000 to provide a sworn affidavit and supporting documentation that affirms the contractor's participation in a federal work authorization program, such as E-Verify, and that the bidder will not employ unauthorized workers for the project. A contractor is only required to provide this affidavit to the School District annually.

H. Supplements to the Bid Form may be requested after submission of the bid. These documents must be provided within 24 hours after the request. These supplements include:

1. Document 004336: Include the names of all Subcontractors and the portions of the Work they will perform.
2. Document 004373 – Proposed Schedule of Values Form identifies the Bid Price/Sum segmented into portions as requested

I. Requirements in connection with a contract:

1. A performance bond on the part of the contractor for 100 percent of the contract price. A performance bond is one executed in connection with a contract to secure fulfillment of all the contractor's obligations under such contract.

2. A payment bond on the part of the contractor for 100 percent of the contract price. A payment bond is one executed in connection with a contract to assure payment as required by law of all persons supplying labor and material in the execution of the work provided for in the contract.
- J. A Storm Shelter Masonry Schedule Form was issued in Addendum #2 and is required to be submitted with bids.

1.3 PREBID MEETING

- A. Prebid Meeting: A Prebid meeting for all bidders will be held at the front of Chillicothe Elementary School 900 Coach K Street, Chillicothe, MO 64601 on **September 26, 2022 at 4:00 p.m. (CST)**, local time. Prospective prime bidders are required to attend.
 1. Subcontractor Walk-thru: A second building walk-thru will be available on October 6, 2022 at 4:00 pm. The Architect must be contacted by e-mail with a request to attend this walk-thru. This walk-thru does not replace the requirement for prospective prime bidders to attend the September 26, 2022 Prebid Meeting.
 2. Bidders' Questions: All other questions must be submitted to the Architect digital prior to 12:00 pm (noon – CST) on Monday, October 17, 2022.

1.4 DOCUMENT

- A. Printed or Digital Online Procurement and Contracting Documents: Documents can be obtained digitally or as a printed hard copy. Printed hard copies can be ordered at MySmartPlans after 8:00 a.m. September 23, 2022 (at the Bidders expense). Digital copies can be downloaded after 8:00 a.m. September 23, 2022 from: <https://msptransfers.com/strata/ChillicotheElemSchool>
- B. Prior to downloading, Contractor's will be prompted to register with the website. Documents will be provided to prime bidders only; only complete sets of documents will be issued.
 1. Printed copies of the plans and specifications can be purchased from MySmartPlans, additional assistance is available at mike.beyer@mysmartplans.com. Contractors desiring the Contract Documents for use in preparing bids may also obtain a set of such documents from MySmartPlans; 901 N 8 St, Kansas City, KS 66101, telephone number is 816-221-7881.
 2. Corporate, certified, or cashier's checks shall be made payable to MySmartPlans.
- C. Viewing Procurement and Contracting Documents: A hard copy of the documents will be available after **September 26, 2022** for review at the Chillicothe R-II School District Admin Building as noted below.
 1. Chillicothe R-II School District Admin Building
2807 Hornet Road, Chillicothe, Missouri 64601.

NOTE: Documents can be viewed between the hours of 8:30 a.m. to 3:00 p.m. on Monday thru Friday. For viewing outside of these hours, arrangements must be made by contacting the Chillicothe R-II School District.

1.5 TIME OF COMPLETION

- A. Successful bidder shall begin the Work by **November 15, 2022** and shall complete the Work within the Contract Time, anticipated to be sixteen months. The Owner needs to move into the structure by June 1, 2024 and the selected Contractor must provide a schedule that shows an anticipated completion date of end of March 2024.

1.6 ANTICIPATED CONTRACTING AND PERFORMANCE BOND

- A. The Owner is using the AIA Standard Form of Agreement Between Owner and Contractor (AIA Document A101 -2017). A preview example of the document is provided in the Project Manual.

The Owner is requesting a Performance Bond and Payment Bond be included in the Contractor's Bid. The Owner will be using the AIA Standard Performance Bond form (AIA Document A312-2010) and AIA Standard Payment Bond form (AIA Document A312-2010). A preview example of the document is provided in the Project Manual Appendix.

1.7 BIDDER'S QUESTIONS

- A. Bidder's questions must be issued to the Architect in writing no later than **October 17, 2022** at 12:00 pm (noon).
- B. Architect's Contact Information
Claire Ashbrook, AIA LEED AP
STRATA Architecture + Preservation
claire@strata-arch.com
Phone: 816.474.0900
- C. All responses to the questions will be issued through an Addendum.

END OF DOCUMENT 001113

INSTRUCTIONS TO BIDDERS

Project Title: Chillicothe Elementary School Addition

Sealed Bids for the ***Chillicothe Elementary School Addition*** project will be received by Chillicothe R-II Admin Building, until **1:00 P.M. (CST), Friday, October 26, 2022**, at which time bidding will be closed and all Bids will be publicly opened. The Bid Envelope must contain all required submissions to be included with the Bid. No Bid may be withdrawn for a period of thirty (30) days after the Bid is opened. Bid security shall likewise continue for the same thirty (30) days unless released earlier by the Chillicothe R-II School District. The successful Bidder shall comply with all Bidding and contract requirements. Bids, once opened and read, may not be withdrawn without forfeiture of the Bid security.

All Bids shall be addressed to Dr. Daniel Wiebers, Superintendent, Chillicothe R-II District and shall state on the outside of the sealed Bid envelope "Bid Enclosed", title of project, name and address of bidder and shall be delivered to the Chillicothe R-II District Building (2807 Hornet Road, Chillicothe, MO 64601).

1. Consideration of Bids:

- A. The Chillicothe R-II District will determine the lowest responsible Bid complying with the terms of the letting. The Chillicothe R-II District may reject any or all bids. If the Chillicothe R-II District rejects all Bids, the Chillicothe R-II District may re-solicit Bids following the Chillicothe R-II District normal solicitation procedure.
- B. Alternates: If this solicitation includes Bid Alternates, the Chillicothe R-II District, in its sole discretion, may include any, all, or none of the Alternates in determining the lowest responsible Bid complying with the terms of the letting. In determining lowest responsible Bid complying with the terms of the letting, the Chillicothe R-II District may include the Alternates in any combination and in any order or priority or choose none of the Alternates. The Chillicothe R-II District may make this determination at any time after Bid Closing and prior to Contract award. The Chillicothe R-II District will act in the best interest of the Chillicothe R-II District in determining whether to include any, all, or none of the Alternates and the combination and priority of any Alternates selected. If additional funding becomes available after Contract award, Chillicothe R-II District may add any or all of the Alternates to the Contract by amendment.

2. Evidence of Competency to Perform: Each bidder shall furnish, upon request, satisfactory evidence of Bidder's competency to perform the proposed work. Such evidence of competency shall consist of the following, if requested:

- a. Identify the following Key Personnel proposed for the Project. (**Note:** Key Personnel must be committed to the Project for its duration, and may not be removed or substituted without the Chillicothe R-II District's prior written consent.)
 - GC Project Manager
 - On-Site Field Superintendent
 - Safety Officer
- b. For each of the Key Personnel, provide the following background information.

- Years of employment with current employer.
 - City of residence.
 - Identify any other projects this person will be involved with concurrently with the Project, and state the time commitment for the Project and each other project.
- c. Discuss generally the tasks involved in the Project.
- d. Illustrate clearly and concisely Bidder's understanding of the technical elements that must be addressed for successful completion of the Project.
- e. Submit a bid schedule with anticipated milestones for the Project.
- f. Describe key issues that might affect the Project schedule and how Bidder proposes to address them.
- g. Summary of the Project Safety Plan for the Project.
- Describe how Bidder proposes to address any unique safety issues for the Project
 - Describe your safety record and environmental compliance record along with your Firm's OSHA reportable accident rates on recent comparable size projects.
- h. Discuss Bidder's understanding of the traffic control required for the Project, if applicable, and how traffic control will impact the Project schedule. Discuss any major traffic control issues that need to be addressed and Bidder's proposed solutions.
- i. Identify any other special issues or problems that are likely to be encountered. Outline the manner in which Bidder suggests resolving them.
- j. Statement regarding all work performed two (2) years immediately preceding the date of the Bid, that contains either (a) a contract by contract listing of any written notices of violations of any federal or state prevailing wage statute in which prevailing wage penalties were assessed against the Bidder or paid by the Bidder; or (b) a statement that there have been no such written notices of violations or such penalties assessed; and a statement that Bidder is current on payment of Federal and State income tax withholdings and unemployment insurance payments.
- k. Statement that the Bidder has not been rescinded or debarred from any bidding, contractual, procurement, or other such programs by federal, state or local entities.
- l. Statement that Bidder is current on payment of Federal and State income tax withholdings and unemployment insurance payments.
- m. Statement of Bidder's litigation and/or arbitration history over the past five (5) years including final ruling.
- n. Statement of Bidder's bond history over the past five (5) years including any incidences of failure to perform.
3. Late Bids: Bids and modifications of Bids received after the exact hour and date specified for receipt will not be considered unless: (1) the Chillicothe R-II District extends the time after the deadline for a force majeure event that could potentially affect any or all Bidders meeting the deadline.
4. Modification or Withdrawal of Bid: After the date and time designated for receipt of Bids, a Bidder who discovers that it made a clerical error in its Bid shall notify the Architect and School District of such error within two days requesting withdrawal of its Bid. Upon providing evidence of such error to the reasonable satisfaction of the Architect and School District, the Bid shall be withdrawn and not resubmitted.
5. Interpretations and Addenda: All questions about the meaning or intent of the Bidding Documents are to be directed to the Architect in writing. Interpretations or clarifications considered necessary by the Architect in response to such questions will be issued by Addenda to all parties recorded as having received the Bidding Documents from the Chillicothe R-II District. All questions must be submitted to

the Architect, digitally, prior to October 17, 2022 by 12:00 pm (noon – CST). **No questions will be answered after that October 17th date.**

Only answers issued by formal written Addenda will be binding. Oral and other interpretations or clarifications will be without legal effect. Addenda may also be issued to modify the Bidding Documents as deemed advisable by the Chillicothe R-II District.

6. Bid Security Requirements: All Bids submitted must be accompanied by a Bid deposit in the amount of five percent (5%) of the base Bid which shall be in the form of a Bid Bond (on the form provided in these Bidding Documents), Cashier's Check, Letter of Credit, Certificate of Deposit or other instructions approved in advance by the Chillicothe R-II District.
7. Forfeiture of Security: If a Bidder fails or refuses to execute the Contract when requested by the Chillicothe R-II District, any Bid security given to the Chillicothe R-II District shall immediately become due and payable and forfeited to the Chillicothe R-II District as liquidated damages.
8. Mistake in Bid Security: By submitting a Bid, Bidder is agreeing to correct any mistakes on a Bid security submission when requested by the Chillicothe R-II District. When such a mistake occurs and a Bidder fails or refuses to correct the mistake or execute the Contract when requested by the Chillicothe R-II District, any Bid security shall be forfeited to the Chillicothe R-II District and the Bidder shall also be subject to debarment and damages.
9. Storm Shelter Masonry Schedule Form: All Bids submitted must be accompanied by the Storm Shelter Masonry Schedule Form issued in Addendum #1.
10. Bonds: The Contractor to whom the Work is awarded will be required to furnish the following Surety Bonds:

Performance Bond - A bond to the Owner in the amount of one hundred percent (100%) of the amount of the Contract, guaranteeing faithful compliance with the terms of the Contract.

Payment Bond - A bond to the Owner in the amount of one hundred percent (100%) of the amount of the Contract, as required by Missouri statute (Section 107.170, RSMo.), to guarantee the payment of labor and material bills.

All bonds shall be executed according to the sample forms provided in the Appendix, signed by a surety company authorized to do business in the State of Missouri.

11. Liability Insurance

All bidders must provide proof of insurance for the following coverage levels and name the School District as additional insured during the performance of this contract. Additional insurance information is outlined in 007301 Supplementary Conditions .

Limits

Comprehensive General Liability – Minimum limit of \$2,000,000 combined single limit for bodily injury and property damage per occurrence

Commercial Automobile Liability - \$2,000,000 combined single limit

Excess (Umbrella) Liability - \$1,000,000 per occurrence

Worker's Compensation Liability – per statutory requirements

Employer's Liability - \$1,000,000 each employee, \$1,000,000 each accident and \$1,000,000 policy limit.

The carrier shall be rated "A" or higher by a recognized rating organization and shall be licensed and admitted in the State of Missouri. A 30-day notice of cancellation is required on all insurance.

The Contractor shall secure and maintain or have maintained throughout the duration of this Contract, insurance of such types and in such amounts as may be necessary to protect himself and hold harmless the School District against all hazards or risks of loss as hereinafter specified whether such

hazards or risks of loss be generated by the Contractor or any of his subcontractors, or by anyone directly or indirectly employed by the Contractor or his subcontractors.

The Contractor shall defend, indemnify and save the School District harmless from and against all liability for damages, costs, and expenses arising out of any claim, suit, and action or otherwise for injuries and damages sustained to persons or property by reason of the acts or omissions of the Contractor, its subcontractors, agents or employees in the performance of this Contract

The School District shall be named as an additional insured and loss payee on all policies of insurance issued to the Contractor and required by the terms of the Contractor's Contract with the School District. Any insurance purchased by Contractor shall not act as a waiver of any defense available to the District and its employees by statute or common law, including, but not limited to, the District's sovereign immunity pursuant to RSMo. Section 537.600, et seq. It is expressly understood by Contractor and the School District that the School District's inclusion as an additional insured on the Contractor's selected applicable insurance policies and the insurance coverage thereby provided to the School District is neither intended nor required to provide coverage to the School District for claims from which the School District enjoys sovereign immunity. The applicable Certificate(s) of Insurance and endorsement(s) listing the School District as an additional insured may contain specific coverage exemptions for the School District from such claims.

12. Post Bid Required Submissions: The successful Bidder will be required to submit the following documents for the signed copies of the Bid Form/Contract within the timeframes specified in the Notice of Intent to Contract letter, provided by the Chillicothe R-II District.
 - Properly signed, dated, and sealed a copy of the Performance Bond;
 - Properly signed, dated, and sealed a copy of the Payment Bond;
 - Properly completed certificates of insurance
 - Copies of licenses required by the City to do the Work;
 - A copy of Contractor's current Certificate of Good Standing or Fictitious Name Registration from the Missouri Secretary of State, or other acceptable proof.
13. Indemnification: The contract documents contain a requirement that Contractor shall indemnify, defend and hold harmless the Chillicothe R-II District and any of its agencies, officials, officers, or employees from and against all claims, damages, liability, losses, costs, and expenses, including reasonable attorneys' fees, arising out of or resulting from any acts or omissions in connection with the contract, caused in whole or in part by Contractor, its employees, agents, or Subcontractors, or caused by others for whom Contractor is liable, including negligent acts or omissions of the Chillicothe R-II District; its agencies, officials, officers, or employees. The contract requires Contractor to obtain specified limits of insurance to insure the indemnity obligation. Contractor has the opportunity to recover the cost of the required insurance in the Contract Price by including the cost of that insurance in the Bid amount.
14. Substitutions or "Or-Equal" Items: Substitutions or alternate products for products outlined within the specifications must meet or exceed the originally specified product. *Contractors shall submit any*

proposed substitutions in writing to the architect prior to October 7, 2022. Architect and Owner shall approve substitution products in writing through addenda. Products NOT approved through this process will NOT be accepted. Refer to Section 002600 Procurement Substitution Procedures for additional information.

15. Prevailing Wage Requirements: The successful Bidder shall pay the prevailing hourly rate of wages as determined by the Missouri Annual Wage Order and/or Federal Wage Determination set forth in the Project Manual. In case of a conflict between Missouri and Federal wage rates, the higher rate shall apply.

“Not less than the prevailing hourly rate of wages, as set out in the wage order attached to and made part of the specification for work under the contract, shall be paid to all workers performing work under the contract.” (Section 290.250, RSMo).

“The contractor will forfeit a penalty to the contracting public body of \$100 per day (or portion of a day) for each worker that is paid less than the prevailing rate for any work done under the contract by the contractor or by any subcontractor.” (Section 290.250, RSMo).

“The contractor and all subcontractors to the contract must require all on-site employees to complete the ten-hour construction safety training program required under Section 292.675, RSMo, unless they have previously completed the program and have documentation of having done so.”

“The contractor will forfeit a penalty to the contracting public body of \$2500 plus an additional \$100 for each employee employed by the contractor or subcontractor, for each calendar day, or portion thereof, such employee is employed without the required training.” (Section 292.675, RSMo).

Before any work begins, you must send a Prevailing Wage Project Notification – Contractor Information Notification form (PW-2) to the DLS. Send it when the contract is awarded to ensure the DLS receives it timely (Section 290.262.9, RSMo, and 8 CSR 30-3.010[3]).

16. Tax Exempt Status: The Chillicothe R-II District is a state sales tax-exempt entity.

17. Subcontractors, Suppliers and Others: If the Contract Documents require the identity of certain Subcontractors, Suppliers and other persons and organizations (including those who are to furnish the principal items of material and equipment) to be submitted to Chillicothe R-II District, the apparent lowest responsible Bidder complying with the terms of the letting, and any other Bidder so requested, shall submit to Chillicothe R-II District a list of all such Subcontractors, Suppliers and other persons and organizations proposed for those portions of the Work for which such identification is required. An experience statement shall accompany such list with pertinent information regarding similar projects and other evidence of qualification for each such Subcontractor, Supplier or organization if requested by Chillicothe R-II District. If Chillicothe R-II District has reasonable objection to any proposed Subcontractor, Supplier or other person or organization, Chillicothe R-II District may request the apparent lowest responsible Bidder complying with the terms of the letting to submit an acceptable substitute without an increase in Bid price.

18. Contract Documents: By submitting a Bid, each bidder acknowledges and agrees that the School District's selection of their firm shall in no way create a valid or binding contract between the firm and the School District. Any firm submitting a Bid agrees, by submitting a Bid, that these Instructions to Bidders shall be made an exhibit to and incorporated into the final contract between the firm and the School District. Any firm submitting a Bid further agrees that the final contract between the submitting firm and the School District shall be in substantially the same form as the one indicated in the Project Manual and other bidding documents, including any Supplementary Conditions to the same. The submitting firm further agrees that it will make no attempt to change, delete, or otherwise modify these contractual terms through the firm's Bid or after selection of the firm as the lowest responsible bidder complying with the terms of the letting, and further agrees that any attempt to do so shall be grounds

for the School District to reject the firm's Bid or otherwise cease negotiations with the selected firm and select the next lowest Bid.

19. The Chillicothe R-II District will comply with all purchasing preference requirements applicable under the law in selecting the lowest responsible Bid complying with the terms of the letting, including § 34.074, RSMo.

Please forward all questions in writing to the Architect via the following:

Claire Ashbrook, AIA LEED BD+C
STRATA Architecture + Preservation
1701 Oak Street, Suite 100
Kansas City, Missouri 64106
E-mail: claire@strata-arch.com

END OF INSTRUCTIONS TO BIDDERS

Bidder: _____

BID FORM ALTERNATES

Project Title: Chillicothe Elementary School Addition

No: 1A	Description: Concrete Access Road In lieu of an Asphalt access road as specified in the construction documents, provide a concrete access road. Deduct access road asphalt prep and paving. Add concrete prep and paving.	<input type="checkbox"/> Add [+] <input type="checkbox"/> Deduct [-]	Price in Figures: \$
No: 1B	Description: Gravel Access Road In lieu of an asphalt access road as specified in the Construction Documents, provide a gravel access road. Deduct access road prep for paving, paving, curbs, and culvert.	<input type="checkbox"/> Add [+] <input type="checkbox"/> Deduct [-]	Price in Figures: \$
No: 2	Description: No Access Road In lieu of an asphalt access road as specified in the Construction Documents, eliminate the access road completely Deduct all prep for road, gravel, paving, curbs, culverts, and metal gate.	<input type="checkbox"/> Add [+] <input type="checkbox"/> Deduct [-]	Price in Figures: \$
No: 3	Description: Gravel Northern Overflow Parking Lot In lieu of an asphalt parking lot as specified in the Construction Documents, provide a gravel northern parking lot Deduct northern parking lot prep for paving, paving, striping, curbs, culvert, lighting and sidewalk.	<input type="checkbox"/> Add [+] <input type="checkbox"/> Deduct [-]	Price in Figures: \$
No: 4	Description: No Northern Overflow Parking Lot In lieu of an asphalt parking lot as specified in the Construction Documents, eliminate northern parking lot completely. Deduct northern parking lot prep for paving, gravel, paving, striping, curbs, culvert, lighting, and sidewalk.	<input type="checkbox"/> Add [+] <input type="checkbox"/> Deduct [-]	Price in Figures: \$

Bidder: _____

No: 5	<p>Description: No ADA Stadium Parking Lot In lieu of an asphalt ADA stadium parking lot as specified in the Construction Documents, eliminate the ADA stadium parking lot completely.</p> <p>Deduct the ADA stadium parking lot including prep, paving, striping, curbs, and sidewalk.</p>	<input type="checkbox"/> Add [+] <input type="checkbox"/> Deduct [-]	<p>Price in Figures:</p> <p>\$</p>
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No: 6	<p>Description: Corridor Paint In lieu of epoxy paint within the corridors as specified in the Construction Documents, paint the corridors with interior wall paint.</p> <p>Deduct epoxy wall paint.</p>	<input type="checkbox"/> Add [+] <input type="checkbox"/> Deduct [-]	<p>Price in Figures:</p> <p>\$</p>
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No: 7	<p>Description: Cafeteria Terrazzo In lieu of terrazzo flooring within the Cafeteria as specified in the Construction Documents, install linoleum sheet flooring LNS-1 and LNS-2. Deduct terrazzo flooring.</p> <p>Deduct terrazzo flooring within the Cafeteria.</p>	<input type="checkbox"/> Add [+] <input type="checkbox"/> Deduct [-]	<p>Price in Figures:</p> <p>\$</p>
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No: 8	<p>Description: Library Terrazzo In lieu of terrazzo flooring within the Library Extension as specified in the Construction Documents, install linoleum sheet flooring LNT-1.</p> <p>Deduct terrazzo flooring within the Library.</p>	<input type="checkbox"/> Add [+] <input type="checkbox"/> Deduct [-]	<p>Price in Figures:</p> <p>\$</p>
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No: 9	<p>Description: Collaborative Stair Terrazzo In lieu of terrazzo flooring, stair treads, and stair risers at the collaborative stair terrazzo as specified in the Construction Documents, install wood flooring, wood treads, and wood risers.</p> <p>Deduct terrazzo flooring, stair treads, and stair risers.</p>	<input type="checkbox"/> Add [+] <input type="checkbox"/> Deduct [-]	<p>Price in Figures:</p> <p>\$</p>
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No: 10	<p>Description: Hive Collaboration Areas and Corridor Seating Areas Terrazzo In lieu of terrazzo flooring within the Hive Collaboration Areas and Corridor Seating Areas as specified in the Construction Documents, install linoleum sheet flooring LNT-1.</p> <p>Deduct terrazzo flooring</p>	<input type="checkbox"/> Add [+] <input type="checkbox"/> Deduct [-]	<p>Price in Figures:</p> <p>\$</p>
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Bidder: _____

No: 11	Description: In lieu of installing new foundation drain, new area inlet by concrete stairs, and storm drain pipe across the existing administration parking, eliminate the foundation drain, inlet, and storm drain piping completely. Deduct trenching, foundation drains, inlet, and paving patching.	<input type="checkbox"/> Add [+] <input type="checkbox"/> Deduct [-]	Price in Figures: \$
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Bidder: _____

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SECTION 012300 – ALTERNATES

PART 1 - GENERAL

1.1 SUMMARY

- A. This Section includes administrative and procedural requirements for alternates.

