

Clymer Central School District



Proposed Capital Improvements Project 2020

Public Presentation



Clymer Central School District
Proposed Capital Improvements Project 2020



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Summary:

- **History & Process**
- **Guiding Principles**
- **Project Financing**
- **Proposed Work Scope**
- **Schedule & Milestones**



History and Process:

- **Building and Site Tours with Administration and Maintenance Staff**
- **Developed List of Known Needs and Estimated Values**
- **Facilities Committee Evaluation**
- **Committee Findings Presented**



Guiding Principles:

- **Safety & Security**
- **Deferred Maintenance / Asset Preservation**
- **Energy Efficiency**
- **Accessibility & Code Compliance**
- **State Aid Eligibility**



Financing / Tax Implications:

Expense as Capital Project vs Annual Budget Item (using \$1,115,000 Roof Expense as an example):

- **Capital Project:**
 - \$1,115,000 Expense x District Aid Ratio (84%)
 - \$936,600 State Reimbursement
 - \$178,400 Local Share over 15 years = \$11,893 / year
- **Annual Budget Item:**
 - \$1,115,000 expense **ENTIRELY** Local Share
 - 1% tax increase approx. \$46,000



Financing / Tax Implications:

The Clymer Board of Education worked very closely with our administrative team, financial advisors, architects, and construction managers to put together a capital project that would meet the needs of our students and our district in a fiscally responsible way.

The goal throughout the process was to create a capital project that would not increase taxes. We will **NOT** need to raise taxes to fund this \$4,500,000 capital project.

How can we possibly do \$4.5 million worth of work and not have it increase taxes? The answer is based on three critical pieces of information:

- The district has a high reimbursement/ building aid rate from the State of New York for projects that are aidable- around 83.8%. What that means is that for every \$1.00 we spend on the, we get almost \$0.84 back from the state in aid; and
- The district has \$79,026 available in a “capital reserve” fund. This fund, which the voters approved allows the District to set aside money to help fund the project; and
- The project has been “timed and sized” to do just that. As Clymer CSD pays off its old debt from previous capital projects, it will replace it with new debt of the same value for this new capital project. We then