1.2 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Alternate Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.3 PROCEDURES

- A. Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of Alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (NOT USED)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

- A. Alternate No. 1 – Gravel Access Road: In lieu of an asphalt access road as specified in the Construction Documents, provide a gravel access road. Deduct access prep for paving, paving, curbs, and culvert.

1. 311000 Site Clearing
2. 312313 Subgrade Preparation
3. 312500 Erosion Control
4. 321123 Aggregate Base Course
5. 321216 Asphaltic Concrete Paving (for base bid only)
6. 321300 Portland Cement Paving (for base bid only)
7. 321373 Concrete Pavement Joint Sealant (for base bid only)
8. 321723 Pavement Marking (for base bid only)

- B. Alternate No. 2 – No Access Road: In lieu of an asphalt access road as specified in the Construction Documents, eliminate the access road completely. Deduct access road prep for paving, paving, curbs, culverts, and metal gate.

1. 311000 Site Clearing (for base bid only)
2. 312313 Subgrade Preparation (for base bid only)
3. 312500 Erosion Control (for base bid only)
4. 321123 Aggregate Base Course (for base bid only)
5. 321216 Asphaltic Concrete Paving (for base bid only)
6. 321300 Portland Cement Paving (for base bid only)
7. 321373 Concrete Pavement Joint Sealant (for base bid only)
8. 321723 Pavement Marking (for base bid only)

- C. Alternate No. 3 – Gravel Northern Overflow Parking Lot: In lieu of an asphalt parking lot as specified in the Construction Documents, provide a gravel northern parking lot. Deduct northern parking lot prep for paving, paving, curbs, culverts, lighting, and sidewalk.

1. 311000 Site Clearing
2. 312313 Subgrade Preparation
3. 312500 Erosion Control
4. 321123 Aggregate Base Course
5. 321216 Asphaltic Concrete Paving (for base bid only)
6. 321300 Portland Cement Paving (for base bid only)
7. 321373 Concrete Pavement Joint Sealant (for base bid only)
8. 321723 Pavement Marking (for base bid only)

- D. Alternate No. 4 – No Northern Overflow Parking Lot: In lieu of an asphalt parking lot as specified in the Construction Documents, eliminate northern parking lot completely. Deduct northern parking lot prep for paving, paving, curbs, culverts, lighting, striping, and sidewalk.

1. 311000 Site Clearing (for base bid only)
 2. 312313 Subgrade Preparation (for base bid only)
 3. 312500 Erosion Control (for base bid only)
 4. 321123 Aggregate Base Course (for base bid only)
 5. 321216 Asphaltic Concrete Paving (for base bid only)
 6. 321300 Portland Cement Paving (for base bid only)
 7. 321373 Concrete Pavement Joint Sealant (for base bid only)
 8. 321723 Pavement Marking (for base bid only)
- E. Alternate No. 5 – No ADA Stadium Parking Lot: In lieu of an asphalt ADA stadium parking lot as specified in the Construction Documents, eliminate the ADA stadium parking lot completely. Deduct ADA stadium parking lot prep for paving, paving, curbs, culverts, striping and sidewalk.
1. 311000 Site Clearing (for base bid only)
 2. 312313 Subgrade Preparation (for base bid only)
 3. 312500 Erosion Control (for base bid only)
 4. 321123 Aggregate Base Course (for base bid only)
 5. 321216 Asphaltic Concrete Paving (for base bid only)
 6. 321300 Portland Cement Paving (for base bid only)
 7. 321373 Concrete Pavement Joint Sealant (for base bid only)
 8. 321723 Pavement Marking (for base bid only)
- F. Alternate No. 6 – Corridor Paint: In lieu of epoxy paint within the corridors as specified in the Construction Documents, paint the corridors with interior wall paint. Deduct epoxy wall paint.
1. 099123 Interior Painting (for alternate and base bid)
 2. 099600 High Performance Coating (for base bid only)
- G. Alternate No. 7 – Cafeteria Terrazzo: In lieu of terrazzo flooring within the Cafeteria as specified in the Construction Documents, install linoleum sheet flooring LNS-1 and LNS-2. Deduct terrazzo flooring.
1. 096515 Resilient Sheet Flooring (for alternate only)
 2. 096519 Resilient Tile Flooring (for alternate only)
 3. 096623 Resinous Matrix Terrazzo Flooring (for base bid only)
- H. Alternate No. 8 – Library Terrazzo: In lieu of terrazzo flooring within the Library Extension as specified in the Construction Documents, install linoleum sheet flooring LNT-1. Deduct terrazzo flooring.
1. 096515 Resilient Sheet Flooring (for alternate only)
 2. 096519 Resilient Tile Flooring (for alternate only)
 3. 096623 Resinous Matrix Terrazzo Flooring (for base bid only)
- I. Alternate No. 9 – Collaborative Stair Terrazzo: In lieu of terrazzo flooring, stair treads, and stair risers at the collaborative stair terrazzo as specified in the Construction Documents, install wood flooring, wood treads, and wood risers. Deduct terrazzo flooring, stair treads, and stair risers.
1. 096513 Wood Flooring (for alternate only)

2. 096623 Resinous Matrix Terrazzo Flooring (for base bid only)
- J. Alternate No. 10 – Hive Collaboration Areas and Corridor Seating Areas: In lieu of terrazzo flooring within the Hive Collaboration Areas and Corridor Seating Areas as specified in the Construction Documents, install linoleum sheet flooring LNT-1. Deduct terrazzo flooring.
1. 096515 Resilient Sheet Flooring (for alternate only)
 2. 096519 Resilient Tile Flooring (for alternate only)
 3. 096623 Resinous Matrix Terrazzo Flooring (for base bid only)
- K. Alternate No. 11 – Storm Drainage at New Administration Building: In lieu of installing new foundation drain, new area inlet by concrete stairs, and storm drainpipe across the existing administration parking, eliminate the foundation drain, inlet, and storm drain piping completely. Deduct trenching, foundation drains, inlet, and paving patching.
1. 311000 Site Clearing (for base bid only)
 2. 312313 Subgrade Preparation (for base bid only)
 3. 312500 Erosion Control (for base bid only)
 4. 321123 Aggregate Base Course (for base bid only)
 5. 321216 Asphaltic Concrete Paving (for base bid only)
 6. 334000 Storm Drainage (for base bid only)

END OF SECTION 012300

SECTION 013233 - PHOTOGRAPHIC DOCUMENTATION

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for the following:
 - 1. Preconstruction photographs.
 - 2. Concealed Work photographs.
 - 3. Weekly construction photographs.
- B. Related Requirements:
 - 1. Section 017700 "Closeout Procedures" for submitting photographic documentation as Project Record Documents at Project closeout.
 - 2. Section 024116 "Structure Demolition" for photographic documentation before building demolition operations commence.
 - 3. Section 024119 "Selective Demolition" for photographic documentation before selective demolition operations commence.
 - 4. Section 311000 "Site Clearing" for photographic documentation before site clearing operations commence.

1.3 INFORMATIONAL SUBMITTALS

- A. Digital Photographs: Submit image files within **three** days of taking photographs.
 - 1. Submit photos **by uploading to web-based Project management software site and/or web-based file transmittal.**
 - 2. Identification: Provide the following information with each image description **of what the images is taken of (example, "WEST ELEVATION):**
 - a. Name of Project.
 - b. Name of Architect .
 - c. Name of Contractor.
 - d. Date photograph was taken.
 - e. Description of location, vantage point, and direction.

1.4 NOT USED

1.5 FORMATS AND MEDIA

- A. Digital Photographs: Provide color images in JPG format, produced by a digital camera with minimum sensor size of **12** megapixels, and at an image resolution of not less than **3200 by 2400** pixels. Use flash in low light levels or backlit conditions.
- B. Metadata: Record accurate date and time **and GPS location data** from camera.
- C. File Names: Name media files with **Date, Project area** and sequential numbering suffix.

1.6 CONSTRUCTION PHOTOGRAPHS

- A. General: Take photographs with maximum depth of field and in focus.
- B. Preconstruction Photographs: Before commencement of the Work, take photographs of Project site and surrounding properties, including existing items to remain during construction, from different vantage points, as directed by **Architect**.
 - 1. Flag **excavation areas** before taking construction photographs.
 - 2. Take **20** photographs to show existing conditions adjacent to property before starting the Work.
 - 3. Take **20** photographs of existing buildings either on or adjoining property, to accurately record physical conditions at start of construction.
 - 4. Take additional photographs as required to record settlement or cracking of adjacent structures, pavements, and improvements.
- C. Concealed Work Photographs: Before proceeding with installing work that will conceal other work, take photographs sufficient in number, with annotated descriptions, to record nature and location of concealed Work, including, but not limited to, the following:
 - 1. Underground utilities.
 - 2. Underslab services.
 - 3. Piping.
 - 4. Electrical conduit.
 - 5. Waterproofing and weather-resistant barriers.
- D. Periodic Construction Photographs: Take **6-10** photographs **weekly**. Select vantage points to show status of construction and progress since last photographs were taken.

1.7 NOT USED

1.8 NOT USED

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 013233



PROJECT OVERVIEW:

THE SCOPE ENTAILS THE CONSTRUCTION OF A NEW, TWO-STORY ADDITION ON THE EAST ELEVATION OF THE EXISTING CHILICOTHE ELEMENTARY SCHOOL (CES), A SINGLE-STORY ADDITION THAT INCLUDES AN ICC 500 RATED STORM SHELTER (NEW CAFETERIA) ON THE EAST ELEVATION OF THE EXISTING CES GYMNASIUM, AS WELL AS A FEW AREAS OF REMODELING WITHIN THE EXISTING FOOTPRINT. THE TOTAL SQUARE FOOTAGE OF THE NEW ADDITION IS 35,182 GROSS SQ. FT. ON THE FIRST FLOOR AND 26,398 GROSS SQ. FT. ON THE SECOND FLOOR. THE ENCLOSURE OF THE NEW TWO-STORY ADDITION IS COMPRISED OF EXTERIOR MASONRY VENEER WALLS ON A STEEL-FRAMED STRUCTURE, WITH A CONCRETE SLAB-ON-GRADE. THE ENCLOSURE OF THE NEW ONE-STORY ADDITION IS A MIXTURE OF REINFORCED CMU WALLS AND STEEL, A STRUCTURAL REINFORCED CONCRETE ROOF SLAB, AND A CONCRETE SLAB-ON-GRADE. MECHANICAL, ELECTRICAL, AND PLUMBING WILL BE TYING BACK TO THE EXISTING BUILDING. THE OCCUPANCY IS AN EDUCATIONAL 'E' OCCUPANCY THAT INCLUDES, CLASSROOMS, STORAGE CLOSETS, OFFICES, CAFETERIA, LIBRARY EXTENSION, AND MISCELLANEOUS SUPPORT SPACES INCLUDING RESTROOMS, UTILITY CLOSETS, AND CUSTODIAL SPACES.

THE PROJECT INCLUDES SITE WORK THAT ENTAILS THE CONSTRUCTION OF A NEW ACCESS ROAD, ENLARGING AN EXISTING PARKING LOT ON THE SOUTH, ENLARGING AN EXISTING PARKING LOT TO THE NORTH, WIDENING OF AN EXISTING ROAD TO THE EAST FOR BUS DROP-OFF, RESTRIPIING OF EXISTING ROAD, NEW SIDEWALKS, AND MISCELLANEOUS UTILITY WORK.

THE NEW BUILDING ADDITION IS BEING CONSTRUCTED ADJACENT TO A FUNCTIONING EDUCATIONAL BUILDING WHICH WILL BE IN USE DURING THE CONSTRUCTION OF THE NEW ADDITION. THIS PROJECT IS A PREVAILING WAGE PROJECT. THIS PROJECT IS A TAX-EXEMPT PROJECT. AN EXEMPTION CERTIFICATE IS TO BE PROVIDED TO THE CONTRACTOR WHEN REQUESTED FROM THE OWNER.

VICINITY MAP



NORTH OF THE INTERSECTION OF HIGHWAY 65 (WASHINGTON STREET) AND HIGHWAY 190

PROJECT ALTERNATES:

BELOW IS AN ABBREVIATED LIST OF ALTERNATES THAT BIDDERS SHOULD PROVIDE AN ADD OR DEDUCT FROM THE BASE BID AMOUNT OF THEIR BID. REFERENCE SPECIFICATION SECTION 012300 ALTERNATES AND 004323 BID FORM ALTERNATES FOR ADDITIONAL INFORMATION.

ALTERNATE NO.1A: CONCRETE ACCESS ROAD
IN LIEU OF AN ASPHALT ACCESS ROAD AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS, PROVIDE A CONCRETE ACCESS ROAD. DEDUCT ACCESS ROAD ASPHALT PREP AND PAVING. ADD CONCRETE PREP AND PAVING.

ALTERNATE NO.1B: GRAVEL ACCESS ROAD
IN LIEU OF AN ASPHALT ACCESS ROAD AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS, PROVIDE A GRAVEL ACCESS ROAD. DEDUCT ACCESS PREP FOR PAVING, PAVING, CURBS, AND CULVERT.

ALTERNATE NO.2: NO ACCESS ROAD
IN LIEU OF AN ASPHALT ACCESS ROAD AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS, ELIMINATE THE ACCESS ROAD COMPLETELY. DEDUCT ACCESS ROAD PREP FOR PAVING, PAVING, CURBS, CULVERTS, AND METAL GATE.

ALTERNATE NO.3: GRAVEL NORTHERN OVERFLOW PARKING LOT
IN LIEU OF AN ASPHALT PARKING LOT AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS, PROVIDE A GRAVEL NORTHERN PARKING LOT. DEDUCT NORTHERN PARKING LOT PREP FOR PAVING, PAVING, CURBS, CULVERTS, LIGHTING, AND SIDEWALK.

ALTERNATE NO.4: NO NORTHERN OVERFLOW PARKING LOT
IN LIEU OF AN ASPHALT PARKING LOT AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS, ELIMINATE NORTHERN PARKING LOT COMPLETELY. DEDUCT NORTHERN PARKING LOT PREP FOR PAVING, PAVING, CURBS, CULVERTS, LIGHTING, STRIPING, AND SIDEWALK.

ALTERNATE NO.5: NO ADA STADIUM PARKING LOT
IN LIEU OF AN ASPHALT ADA STADIUM PARKING LOT AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS, ELIMINATE THE ADA STADIUM PARKING LOT COMPLETELY. DEDUCT ADA STADIUM PARKING LOT PREP FOR PAVING, PAVING, CURBS, CULVERTS, STRIPING AND SIDEWALK.

ALTERNATE NO.6: CORRIDOR PAINT
IN LIEU OF EPOXY PAINT WITHIN THE CORRIDORS AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS, PAINT THE CORRIDORS WITH INTERIOR WALL PAINT. DEDUCT EPOXY WALL PAINT.

ALTERNATE NO.7: CAFETERIA TERRAZZO
IN LIEU OF TERRAZZO FLOORING WITHIN THE CAFETERIA AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS, INSTALL LINOLEUM SHEET FLOORING LNT-1 AND LNT-2. DEDUCT TERRAZZO FLOORING WITHIN THE CAFETERIA.

ALTERNATE NO.8: LIBRARY TERRAZZO
IN LIEU OF TERRAZZO FLOORING WITHIN THE LIBRARY EXTENSION AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS, INSTALL LINOLEUM SHEET FLOORING LNT 1. DEDUCT TERRAZZO FLOORING WITHIN THE LIBRARY.

ALTERNATE NO.9: COLLABORATIVE STAIR TERRAZZO
IN LIEU OF TERRAZZO FLOORING, STAIR TREADS, AND STAIR RISERS AT THE COLLABORATIVE STAIR AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS, INSTALL WOOD FLOORING, WOOD TREADS, AND WOOD RISERS. DEDUCT TERRAZZO FLOORING, STAIR TREADS, AND STAIR RISERS.

ALTERNATE NO.10: THE HIVE COLLABORATION AND SEATING AREA TERRAZZO
IN LIEU OF TERRAZZO FLOORING WITHIN THE HIVE COLLABORATION AREAS AND CORRIDOR SEATING AREAS AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS, INSTALL LINOLEUM SHEET FLOORING LNT 1. DEDUCT TERRAZZO FLOORING.

ALTERNATE NO.11: STORM DRAINAGE AT NEW ADMINISTRATION BUILDING
IN LIEU OF INSTALLING NEW FOUNDATION DRAIN, NEW AREA INLET BY CONCRETE STAIRS, AND STORM DRAIN PIPE ACROSS THE EXISTING ADMINISTRATION PARKING, ELIMINATE THE FOUNDATION DRAIN, INLET, AND STORM DRAIN PIPING COMPLETELY. DEDUCT TRENCHING, FOUNDATION DRAINS, INLET, AND PAVING PATCHING.

GENERAL REQUIREMENTS

A. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND WORK IN PLACE, LAYOUT ALL NEW WALLS AND PARTITIONS TO CONFIRM LOCATIONS, VERIFY DIMENSIONS, LOCATE EXISTING UTILITIES AND SYSTEMS, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

B. THE CONTRACTOR SHALL INCLUDE ALL ITEMS, MATERIAL, LABOR, AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE INTENDED WORK.

C. GENERAL CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE JOB SITE WORK SAFETY CODES AND REGULATIONS INCLUDING SAFETY OF PERSONS AND PROPERTY.

D. GENERAL CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND APPROVALS FOR LIVINGSTON COUNTY, STATE OF MISSOURI, AND ANY OTHER APPLICABLE JURISDICTIONAL ENTITIES FOR EACH PHASE OF THE WORK PRIOR TO PROCEEDING.

E. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE WORK OF ALL SUBCONTRACTORS.

F. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL ELEMENTS OF THE CONSTRUCTION INCLUDING BUT NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, AND STRUCTURAL ELEMENTS.

G. THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES WITH THE PROJECT DOCUMENTS.

H. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE LICENSED AND INSURED TO PERFORM WORK, AS REQUIRED BY THE LOCAL AND STATE AUTHORITIES.

I. ALL DEMOLITION DEBRIS SHALL BE TAKEN TO A LICENSED LANDFILL WITH WRITTEN PROOF PROVIDED TO THE OWNER. PLACEMENT OF TRASH DUMPSTER FOR CONSTRUCTION DEBRIS MUST BE COORDINATED WITH THE OWNER. DUMPSTER SHALL NOT BLOCK ENTRANCES, STAIRS OR OTHERWISE ENCR OACH ON THE PUBLIC RIGHT-OF-WAY.

J. THE ARCHITECT SHALL NOT BE LIABLE FOR ANY PROPERTY DAMAGE OR PERSONAL INJURY TO ANY PERSON OR ENTITY RESULTING FROM ANY HAZARDOUS MATERIALS OR CIRCUMSTANCES EXCLUDED FROM COVERAGE BY ARCHITECT'S INSURANCE.

K. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL INTERIOR AND EXTERIOR SURFACES IMPACTED BY THE DEFINED SCOPE OF WORK TO THE OWNER'S SATISFACTION, INCLUDING THE INTERIOR AND EXTERIOR OF GLASS SURFACES, PRIOR TO PROJECT COMPLETION. THE GENERAL CONTRACTOR, SHALL REMOVE ALL TRASH, CONSTRUCTION DEBRIS, MATERIALS AND TOOLS. FINAL CLEANUP SHALL CONSIST OF THE FOLLOWING:
a. CLEAN SPACES OF ALL CONSTRUCTION DEBRIS, MATERIALS AND TOOLS
b. CLEAN INTERIOR AND EXTERIOR SURFACES OF GLASS, OPERABLE DOORS AND FRAMES.
c. CLEAN ALL FLOORS, WALLS, CEILINGS, WINDOW SILL AND HORIZONTAL SURFACES IN THE AREA OF THE ASSOCIATED SCOPE OF WORK.

L. DO NOT SCALE DRAWINGS FROM DIMENSIONAL INFORMATION NOT SHOWN. CONSULT WITH THE ARCHITECT/OWNER.

M. OWNER PROVIDED SECURITY SYSTEM AND DATA TO BE COORDINATED WITH FIRE ALARM AND EGRESS SYSTEM. PRIOR TO INSTALLATION, A COORDINATION MEETING SHALL OCCUR BETWEEN THE ARCHITECT, MEP ENGINEER, OWNER, GENERAL CONTRACTOR, AND SPECIALITY CONTRACTOR TO VERIFY LOCATIONS AND INSTALLATION.

N. GENERAL CONTRACTOR SHALL COORDINATE AND INSTALL DUST PARTITIONS AND/OR ZIP WALLS AS REQUIRED TO PREVENT THE SPREAD OF CONSTRUCTION DUST INTO THE EXISTING BUILDING.

O. COORDINATE THE SHUT DOWN OF ANY EXISTING SERVICES AND/OR EQUIPMENT WITH THE OWNER'S REPRESENTATIVE.

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CHILICOTHE ELEMENTARY SCHOOL ADDITION

900 COACH K STREET
CHILICOTHE, MISSOURI 64601

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DATE: 09.23.2022

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△ Addendum #2 - 10.07.2022

Cover Sheet

SHEET NUMBER:

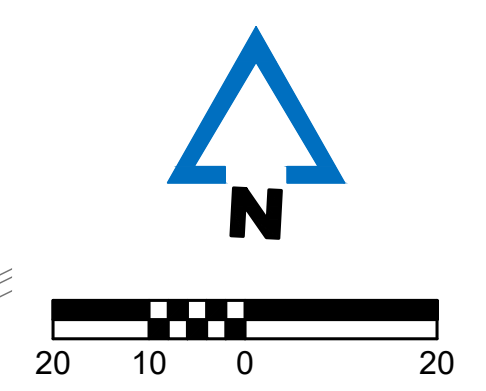
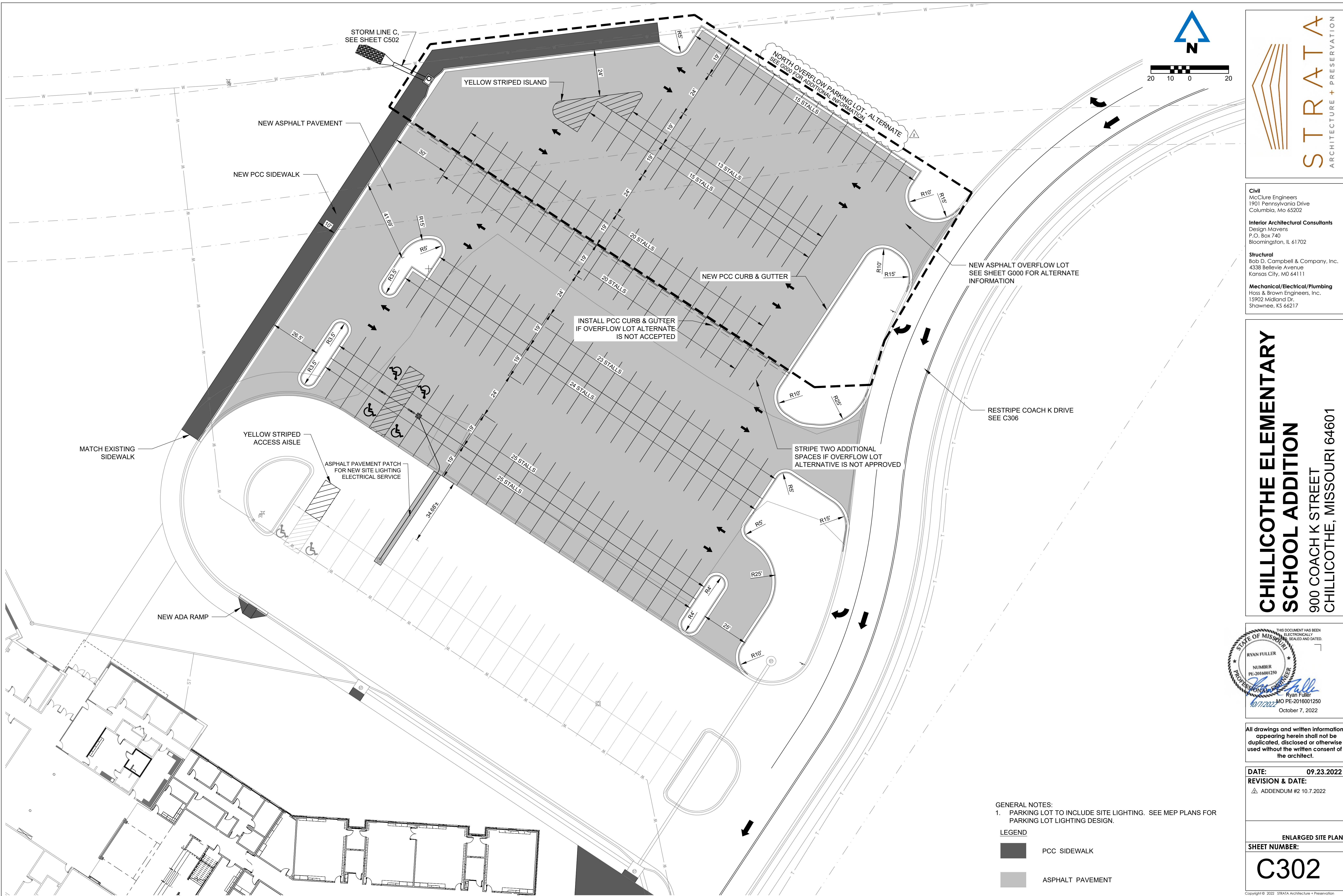
G000

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SCHOOL ADDITION**
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**ENLARGED SITE PLAN
SHEET NUMBER:**

C302

GENERAL NOTES:
1. PARKING LOT TO INCLUDE SITE LIGHTING. SEE MEP PLANS FOR PARKING LOT LIGHTING DESIGN.

LEGEND

	PCC SIDEWALK
	ASPHALT PAVEMENT



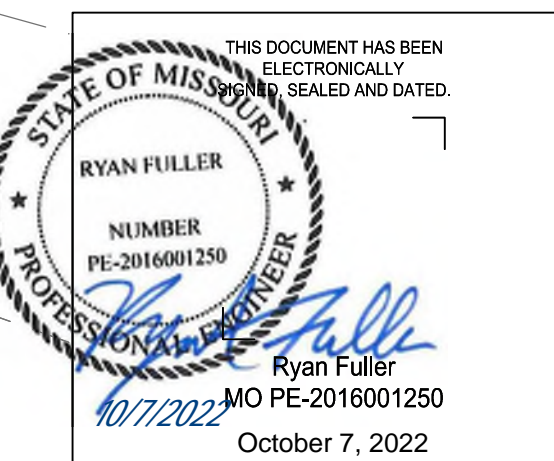
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CHILICOTHE ELEMENTARY SCHOOL ADDITION 900 COACH K STREET CHILICOTHE, MISSOURI 64601

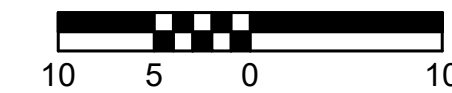
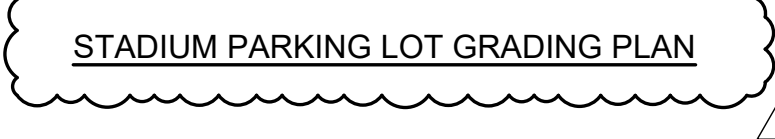


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ENLARGED GRADING PLAN
SHEET NUMBER:

C403



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**CHILLICOTHE ELEMENTARY
SCHOOL ADDITION**
900 COACH K STREET
CHILLICOTHE, MISSOURI 64601



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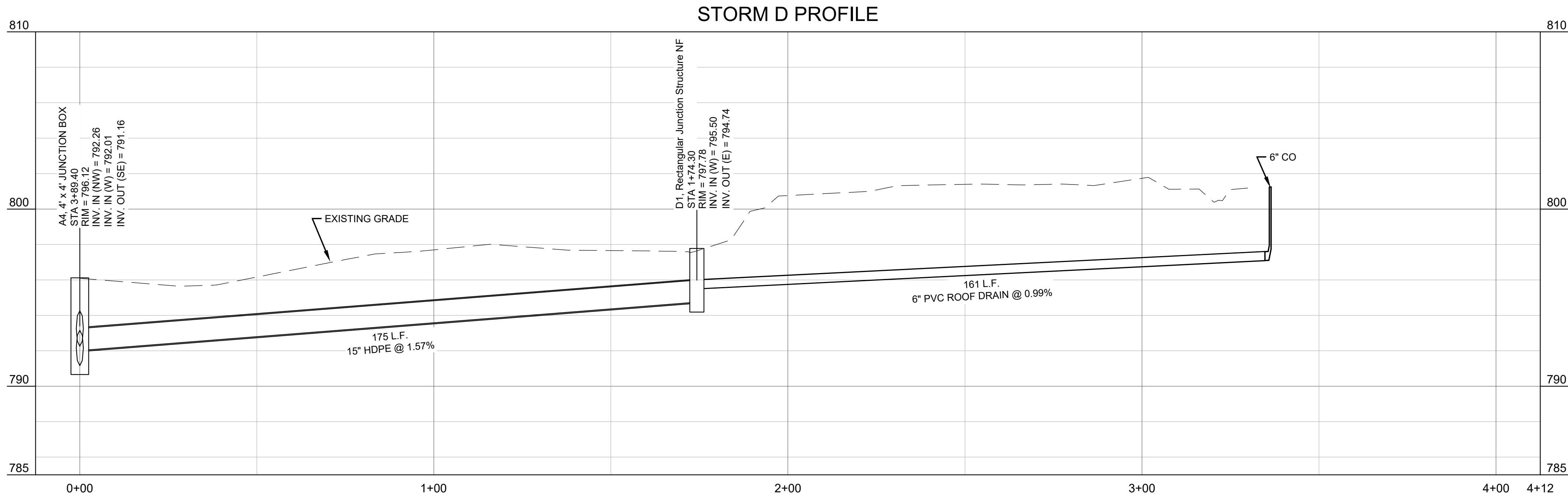
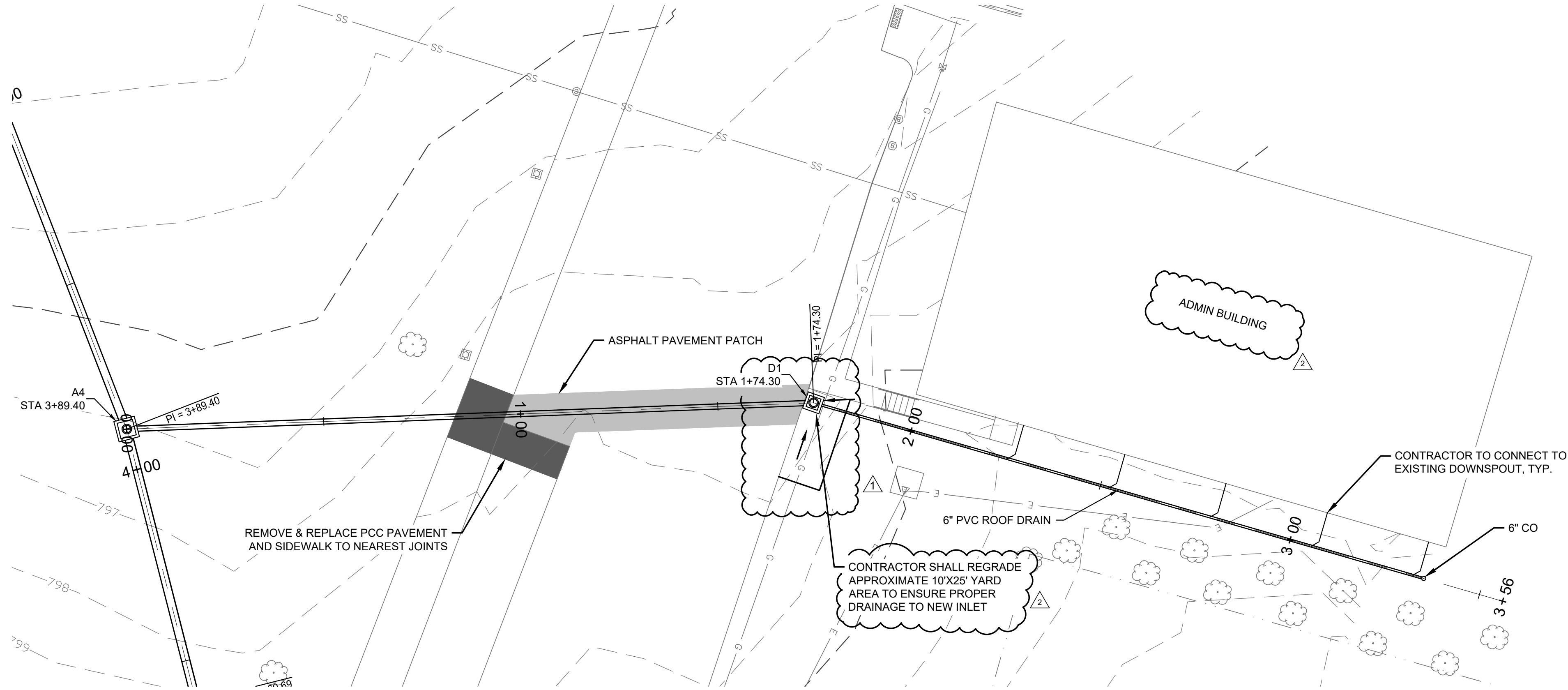
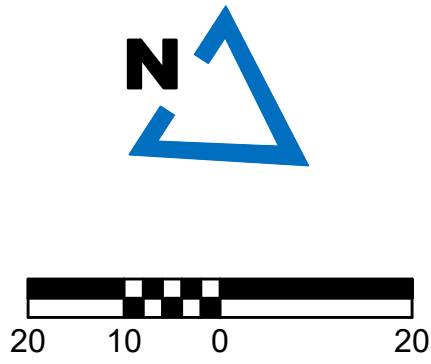
ENLARGED GRADING PLAN
SHEET NUMBER:

C406

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P:\211446-000\06-Drawings\Civil\211446 - Grading Plan Stadium Lot.dwg

NOTES:
1. STORM LINE D AND ASSOCIATED PAVEMENT PATCHING & REPLACEMENT ARE INCLUDED IN ALTERNATE #11. SEE ALTERNATE INFORMATION OUTLINED ON G000.



CHILLICOTHE ELEMENTARY
SCHOOL ADDITION
900 COACH K STREET
CHILLICOTHE, MISSOURI 64601



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STORM D PLAN AND PROFILE
SHEET NUMBER:

C503



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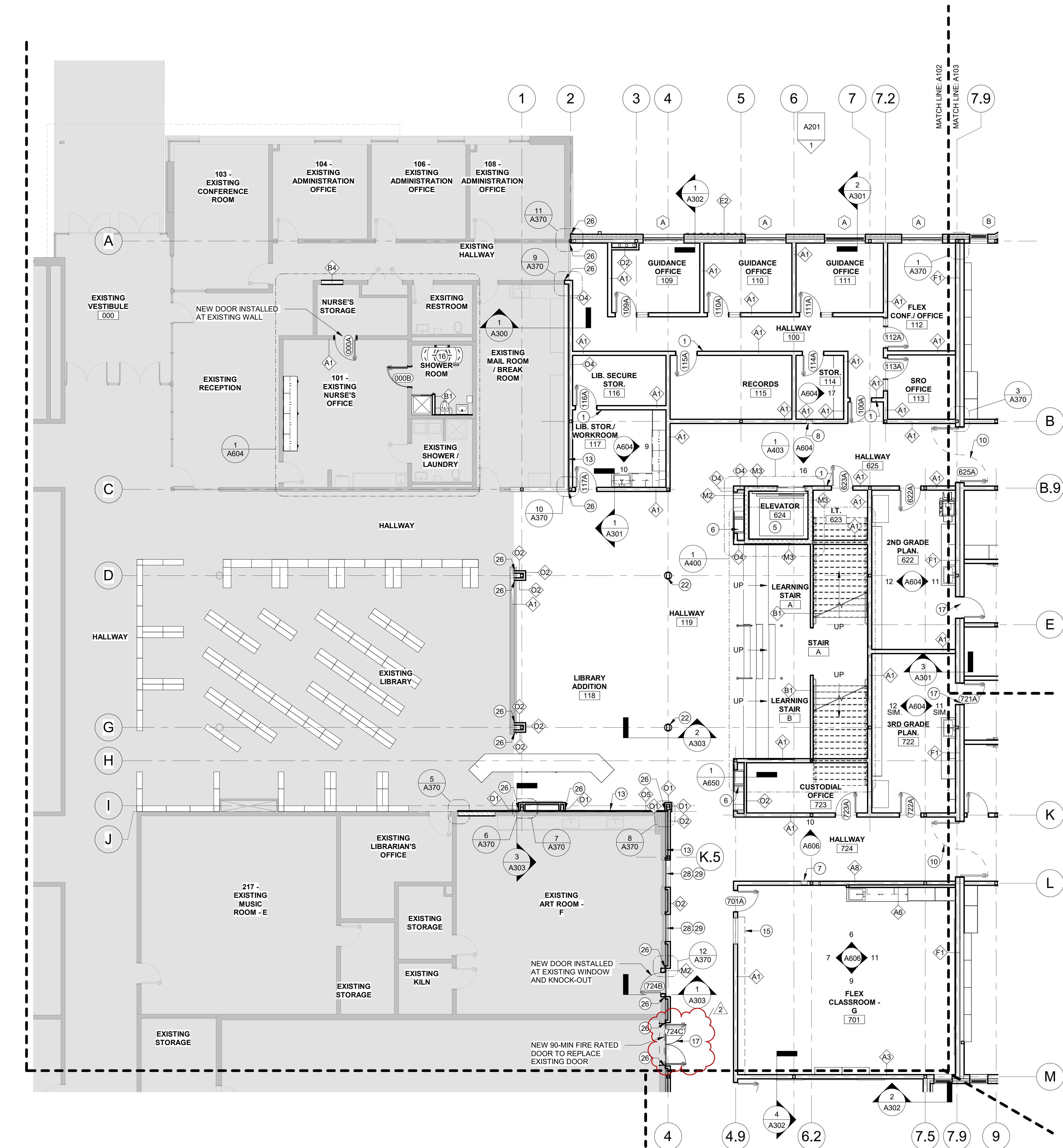
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 Addendum #2 - 10.07.2022

Signage Types

SHEET NUMBER:

A018



1 First Floor Plan - Area A
1/8" = 1'-0"

GENERAL NOTES - FLOOR PLAN:

- ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED.
- ALL NEW INTERIOR GYPSUM BOARD CEILINGS / WALLS SHALL BE PRIMED AND PAINTED UNLESS OTHERWISE NOTED.
- PROVIDE SOUND ATTENUATION BLANKETS, FLOOR TO CEILING, AT ALL CLASSROOM AND OFFICE LOCATIONS.
- PROVIDE MANUAL CONTROL WINDOW ROLLER SHADES AT ALL WINDOWS UNLESS OTHERWISE NOTED.
- PROVIDE SIGNAGE TYPE 'A' AT ALL ROOMS, UNLESS NOTED OTHERWISE.
- EXPANSION JOINTS OCCUR THROUGH ALL PARTS OF THE BUILDING TO PROVIDE COMPLETE SEPARATION THROUGH FLOORS, WALLS, CEILINGS AND ROOFS (AT BOTH THE INTERIOR AND EXTERIOR), TO REDUCE CRACKS DUE TO DIFFERENTIAL SETTLEMENT AND THERMAL VARIATION. EXPANSION JOINTS HAVE BEEN DEFINED IN KEY AREAS OF THE BUILDING, BUT THE FOLLOWING SITUATIONS ARE TO RECEIVE EXPANSIONS JOINTS.
 - WHERE A NEW SLAB MEETS AN EXISTING SLAB
 - WHERE A NEW SLAB MEETS AN EXISTING BUILDING EDGE
 - WHERE NEW WALL/CEILING/ROOF CONSTRUCTION ABUTS EXISTING WALL/CEILING/ROOF CONSTRUCTION SPECIFICALLY AT FIRE WALLS
 - WHERE BUILDING WALL LENGTH EXCEEDS 150 FEET
 - WHERE STEEL FRAMING, STRUCTURAL STEEL, OR DECKING CHANGES DIRECTION
 - WHERE THE TYPE OF DECKING / FRAMING CHANGES
- ALL EXTERIOR ALUMINUM WINDOWS SHOULD HAVE A SOLID SURFACE WINDOW SILL AT THE INTERIOR, UNLESS NOTED OTHERWISE.

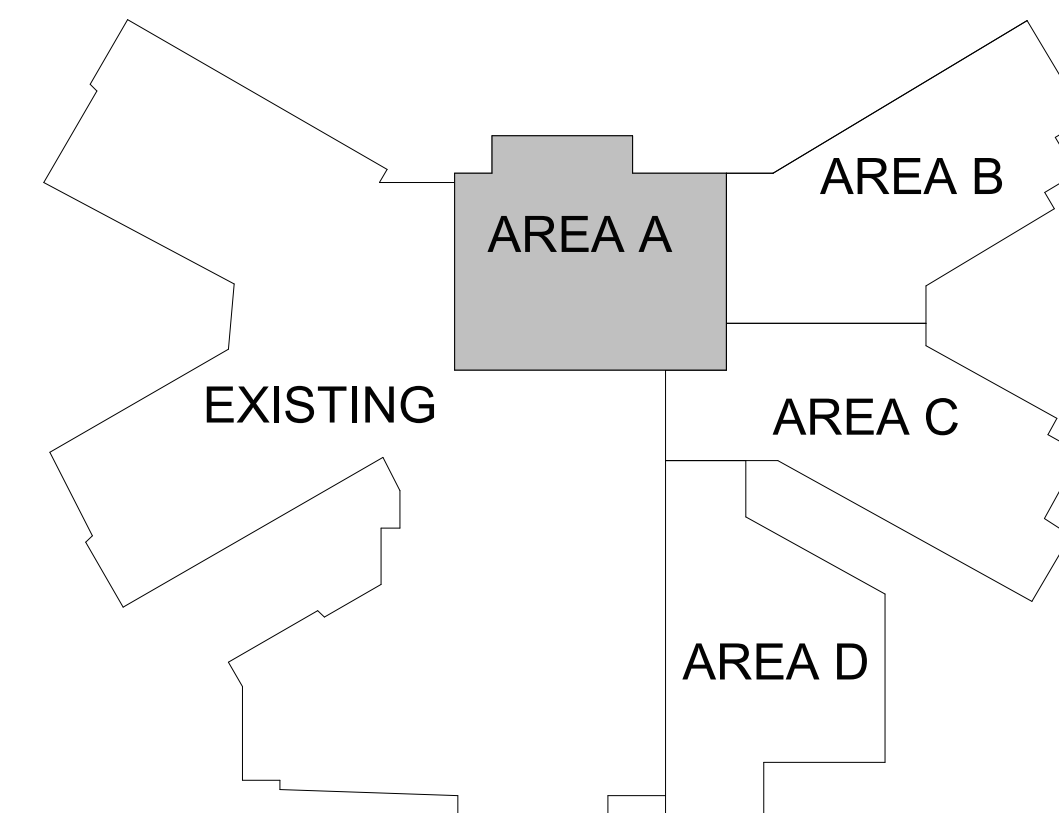
KEY NOTES - FLOOR PLAN:

- CARD READER, REFERENCE ELECTRICAL.
- EXISTING CAFETERIA SERVING LINE EQUIPMENT TO BE INSTALLED.
- NEW CAFETERIA SERVING LINE EQUIPMENT, PROVIDED BY OWNER, TO BE INSTALLED BY CONTRACTOR.
- AUTOMATED EXTERNAL DEFIBRILLATOR (AED) AND CABINET.
- ELEVATOR, BASIS-OF-DESIGN: KONE MONOSPACE 300, 3,500LB CAPACITY, 150 FPM SPEED, TOTAL TRAVEL 12'-6".
- RECESSED SEAT. SEE INTERIOR ELEVATIONS.
- FIRE EXTINGUISHER IN RECESSED CABINET.
- RELOCATED EXISTING SEMI-RECESSED FIRE EXTINGUISHER.
- REFERENCE ENLARGED PLANS FOR FURTHER INFORMATION.
- 90-MINUTE FIRE-RATED DOUBLE-EGRESS DOOR ON HOLD-OPEN.
- ICC 500 RATED STORM SHELTER DOORS.
- ICC 500 RATED STORM SHELTER WINDOW.
- TWO-INCH EXPANSION JOINT, REFERENCE STRUCTURAL.
- WINDOW SILL @ 6'-0" A.F.F.
- FUTURE CUBBIES.
- UNIVERSAL CHANGING STATION WITH POWERED ADJUSTABLE HEIGHT.
- 90-MINUTE FIRE-RATED DOOR.
- PRE-ENGINEERED METAL AWNING WITH HANGER ROD SUPPORTS.
- MECHANICAL DUCTWORK CHASE, RE: MECHANICAL.
- REFERENCE INTERIOR ELEVATIONS FOR CALM ROOM FINISHES
- SCOPE OF WORK TO INCLUDE EXTERIOR MURAL ON THE CAFETERIA WALLS (ALLOWANCE \$25,000).
- STRUCTURAL COLUMN WITH ALUMINUM COLUMN COVER, REFERENCE STRUCTURAL.
- NEW FREEZER/REFRIGERATOR, PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
- NEW TRAY DRYING RACKS, PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
- NEW VENTLESS OVEN, PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
- EXPANSION JOINT AT WALL. ALL EXPOSED EXPANSION JOINTS TO HAVE TRIM COVERING (079500).
- EXPANSION JOINT AT FLOOR. ALL EXPOSED EXPANSION JOINTS TO HAVE TRIM COVERING (079500).
- PROVIDE A SOLID SURFACE SILL AT FURRING AROUND EXISTING WINDOW (CORRIDOR SIDE ONLY).
- EXPANSION JOINTS AT JAMBS AND SILL OF FURRING AROUND EXISTING WINDOWS. PROVIDE EXPANSION TRIM AT CEILING.
- CONCRETE PAD, RE: STRUCTURAL.

FLOOR PLAN LEGEND

- | | | |
|---------------|----------------|---------------|
| EXISTING WALL | EXISTING FLOOR | NEW DOOR |
| NEW WALL | NEW FLOOR | EXISTING DOOR |

KEY PLAN



CHILLICOTHE ELEMENTARY SCHOOL ADDITION

900 COACH K STREET
CHILLICOTHE, MISSOURI 64601



9.23.2022

TRUDY FAULKNER - Architect
MO# A-2010030288

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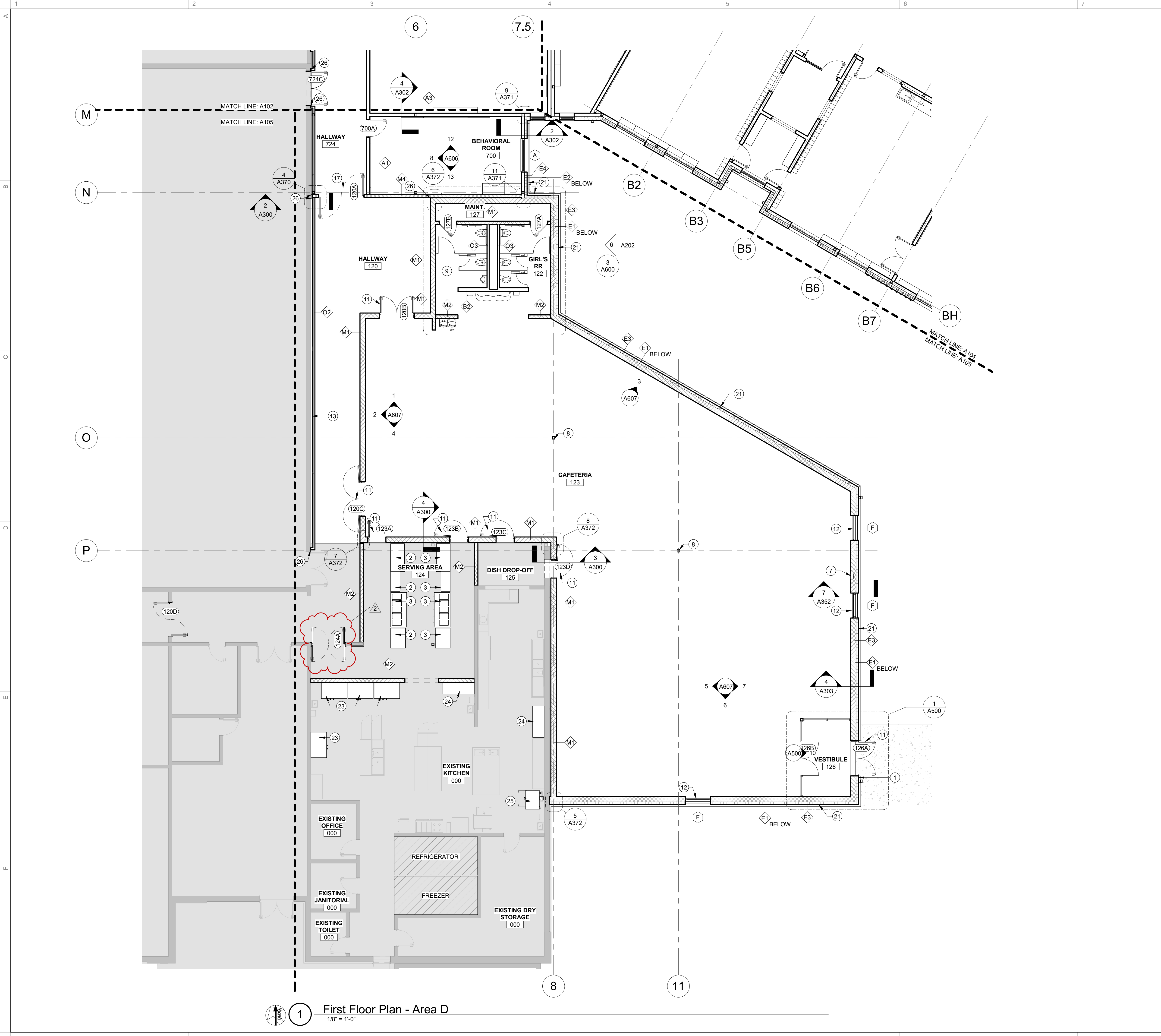
REVISION & DATE:

△ Addendum #2 - 10.07.2022

First Floor Plan - Area A

SHEET NUMBER:

A102a



1 First Floor Plan - Area D
1/8" = 1'-0"

GENERAL NOTES - FLOOR PLAN:

- A. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED.
- B. ALL NEW INTERIOR GYPSUM BOARD CEILINGS / WALLS SHALL BE PRIMED AND PAINTED UNLESS OTHERWISE NOTED.
- C. PROVIDE SOUND ATTENUATION BLANKETS, FLOOR TO CEILING, AT ALL CLASSROOM AND OFFICE LOCATIONS.
- D. PROVIDE MANUAL CONTROL WINDOW ROLLER SHADES AT ALL WINDOWS UNLESS OTHERWISE NOTED.
- E. PROVIDE SIGNAGE TYPE 'A' AT ALL ROOMS, UNLESS NOTED OTHERWISE.
- F. EXPANSION JOINTS OCCUR THROUGH ALL PARTS OF THE BUILDING TO PROVIDE COMPLETE SEPARATION THROUGH FLOORS, WALLS, CEILINGS AND ROOFS (AT BOTH THE INTERIOR AND EXTERIOR), TO REDUCE CRACKS DUE TO DIFFERENTIAL SETTLEMENT AND THERMAL VARIATION. EXPANSION JOINTS HAVE BEEN DEFINED IN KEY AREAS OF THE BUILDING, BUT THE FOLLOWING SITUATIONS ARE TO RECEIVE EXPANSIONS JOINTS:
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 - WHERE A NEW SLAB MEETS AN EXISTING BUILDING EDGE
 - WHERE NEW WALL/CEILING/ROOF CONSTRUCTION ABUTS EXISTING WALL/CEILING/ROOF CONSTRUCTION, SPECIFICALLY AT FIRE WALLS
 - WHERE BUILDING WALL LENGTH EXCEEDS 150 FEET
 - WHERE STEEL FRAMING, STRUCTURAL STEEL, OR DECKING CHANGES DIRECTION
 - WHERE THE TYPE OF DECKING / FRAMING CHANGES
- G. ALL EXTERIOR ALUMINUM WINDOWS SHOULD HAVE A SOLID SURFACE WINDOW SILL AT THE INTERIOR, UNLESS NOTED OTHERWISE.

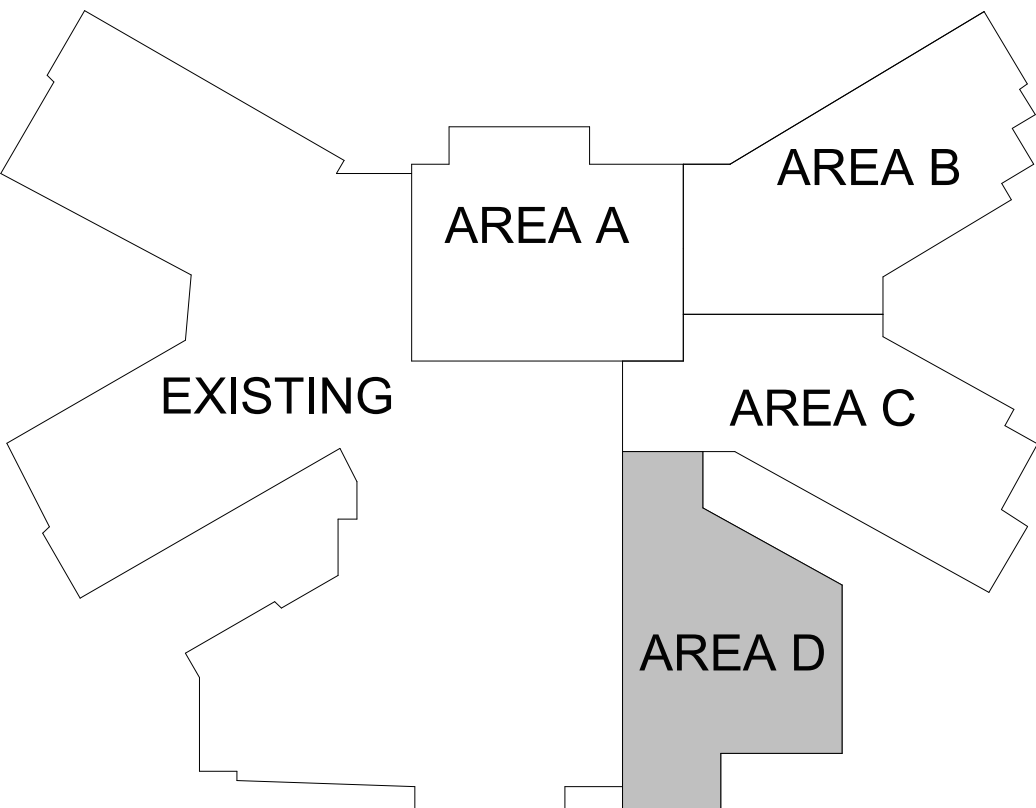
KEY NOTES - FLOOR PLAN :

- 1. CARD READER, REFERENCE ELECTRICAL.
- 2. EXISTING CAFETERIA SERVING LINE EQUIPMENT TO BE INSTALLED.
- 3. NEW CAFETERIA SERVING LINE EQUIPMENT, PROVIDED BY OWNER, TO BE INSTALLED BY CONTRACTOR.
- 4. AUTOMATED EXTERNAL DEFIBRILLATOR (AED) AND CABINET.
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- 6. RECESSED SEAT. SEE INTERIOR ELEVATIONS.
- 7. FIRE EXTINGUISHER IN RECESSED CABINET.
- 8. RELOCATED EXISTING SEMI-RECESSED FIRE EXTINGUISHER.
- 9. REFERENCE ENLARGED PLANS FOR FURTHER INFORMATION.
- 10. 90-MINUTE FIRE-RATED DOUBLE-EGRESS DOOR ON HOLD-OPEN.
- 11. ICC 500 RATED STORM SHELTER DOORS.
- 12. ICC 500 RATED STORM SHELTER WINDOW.
- 13. TWO-INCH EXPANSION JOINT, REFERENCE STRUCTURAL.
- 14. WINDOW SILL @ 6'-0" A.F.F.
- 15. FUTURE CUBBIES.
- 16. UNIVERSAL CHANGING STATION WITH POWERED ADJUSTABLE HEIGHT.
- 17. 90-MINUTE FIRE-RATED DOOR.
- 18. PRE-ENGINEERED METAL AWNING WITH HANGER ROD SUPPORTS.
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- 29. EXPANSION JOINTS AT JAMBS AND SILL OF FURRING AROUND EXISTING WINDOWS. PROVIDE EXPANSION TRIM AT CEILING.
- 30. CONCRETE PAD, RE: STRUCTURAL.

FLOOR PLAN LEGEND

- EXISTING WALL
- EXISTING FLOOR
- NEW DOOR
- NEW WALL
- NEW FLOOR
- EXISTING DOOR

KEY PLAN



**CHILLICOTHE ELEMENTARY
SCHOOL ADDITION**
900 COACH K STREET
CHILLICOTHE, MISSOURI 64601



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1901 Pennsylvania Drive
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Interior Architectural Consultants
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STATE OF MISSOURI
TRUDY K. FAULKNER
ARCHITECT
A-2010030288
9.23.2022
TRUDY FAULKNER - Architect
MO# A-2010030288

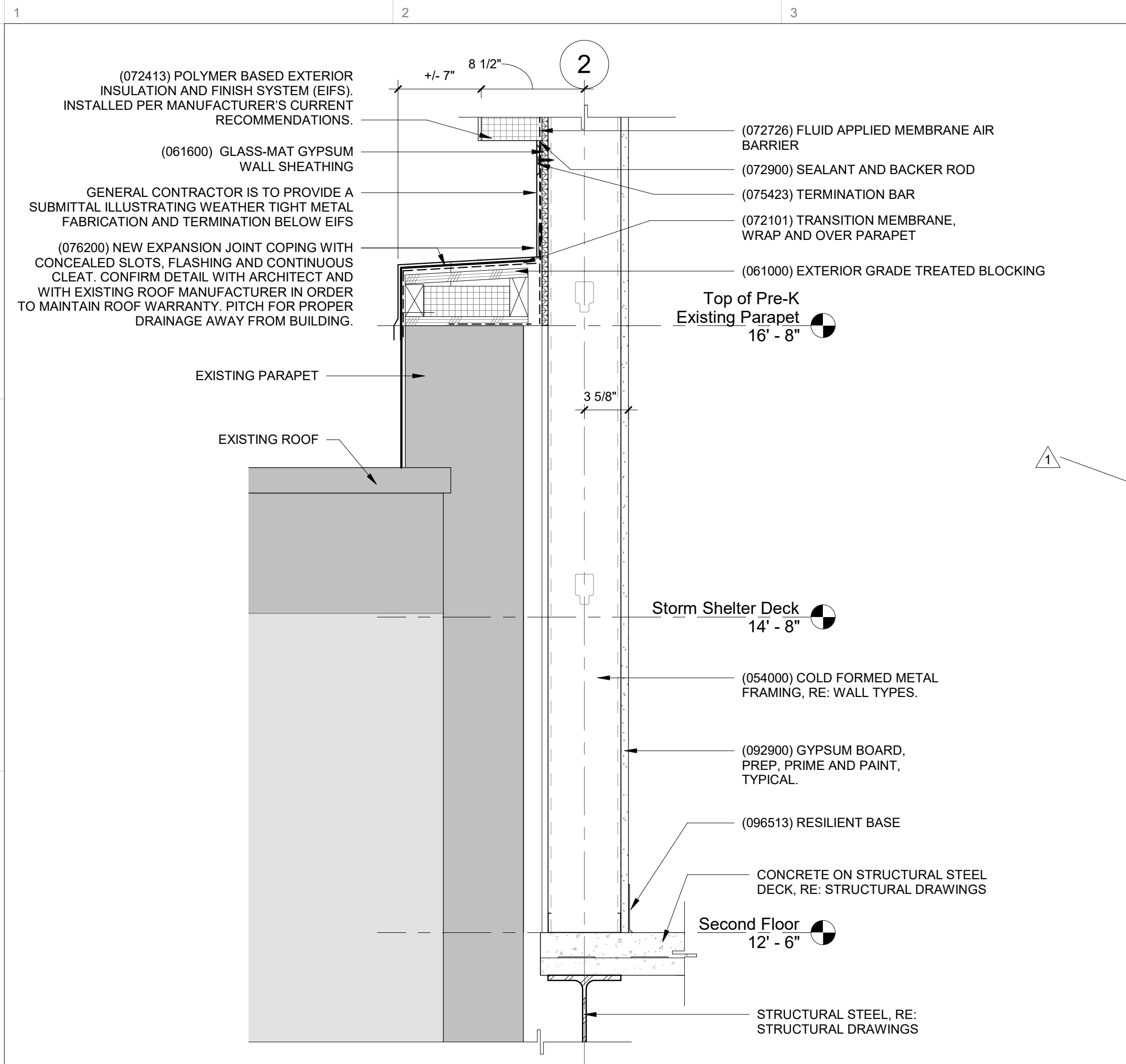
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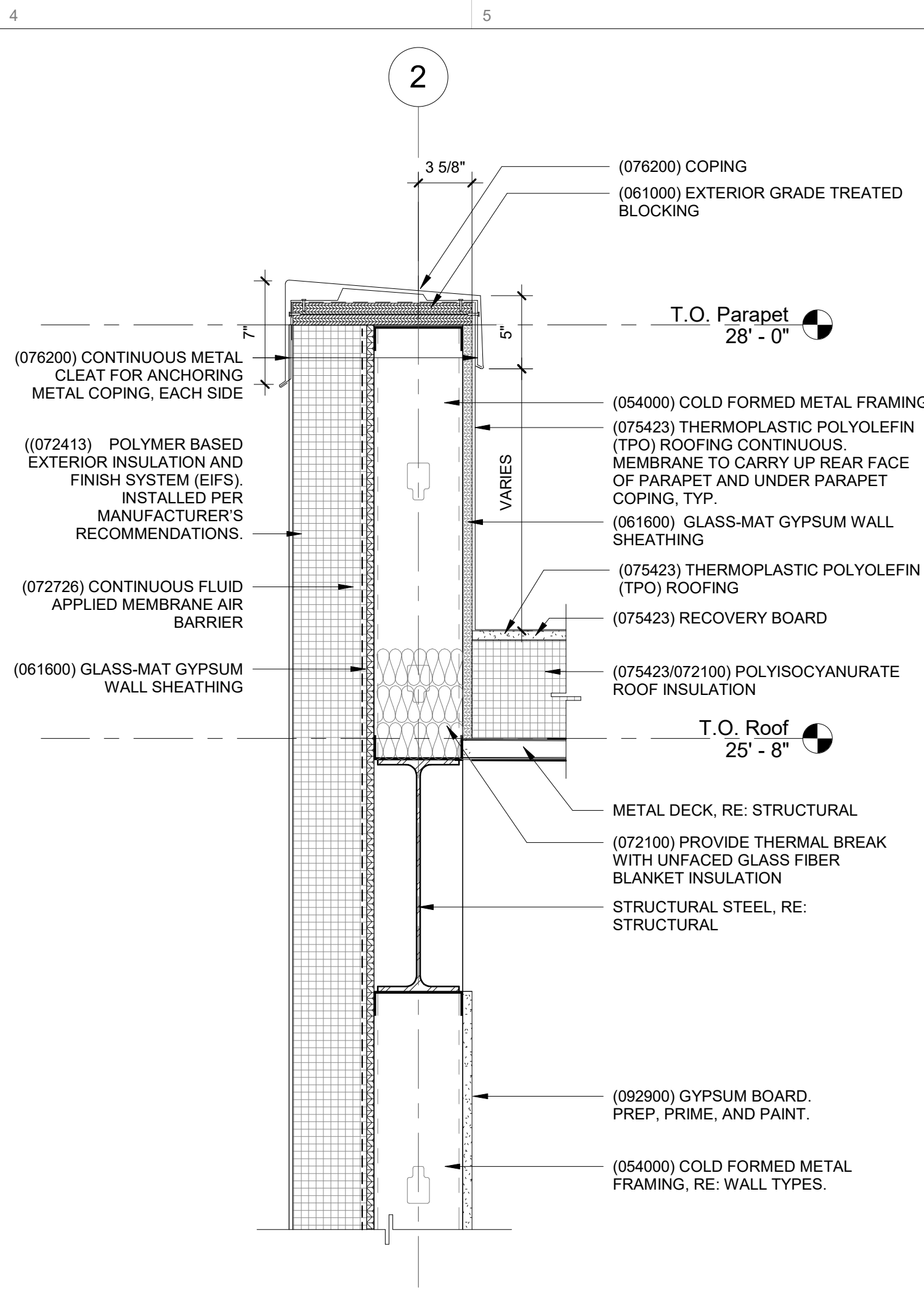
First Floor Plan - Area D

SHEET NUMBER:

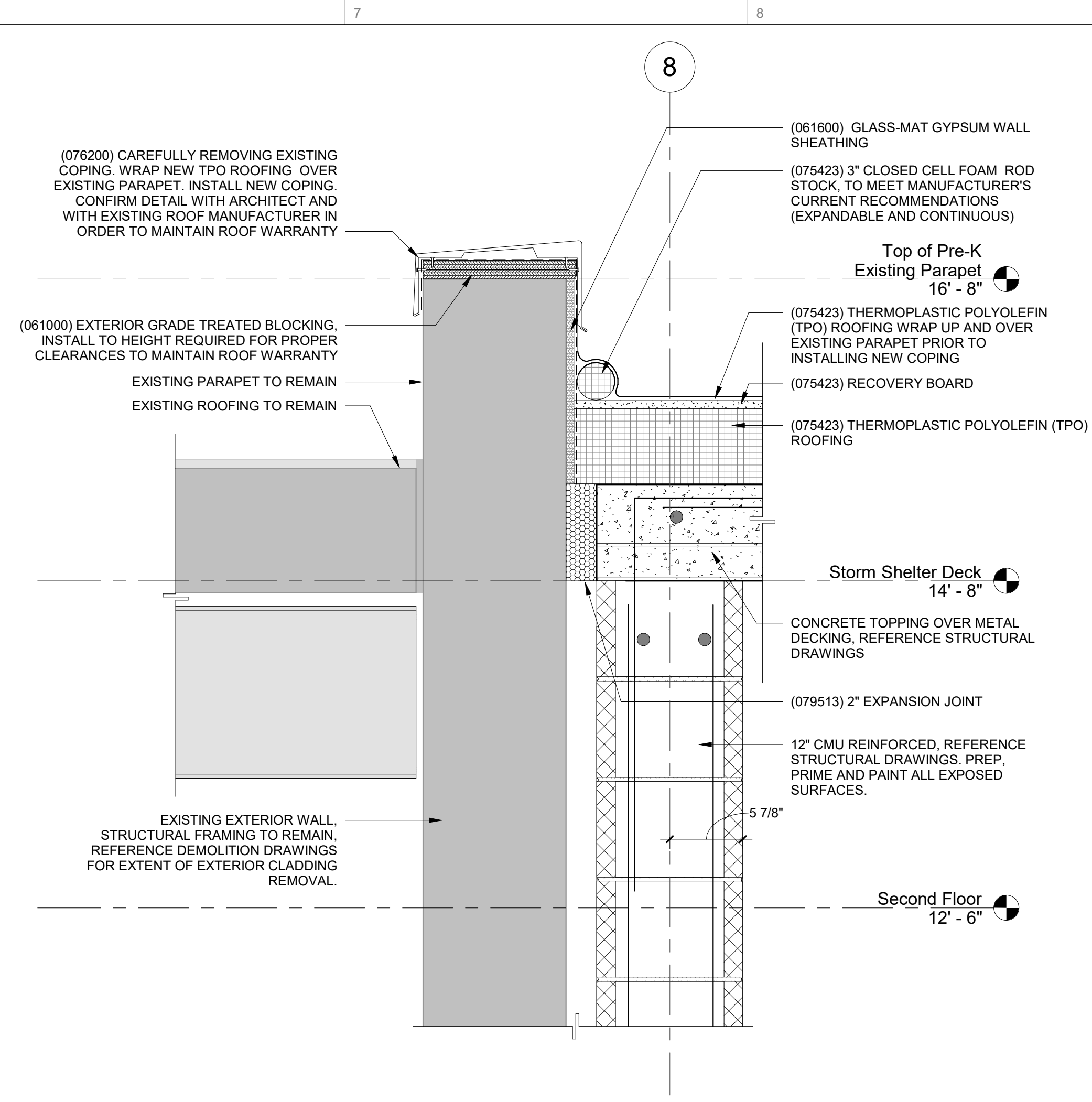
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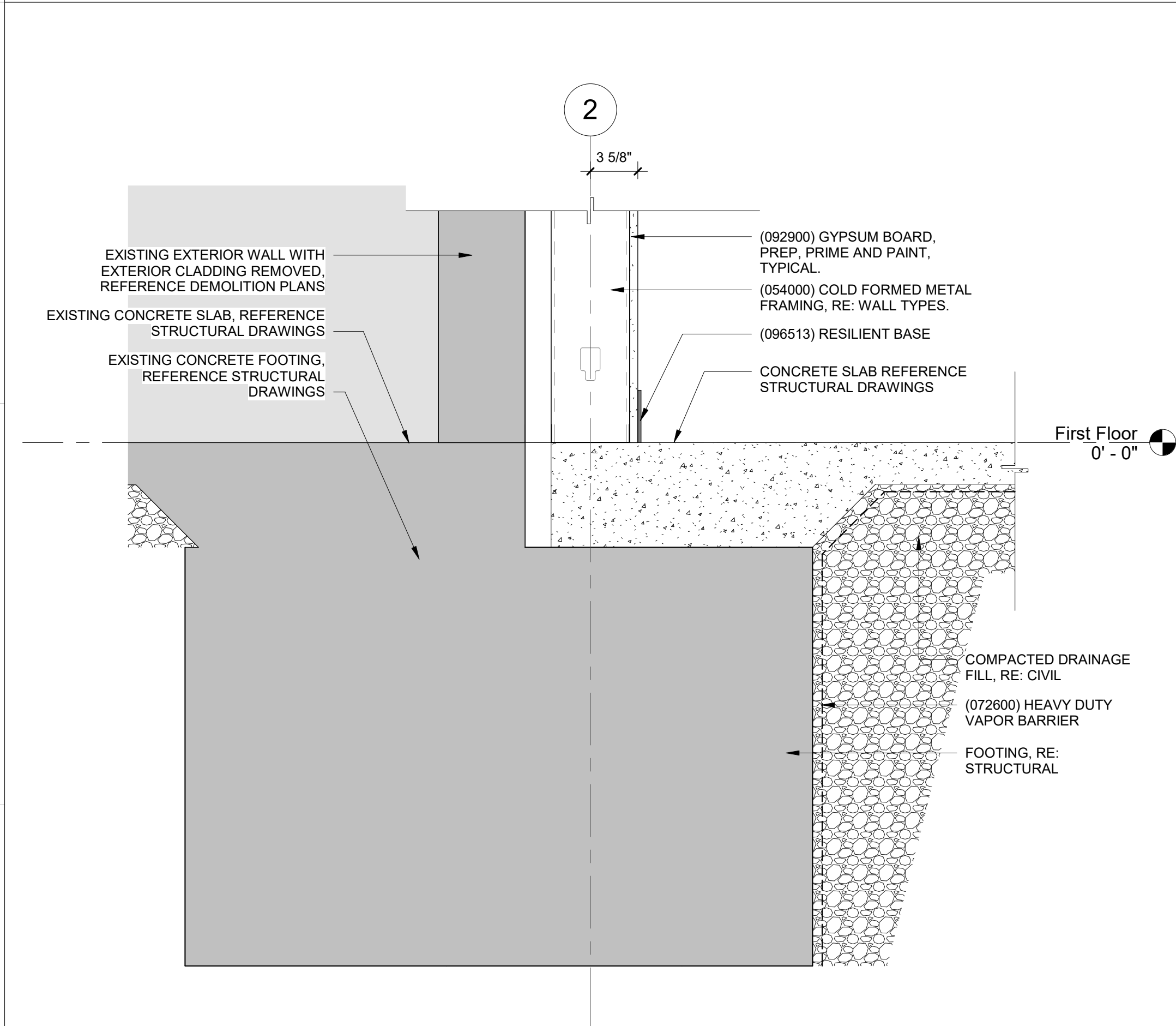
1 Section Detail - CL 2 - Second Floor
1 1/2" = 1'-0"



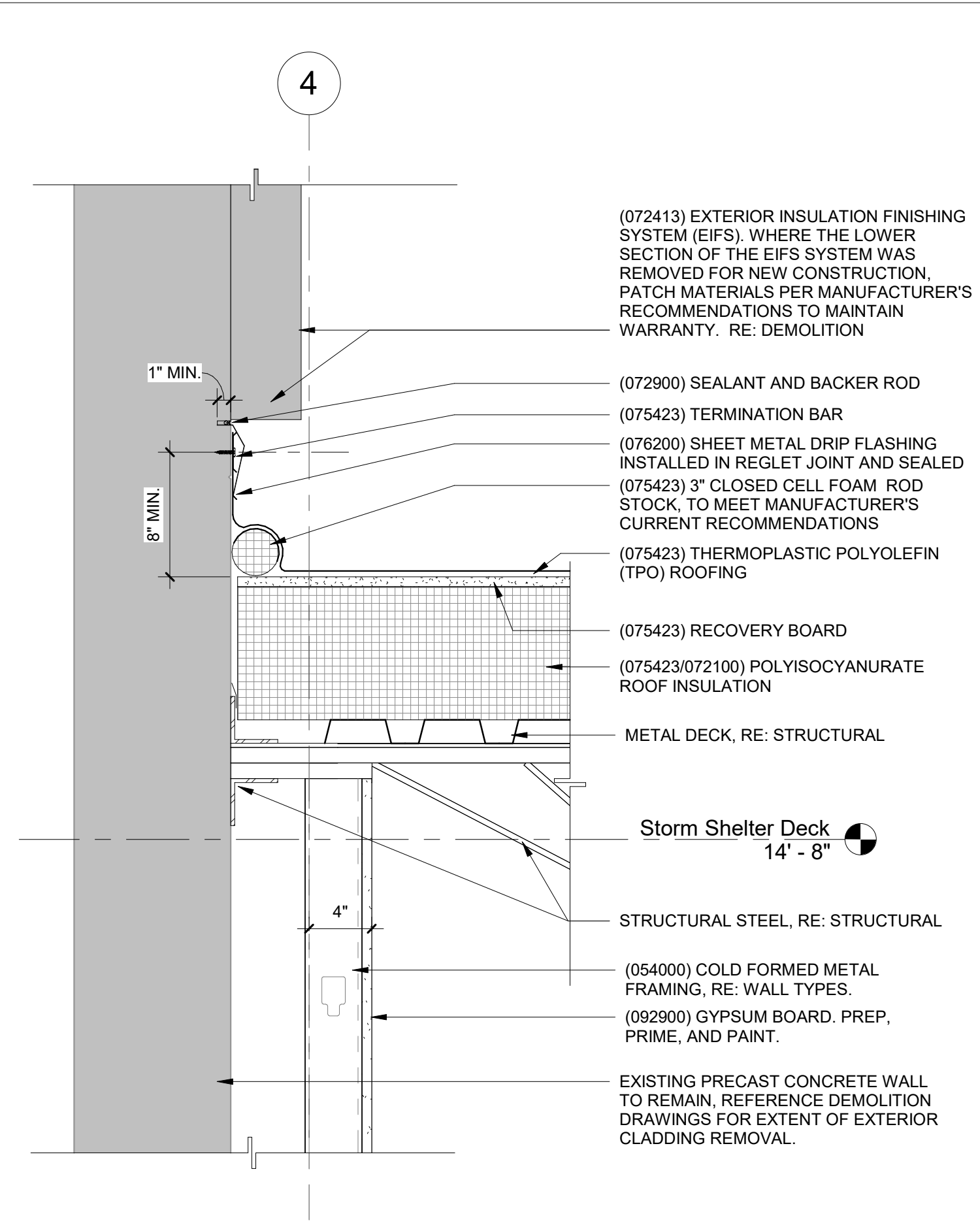
2 Section Detail - CL 2 - Parapet
1 1/2" = 1'-0"



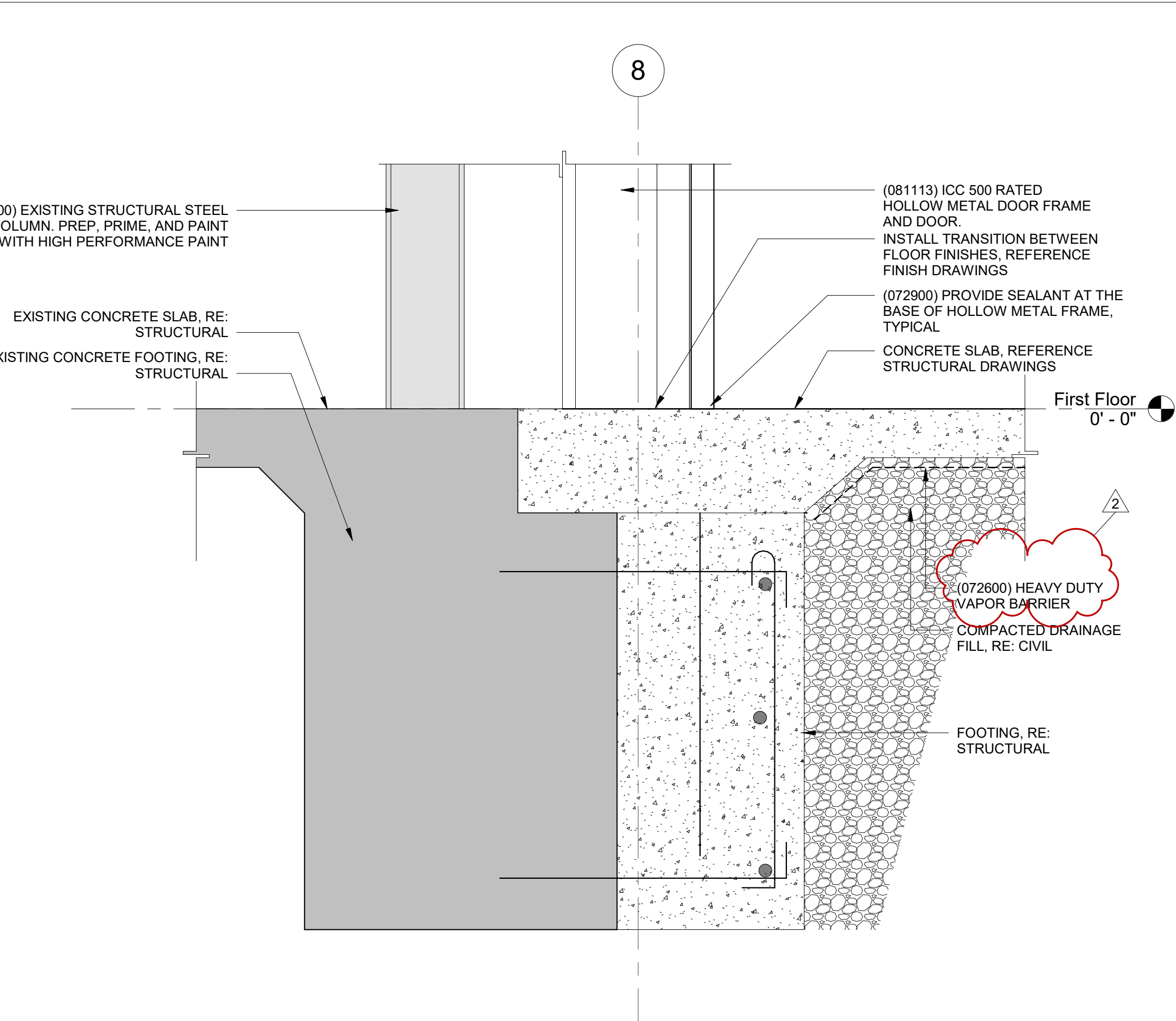
3 Section Detail - CL 8 - Kitchen Parapet
1 1/2" = 1'-0"



4 Section Detail - CL 2 - Foundation
1 1/2" = 1'-0"



5 Section Detail - CL 14 with New Roof
1 1/2" = 1'-0"



6 Section Detail - CL 14 - Kitchen Foundation
1 1/2" = 1'-0"



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MO# A-2010030288

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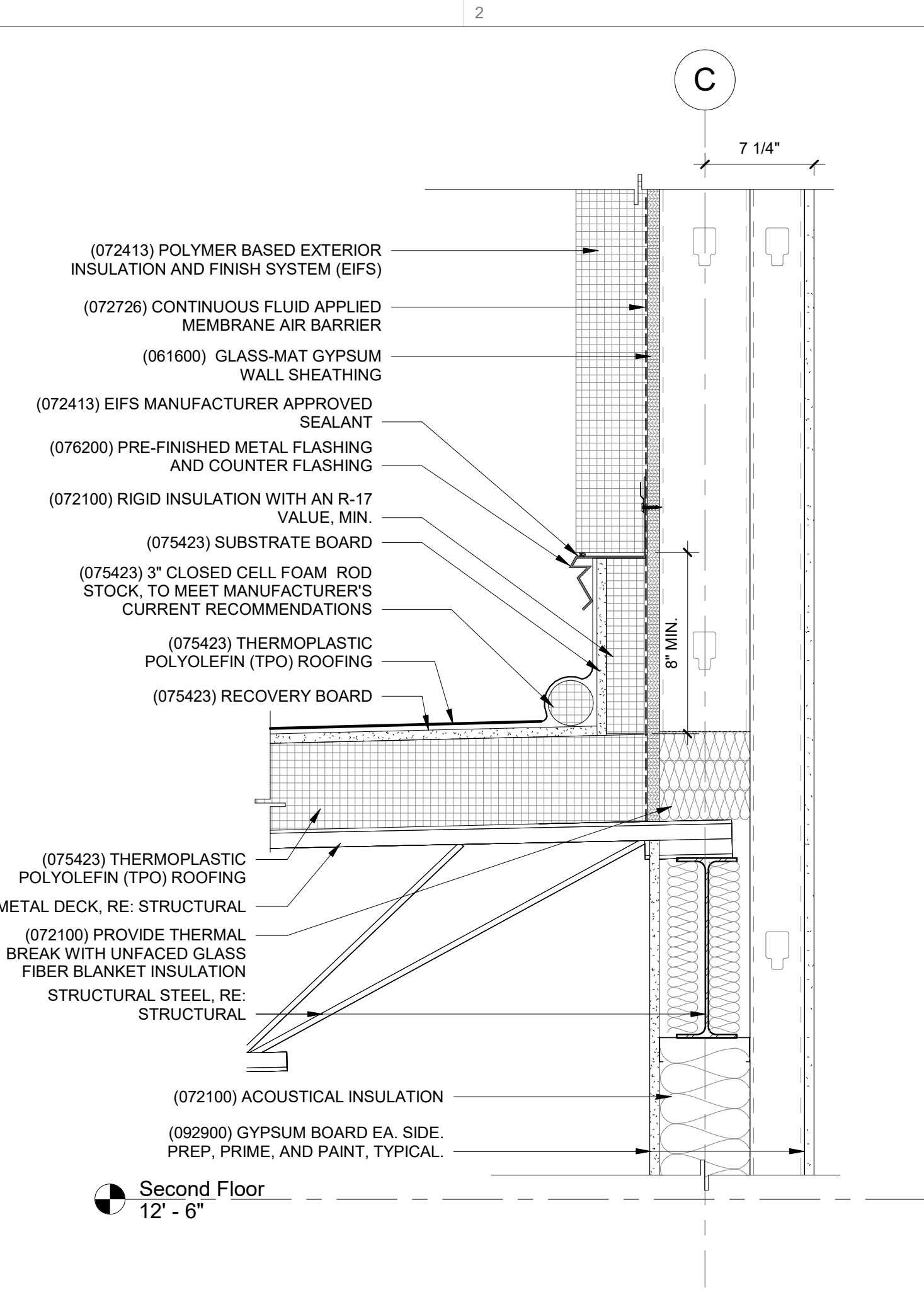
DATE: 09.23.2022

REVISION & DATE:
 Addendum #1 - 09.30.2022
 Addendum #2 - 10.07.2022

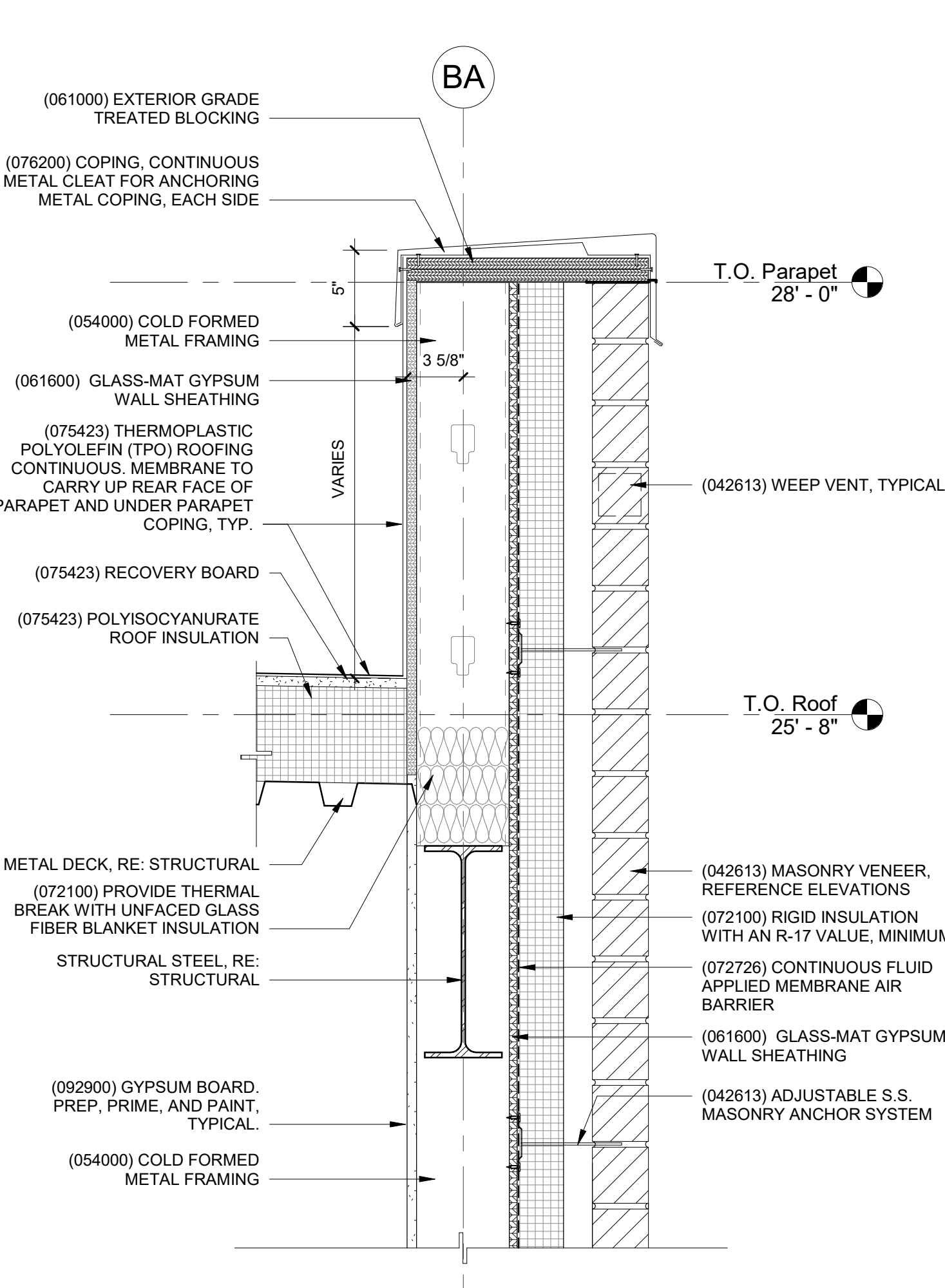
Section Details

SHEET NUMBER:

A350

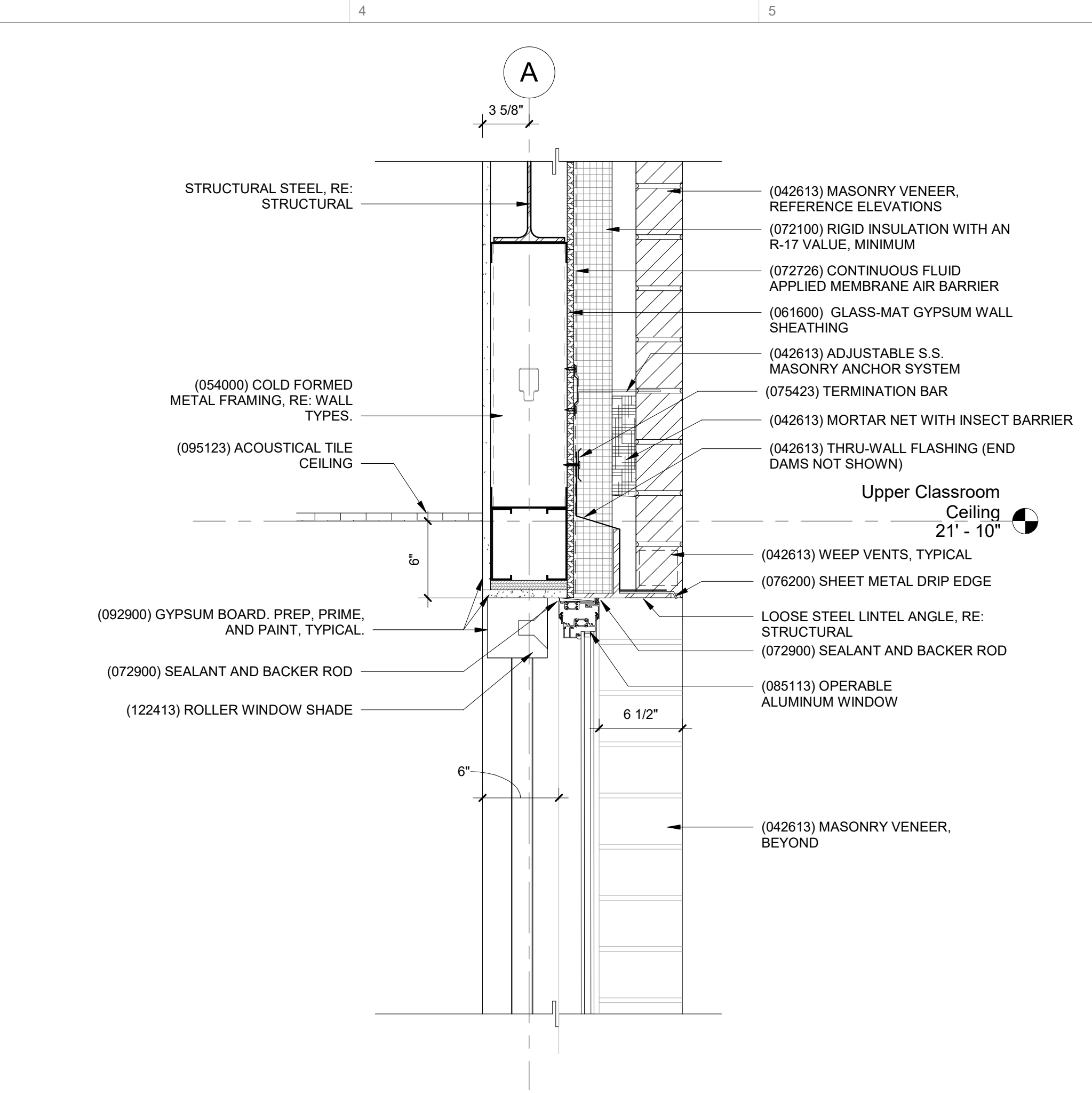


1 Section Detail - CL C - New Low Roof
1 1/2" = 1'-0"

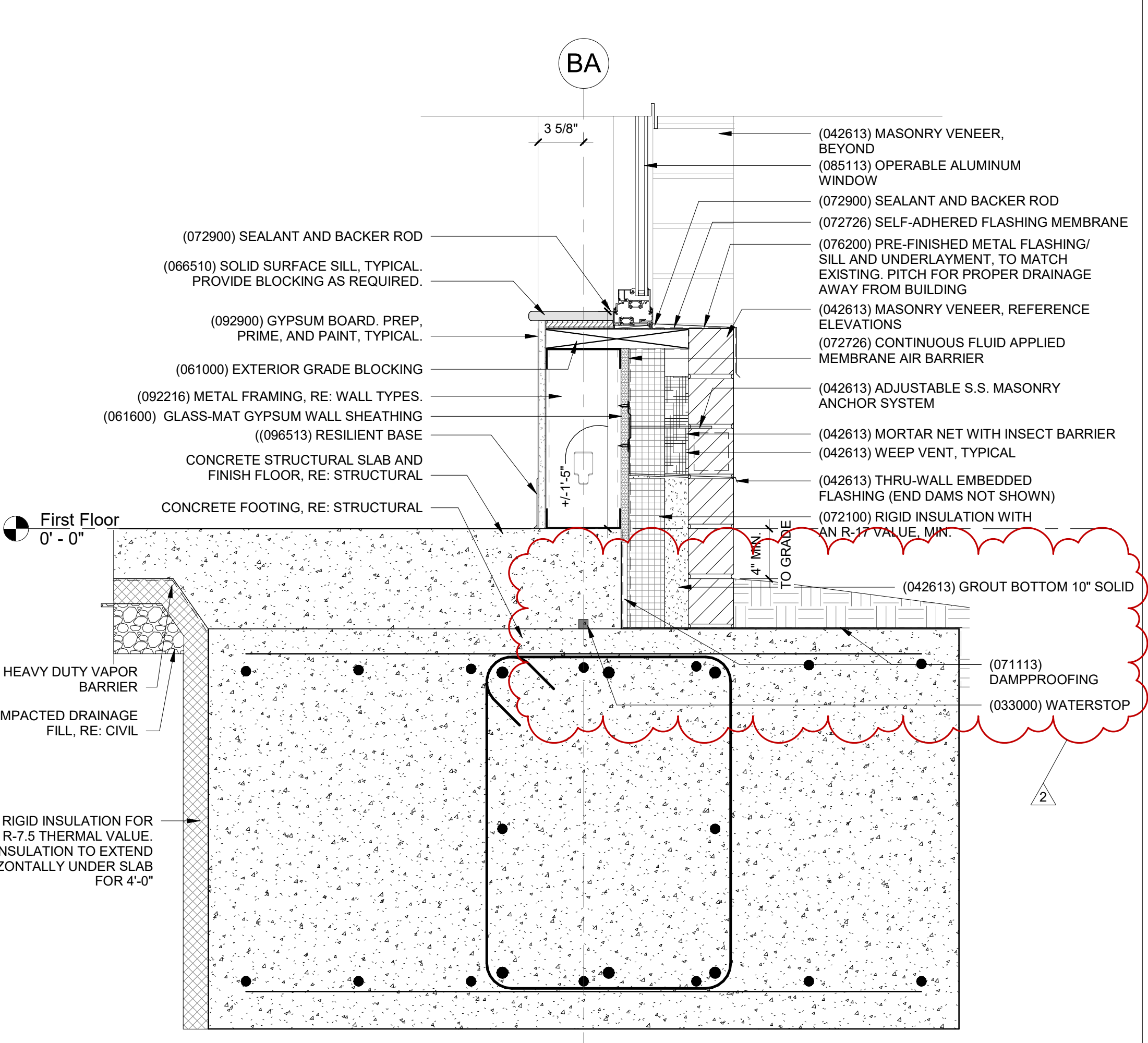


4 Section Detail - CL AA - Parapet
1 1/2" = 1'-0"

1 2 3 4 5 6 7 8

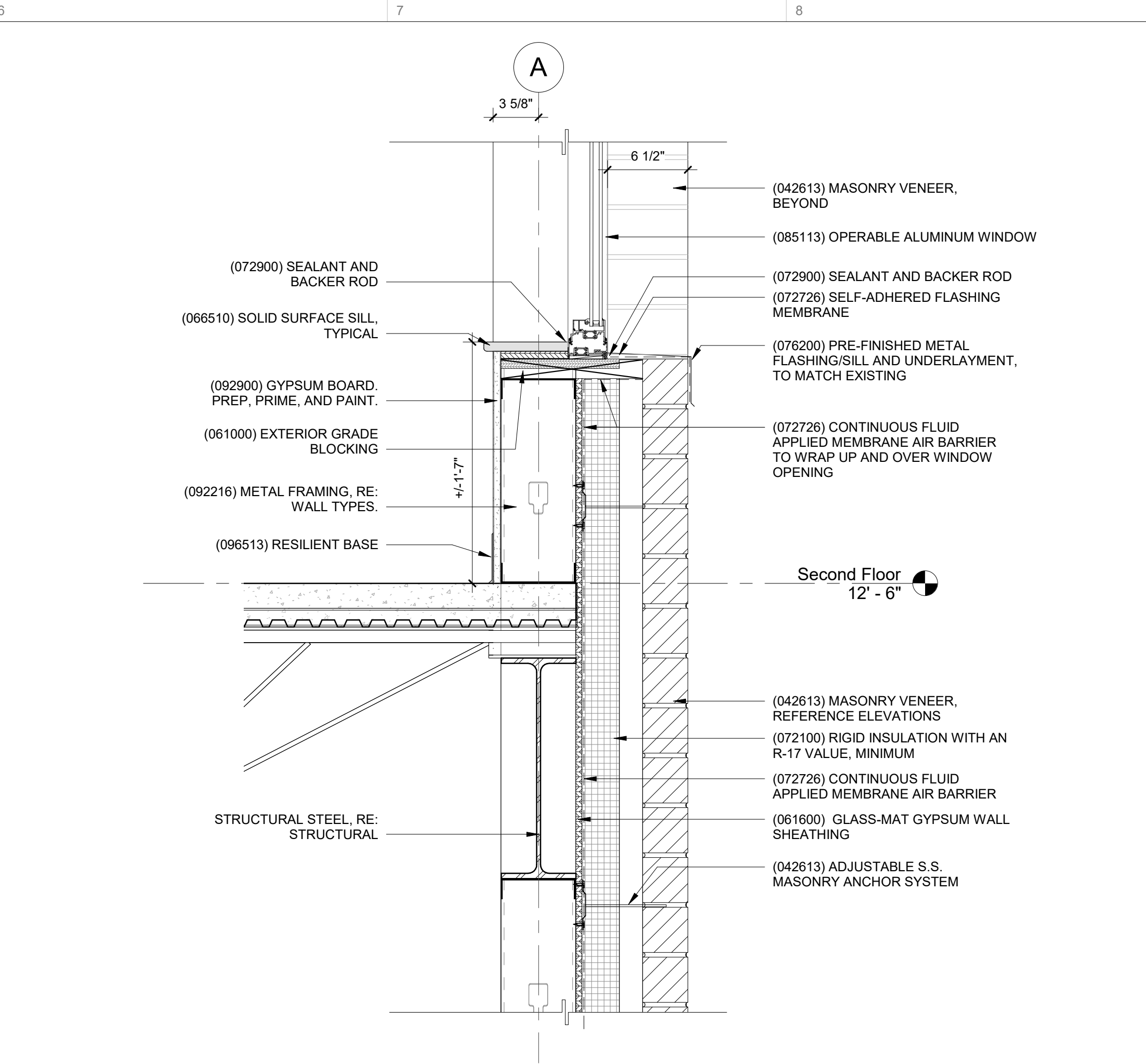


2 Section Detail - CL A - Window Header
1 1/2" = 1'-0"

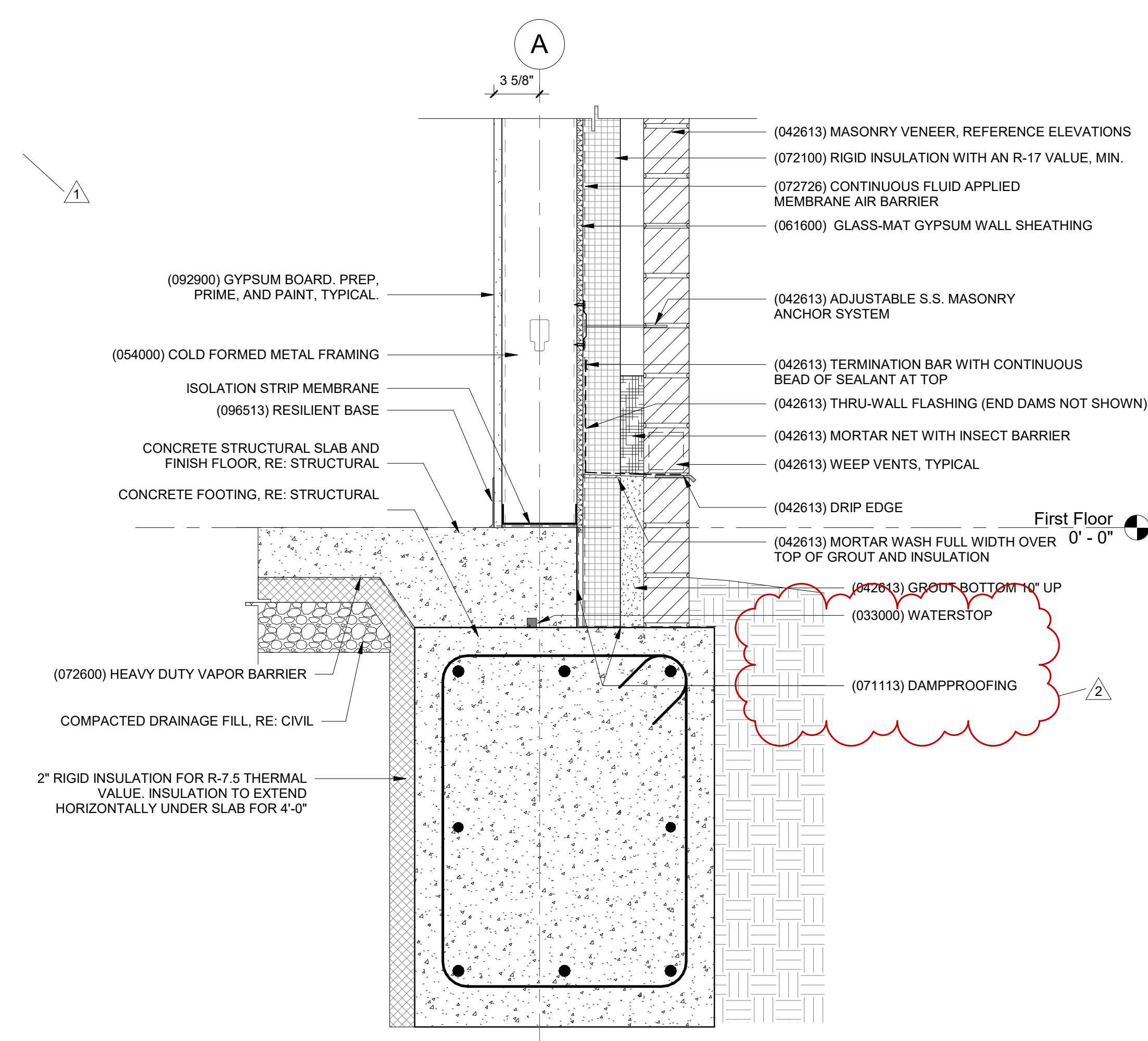


5 Section Detail - CL AA - Foundation
1 1/2" = 1'-0"

1 2 3 4 5 6 7 8

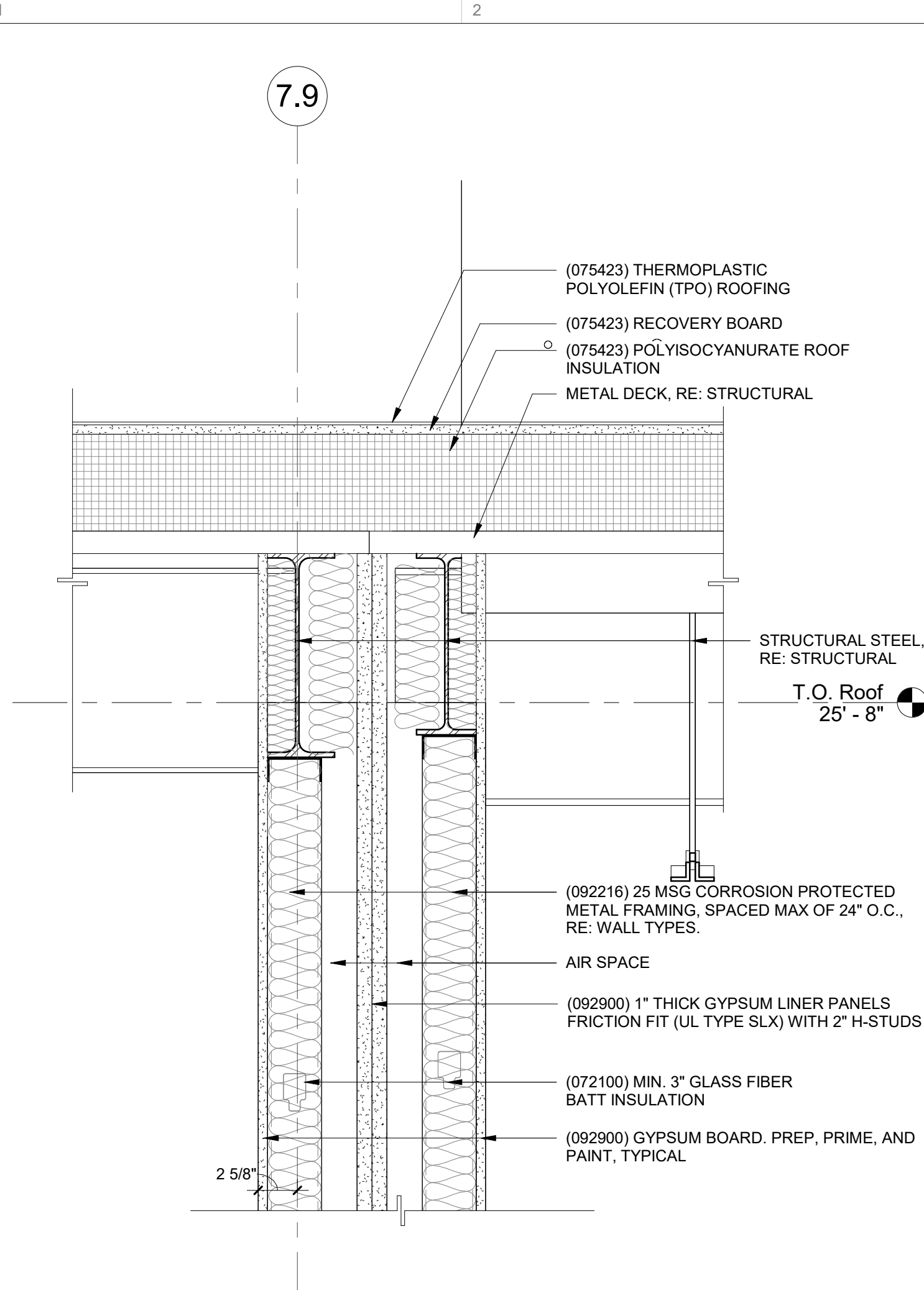


3 Section Detail - CL A - Second Floor Sill
1 1/2" = 1'-0"

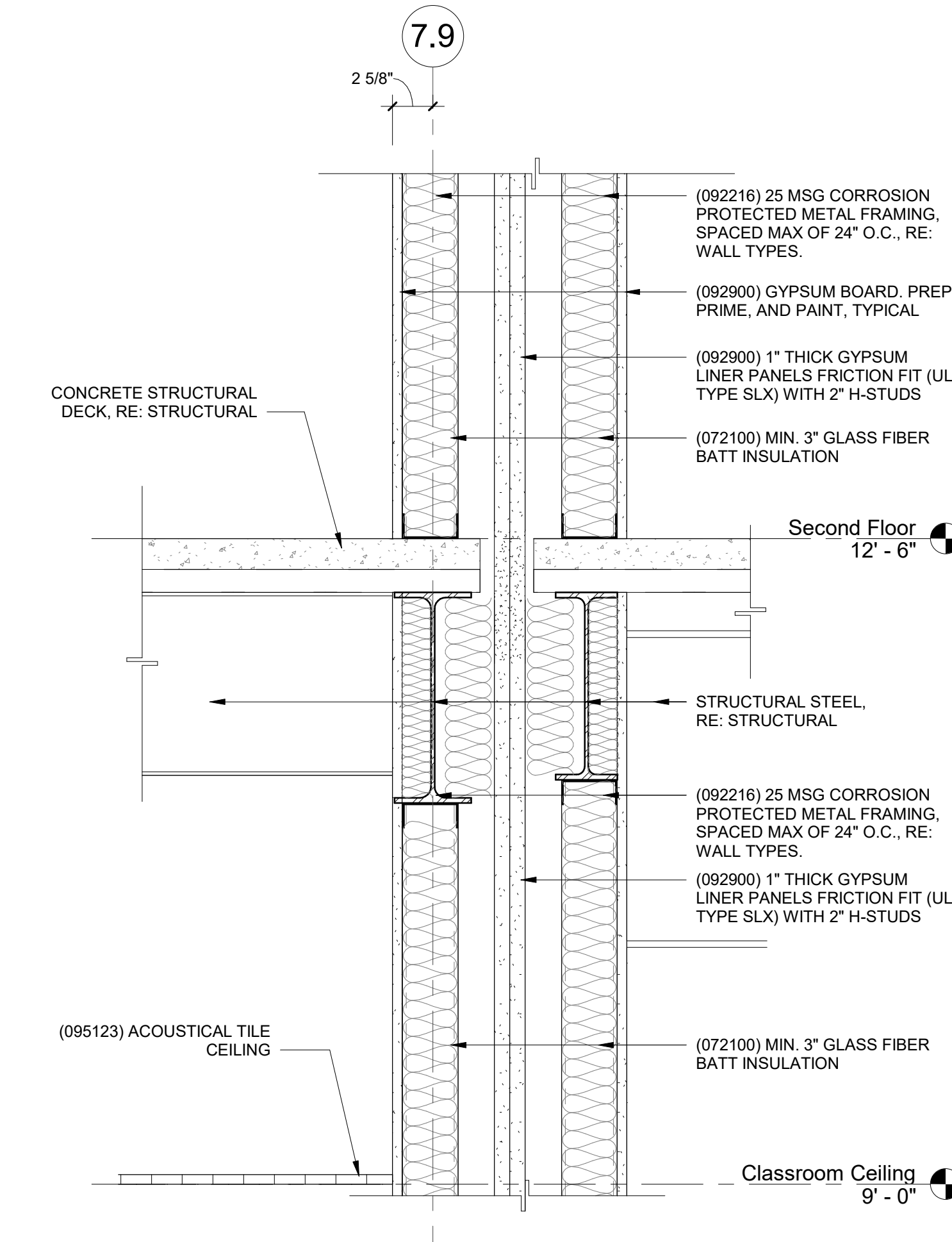


6 Section Detail - CL A - Base of Wall - Brick
1 1/2" = 1'-0"

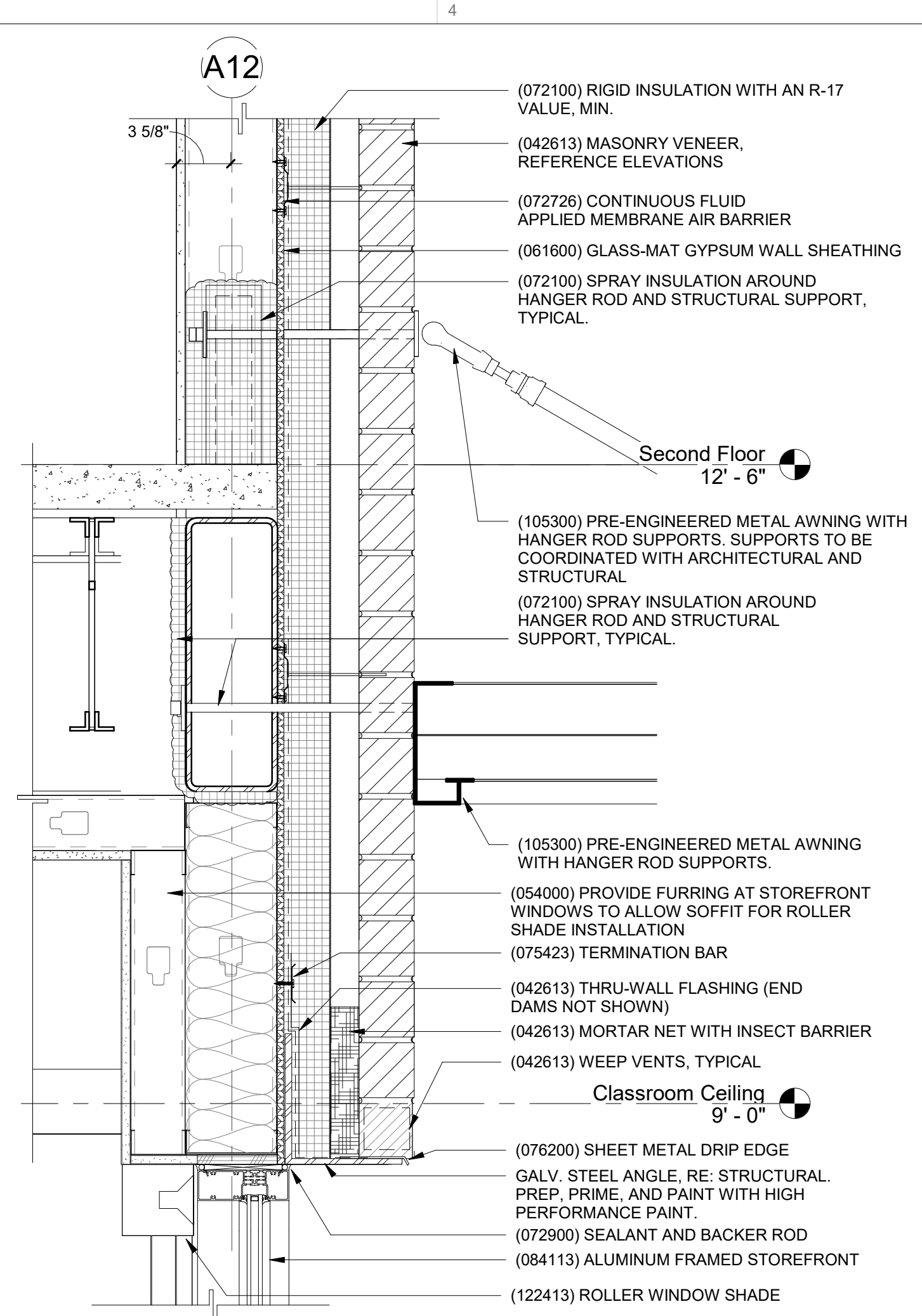
1 2 3 4 5 6 7 8



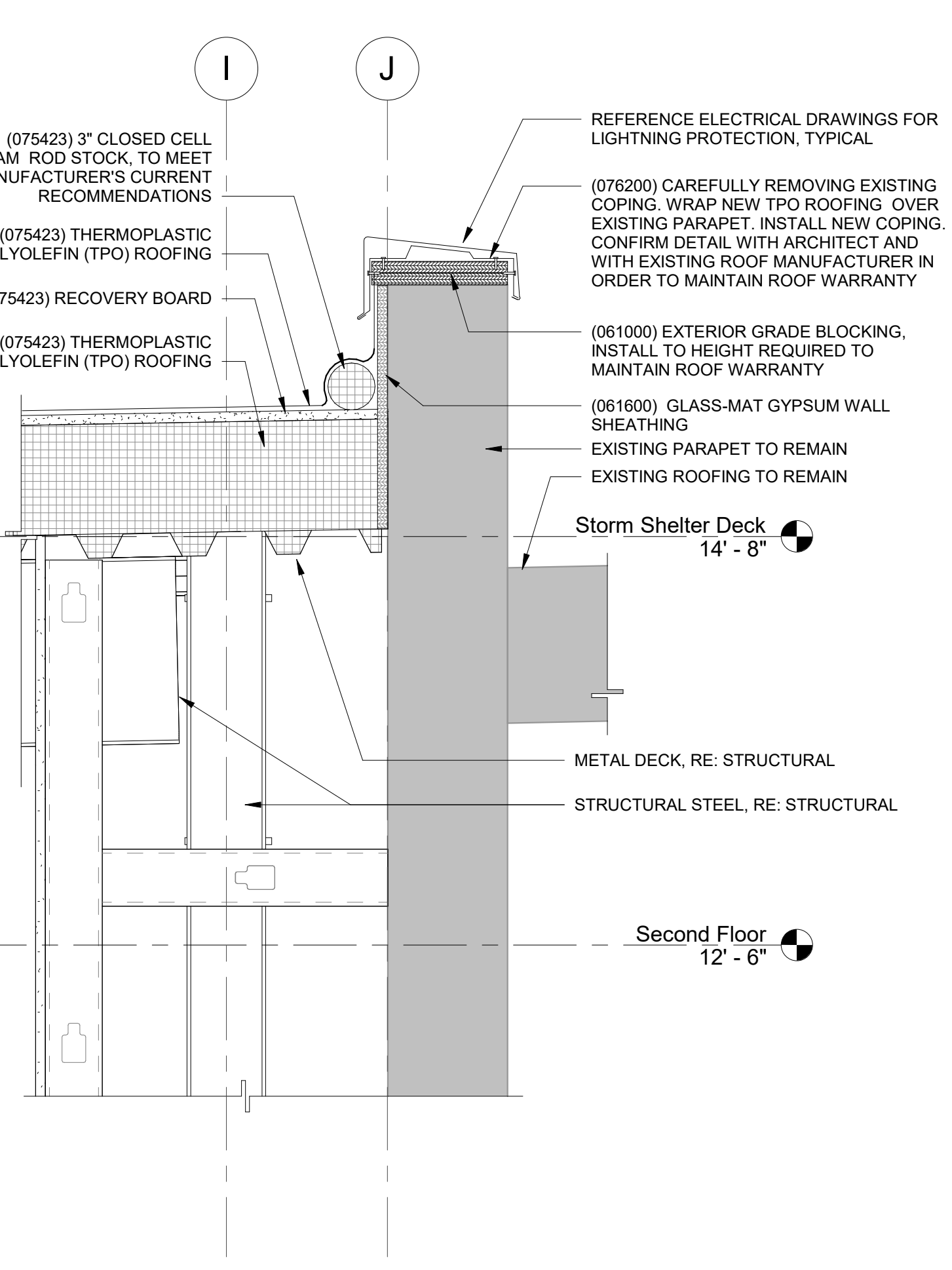
1 Section Detail - CL 7.9 - Fire Wall at Roof Deck
1 1/2" = 1'-0"



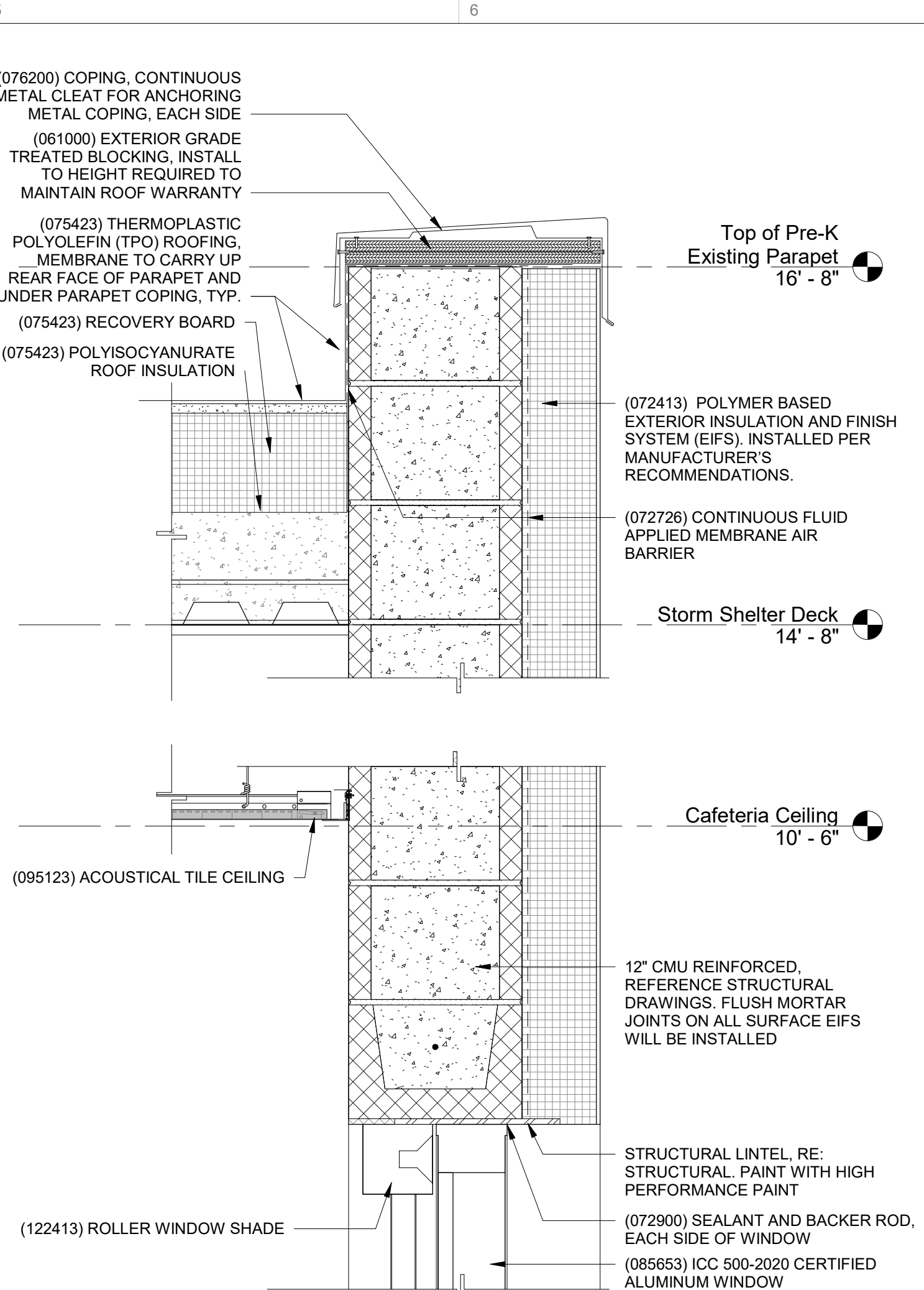
5 Section Detail - CL 7.9 - Fire Wall at Second Fl.
1 1/2" = 1'-0"



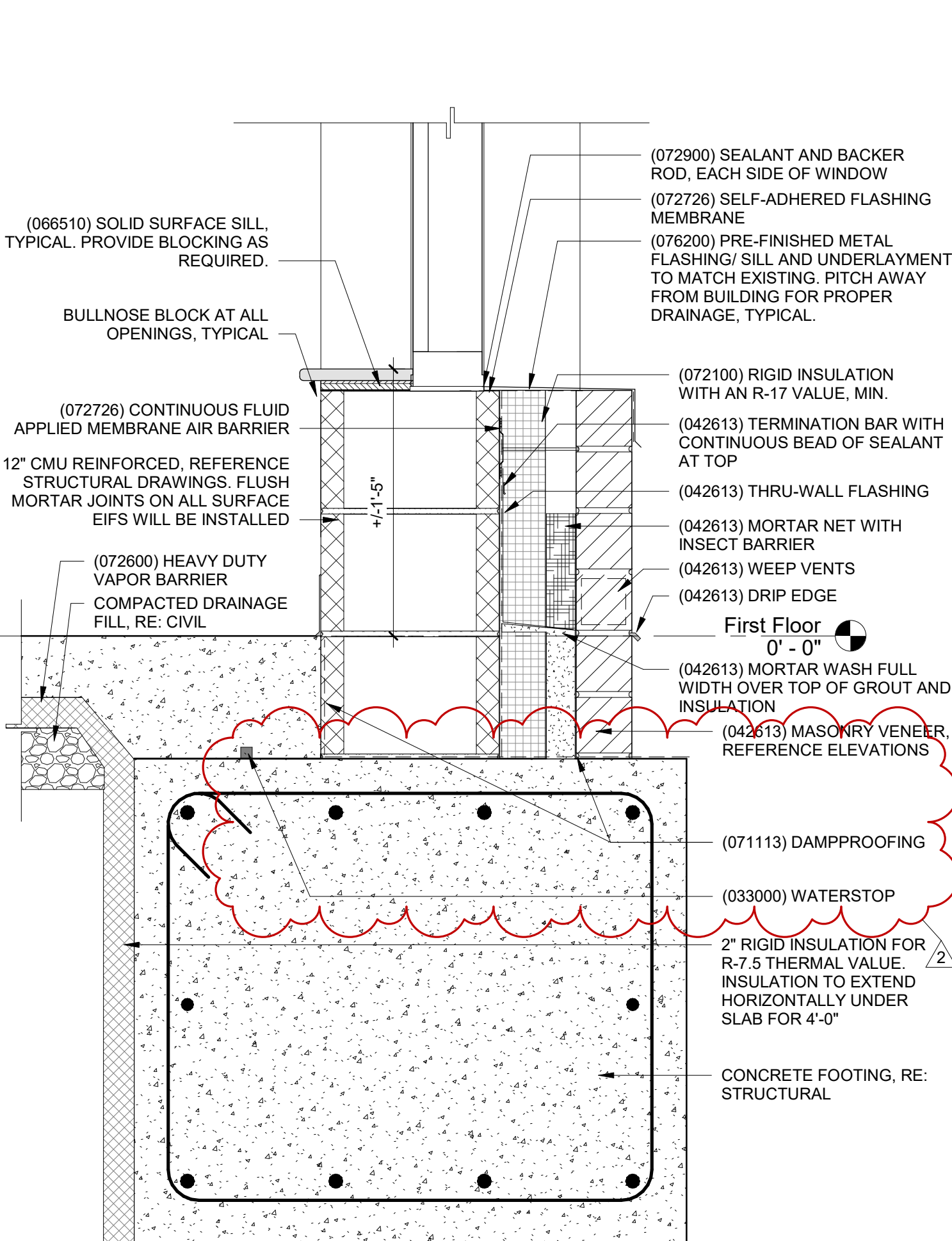
2 Section Detail at Column Line A12 - Awning
1 1/2" = 1'-0"



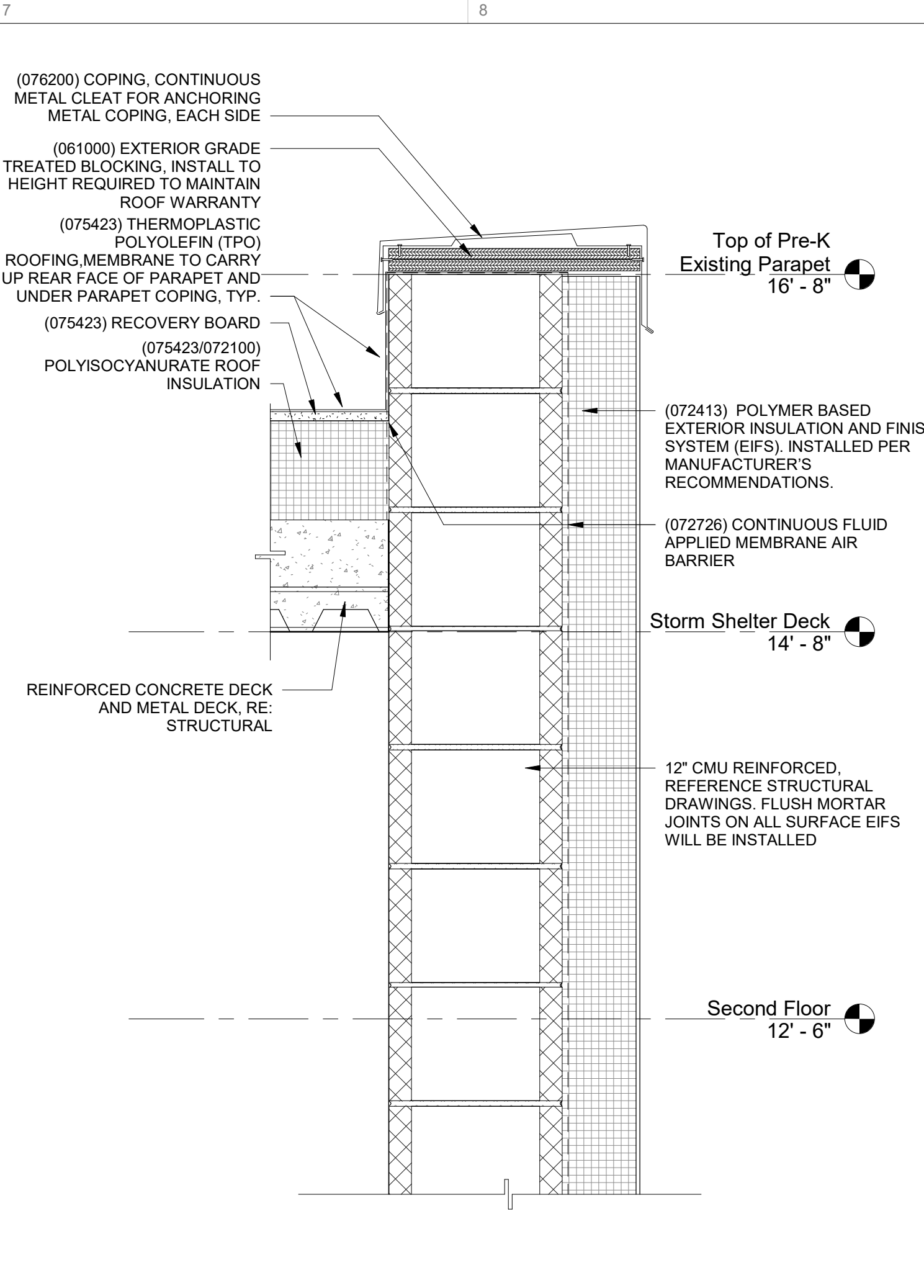
6 Section Detail - CL J - Existing Parapet
1 1/2" = 1'-0"



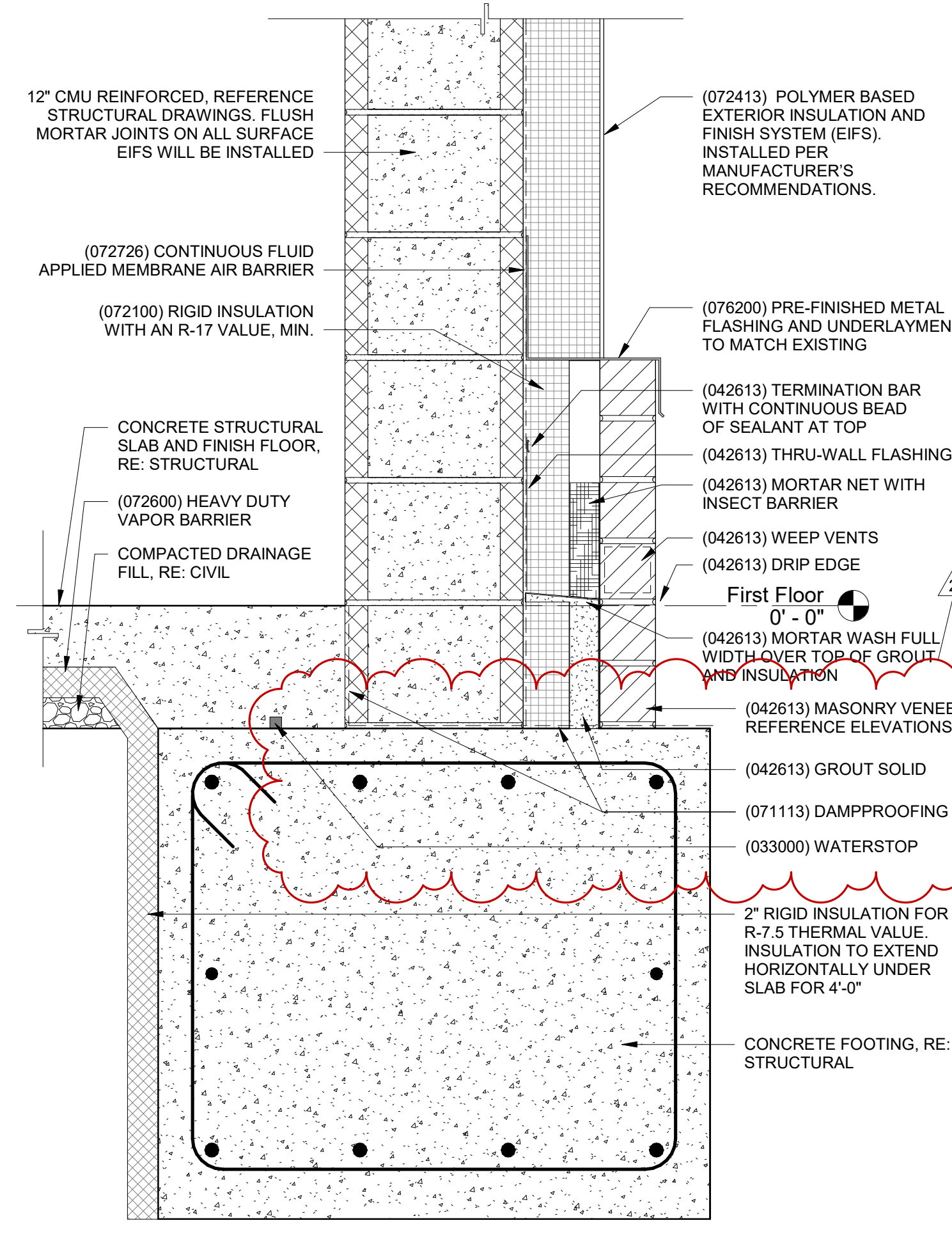
3 Section Detail at Storm Shelter Exterior Window Header
1 1/2" = 1'-0"



7 Section Detail at Storm Shelter Exterior Window
1 1/2" = 1'-0"



4 Section Detail at Storm Shelter Exterior Wall Parapet
1 1/2" = 1'-0"



8 Section Detail at Storm Shelter Exterior Wall Foundation
1 1/2" = 1'-0"



STRATA
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Section Details

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A352

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



ROOM FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	FLOOR FINISH	WALL BASE	WALL FINISH			CEILING	REMARKS	
				EAST	NORTH	WEST			
000	EXISTING LIBRARY	EX /CPT-7&12	EX /RB-1	EX	EXP	EXP	EX		
000	NURSE'S STORAGE	EX / CPT-7	EX /RB-1	--	P-1	P-1	EX		
000	SHOWER ROOM	ER-1	ER-1	CT/EP-1	EP-1	CT/EP-1	ACT-2		
000	EXISTING KITCHEN	EXIST	EXIST	EX/EP	EP-1	EX	EXIST		
100	HALLWAY	CPT-7	RB-1	P-1	P-1	P-1	ACT-1		
109	GUIDANCE OFFICE	CPT-7	RB-1	P-1	P-1	P-1	ACT-1		
110	GUIDANCE OFFICE	CPT-7	RB-1	P-1	P-1	P-1	ACT-1		
111	GUIDANCE OFFICE	CPT-7	RB-1	P-1	P-1	P-1	ACT-1		
112	FLEX CONFERENCE / OFFICE	CPT-7	RB-1	P-1	P-1	P-1	ACT-1		
113	SRO OFFICE	CPT-7	RB-1	P-1	P-1	P-1	ACT-1		
114	STORAGE	LNT-1	RB-1	P-1	P-1	P-1	ACT-1		
115	RECORDS	LNT-1	RB-1	P-1	P-1	P-1	ACT-1		
116	LIBRARY SECURE STORAGE	CPT-7	RB-1	P-1	P-1	P-1	ACT-1		
117	LIBRARY STORAGE / WORKROOM	CPT-7	RB-1	P-1	P-1	P-1	ACT-1		
118	LIBRARY ADDITION	TZ-1	RB-1	VARIES	VARIES	VARIES	ACT-1/P	R1	
119	HALLWAY	CPT-7	RB-1	VARIES	VARIES	VARIES	VARIES		
120	HALLWAY	LVT	RB-1	EP-1	EP-1	EP-1	ACT-1	R10	
121	BOY'S RESTROOM	ER-1	ER-1	CT/EP-6	EP-6	CT/EP-6	ACT-2		
122	GIRL'S RESTROOM	ER-1	ER-1	EP-8	EP-8	CT/EP-8	CTEP-8		
123	CAFETERIA	TZ-1 / TZ-2	RB-1	VARIES	VARIES	VARIES	ACT-1	R2	
124	SERVING AREA	ER-1	ER-1	EP-1	EP-1	EP-1	ACT-2		
125	DISH DROP-OFF	ER-1	ER-1	EP-1	EP-1	EP-1	ACT-2		
126	VESTIBULE	WOCT	RB-1	EP-11	GL/EP-11	GL/EP-11	P-4		
127	MAINTENANCE	S	RB-1	P-1	P-1	P-1	--		
600	TITLE I OFFICE - L	CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
601	2ND CLASSROOM - 1	LNT-1/CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
602	2ND CLASSROOM STORAGE	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
603	2ND THINK TANK	CPT-9	RB-1	P-1/WC-1	P-1	P-1	ACT-1		
604	2ND CLASSROOM - 2	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
605	2ND CLASSROOM - 3	LNT-1/CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
606	2ND STORAGE CLASSROOM	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
607	2ND THINK TANK	CPT-9	RB-1	P-1/WC-1	P-1	P-1	ACT-1		
608	2ND CLASSROOM - 4	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
610	COLLABORATIVE SPACE / CHECK-IN	TZ-1	RB-1	VARIES	VARIES	VARIES	ACT-1/P	R4	
611	2ND CLASSROOM - 5	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
612	2ND CLASSROOM STORAGE	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
613	2ND THINK TANK	CPT-9	RB-1	P-1/WC-1	P-1	P-1	ACT-1		
614	2ND CLASSROOM - 6	LNT-1/CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
615	FLEX CLASSROOM - K	LNT-1/CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
616	SPECIAL EDUCATION - INTERVENTION - J	CPT-1	RB-1	P-1	P-2	P-1	ACT-1		
617	CUSTODIAL / STORAGE	S	RB-1	P-1	P-1	P-1	--		
618	ELECTRICAL	S	RB-1	P-1	P-1	P-1	--		
619a	GIRL'S RESTROOM	ER-1	ER-1	CT/EP-8	CT/EP-8	CT/EP-8	ACT-1		
619b	GIRL'S RESTROOM	ER-1	ER-1	CT/EP-8	CT/EP-8	CT/EP-8	ACT-1		
620	STAFF RESTROOM	ER-1	ER-1	CT	EP-1	EP-1	ACT-1		
621	NURSING MOTHER' ROOM	LNT-1	RB-1	P-1	P-2	P-1	ACT-1		
622	2ND GRADE TEACHER PLANNING	LNT-1	RB-1	P-1	P-1	P-1	ACT-1		
623	I.T.	S	RB-1	P-1	P-1	P-1	--		
624	ELEVATOR	LNT-1	--	--	--	--	--		
625	HALLWAY	CPT-7	RB-1	EP-1	EP-1	EP-1	ACT-1	R10	
626	HALLWAY	CPT-7	RB-1	--	EP-1	EP-1	ACT-1	R10	
627	HIVE COLLABORATION	TZ-1	RB-1	VARIES	VARIES	VARIES	ACT-3	R4, R6, R10	
628	2ND HALLWAY	CPT	RB-1	VARIES	VARIES	VARIES	ACT-1	R6, R10	
700	BEHAVIORAL ROOM	LNT-1	RB-1	P-1	P-2	P-1	ACT-1		
701	FLEX CLASSROOM - G	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
702	TITLE I OFFICE - H	CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
703	3RD CLASSROOM - 1	LNT-1/CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
704	3RD CLASSROOM STORAGE	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
705	3RD THINK TANK	CPT-11	RB-1	P-1/WC-1	P-1	P-1	ACT-1		
706	3RD CLASSROOM - 2	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
707	3RD CLASSROOM - 3	LNT-1/CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
708	3RD CLASSROOM STORAGE	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
709	3RD THINK TANK	CPT-11	RB-1	P-1/WC-1	P-1	P-1	ACT-1		
710	3RD CLASSROOM - 4	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
712	COLLABORATIVE SPACE / CHECK-IN	TZ-1	RB-1	VARIES	VARIES	VARIES	ACT-1/P	R4	
713	3RD CLASSROOM - 5	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
714	3RD CLASSROOM STORAGE	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
715	3RD THINK TANK	CPT-11	RB-1	P-1/WC-1	P-1	P-1	ACT-1		
716	3RD CLASSROOM - 6	LNT-1/CPT-1	RB-1	P-1	P-1	P-2	ACT-1		

ROOM FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	FLOOR FINISH	WALL BASE	WALL FINISH			CEILING	REMARKS	
				EAST	NORTH	WEST			
717	SPECIAL EDUCATION - RESOURCE - I	CPT-1	RB-1	P-1	P-2	P-1	ACT-1		
718	HALLWAY	CPT-7	RB-1	VARIES	VARIES	VARIES	ACT-1	R10	
719a	BOY'S RESTROOM	ER-1	ER-1	CT/EP-6	CT/EP-6	CT/EP-6	ACT-2/P		
719b	BOY'S RESTROOM	ER-1	ER-1	CT/EP-6	CT/EP-6	CT/EP-6	ACT-2/P		
720	SINGLE USER RESTROOM	CPT	RB-1	VARIES	VARIES	VARIES	ACT-1		
721	STAFF RESTROOM	ER-1	ER-1	CT	EP-1	EP-1	ACT-2		
722	3RD GRADE TEACHER PLANNING	LNT-1	RB-1	P-1	P-1	P-1	ACT-1		
723	CUSTODIAL OFFICE	LNT-1	RB-1	P-1	P-1	P-1	ACT-1		
724	HALLWAY	CPT-7	RB-1	EP-1	EP-1	EP-1	ACT-1	R10	
725	HALLWAY	CPT-7	RB-1	--	EP-1	EP-1	ACT-1	R10	
726	HIVE COLLABORATION	TZ-1	RB-1	VARIES	VARIES	VARIES	ACT-1	R4, R7, R10	
727	3RD HALLWAY	CPT	RB-1	VARIES	VARIES	VARIES	ACT-1	R7, R10	
800	FLEX/IGTFED - A	LNT-1/CPT-1	RB-1	P-2	P-1	P-2	ACT-1		
801	ART - B	P CONC	RB-1	P-2	P-1	P-2	ACT-1		
802	ART STORAGE	S	RB-1	P-1	P-1	P-1	ACT-1		
803	QT SENSORY OFFICE - C	CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
804	4TH CLASSROOM - 1	LNT-1/CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
805	4TH CLASSROOM STORAGE	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
806	4TH THINK TANK	CPT-8	RB-1	P-1/WC-1	P-1	P-1	ACT-1		
807	4TH CLASSROOM - 2	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
808	4TH CLASSROOM - 3	LNT-1/CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
809	4TH CLASSROOM STORAGE	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
810	4TH THINK TANK	CPT-8	RB-1	P-1/WC-1	P-1	P-1	ACT-1		
811	4TH CLASSROOM - 4	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
812	SEATING AREA	CPT-7	RB-1	EP-1	VARIES	EP-1	VARIES	R10	
813	4TH CLASSROOM - 5	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
814	4TH CLASSROOM STORAGE	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
815	4TH THINK TANK	CPT-8	RB-1	P-1/WC-1	P-1	P-1	ACT-1		
816	4TH CLASSROOM - 6	LNT-1/CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
817	CUSTODIAN OFFICE / BREAK ROOM	LNT-1	RB-1	P-1	P-1	P-1	ACT-1		
818	SPEC ED - INTERVENTION -D	CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
819	CUSTODIAN / STORAGE	S	RB-1	EP-1	EP-1	EP-1	ACT-1		
820	ELECTRICAL	S	RB-1	EP-1	EP-1	EP-1	--		
821	GIRL'S RESTROOM	ER-1	ER-1	VARIES	VARIES	VARIES	ACT-2/P		
822	STAFF RESTROOM	EP-1	ER-1	VARIES	EP-1	EP-1	ACT-2		
823	STORAGE	CPT-7	RB-1	P-1	P-1	P-1	ACT-1		
824	4TH GRADE TEACHER PLANNING	LNT-1	RB-1	P-1	P-1	P-1	ACT-1		
826	HALLWAY	CPT-7	RB-1	VARIES	EP-1	VARIES	ACT-1	R10	
827	HALLWAY	CPT-7	RB-1	--	EP-1	EP-1	ACT-1	R10	
828	HIVE COLLABORATION	TZ-1	RB-1	VARIES	VARIES	VARIES	ACT-4	R4, R8, R10	
829	4TH HALLWAY	CPT-7	RB-1	VARIES	VARIES	VARIES	ACT-1	R8, R10	
900	MUSIC - G	CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
901	MUSIC STORAGE	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
902	BEHAVIORAL ROOM	LNT-1	RB-1	P-1	P-1	P-1	ACT-1		
903	CALM ROOM	LNT-1	WD P-3	EP-1	EP-1	EP-1	ACT-1	R5	
904	TITLE I OFFICE - F	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
905	5TH CLASSROOM - 1	LNT-1/CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
906	5TH CLASSROOM STORAGE	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
907	5TH THINK TANK	CPT-10	RB-1	P-1/WC-1	P-1	P-1	ACT-1		
908	5TH CLASSROOM - 2	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
909	5TH CLASSROOM - 3	LNT-1/CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
910	5TH CLASSROOM STORAGE	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
911	5TH THINK TANK	CPT-10	RB-1	P-1/WC-1	P-1	P-1	ACT-1		
912	5TH CLASSROOM - 4	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
913	SEATING AREA	CPT-7	RB-1	EP-1	EP-1	VARIES	VARIES	R10	
914	5TH CLASSROOM - 5	LNT-1/CPT-1	RB-1	P-2	P-1	P-1	ACT-1		
915	5TH CLASSROOM STORAGE	CPT-1	RB-1	P-1	P-1	P-1	ACT-1		
916	5TH THINK TANK	CPT-10	RB-1	P-1/WC-1	P-1	P-1	ACT-1		
917	5TH CLASSROOM - 6	LNT-1/CPT-1	RB-1	P-1	P-1	P-2	ACT-1		
918	SPECIAL EDUCATION - RESOURCE - E	CPT-1	RB-1	P-1	P-2	P-1	ACT-1		
919	HALLWAY	ER-1	RB-1	EP-1	VARIES	VARIES	ACT-1	R10	
920	BOY'S RESTROOM	ER-1	ER-1	CT/EP-6	CT/EP-6	CT/EP-6	ACT-2/P		
921	STAFF RESTROOM	ER-1	ER-1	CT	EP-1	EP-1	ACT-2		
922	SINGLE USER RESTROOM	ER-1	ER-1	CT	EP-1	EP-1	ACT-2		
923	5TH GRADE TEACHER PLANNING	LNT-1	RB-1	P-1	P-1	P-1	ACT-1		
924	HALLWAY	CPT-7	RB-1	EP-1	EP-1	VARIES	ACT-1	R10	
925	HALLWAY	CPT-7	RB-1	--	EP-1	EP-1	ACT-1	R10	
926	HIVE COLLABORATION	TZ-1	RB-1	VARIES	VARIES	VARIES	ACT-4	R4, R9, R10	
927	5TH HALLWAY	CPT-7	RB-1	VARIES	VARIES	VARIES	ACT-1	R9, R10	
A	STAIR	RTR RED	RB-1	VARIES	VARIES	VARIES	ACT-1		
A	LEARNING STAIR	TZ-1	RB-1	VARIES	VARIES	VARIES	ACT-1	R3	
B	STAIR	RTR GREY	RB-1	VARIES	VARIES	VARIES	VARIES		
B	LEARNING STAIR	TZ-1	RB-1	VARIES	VARIES	VARIES	ACT-1	R3	
C	STAIR	RTR GREY	RB-1	VARIES	VARIES	VARIES	VARIES		

WALL COVERING LEGEND (09 7200 & 10 1146)

MARK	STYLE	COLOR
WC-1	VISUAL DISPLAY FABRIC FOR PROJECTION & MARKERS	WHITE
WC-2	CUSTOM DIGITAL GRAPHIC WALLCOVERING	

TILE LEGEND (09 3000)

	MARK	MANUF.	STYLE	COLOR
	CT-1	OLYMPIA TILE+STONE	COLOUR & DIMENSION 4"x16"	ARCTIC WHITE
	CT-2	OLYMPIA TILE+STONE	COLOUR & DIMENSION 4"x16"	PAPAYA
	CT-3	OLYMPIA TILE+STONE	COLOUR & DIMENSION 4"x16"	CHARTREUSE
	CT-4	OLYMPIA TILE+STONE	COLOUR & DIMENSION 4"x16"	TURQUOISE
	CT-5	OLYMPIA TILE+STONE	COLOUR & DIMENSION 4"x16"	CITRON
	CT-6	OLYMPIA TILE+STONE	COLOUR & DIMENSION 8"x20" LINEAR DECOR	ARCTIC WHITE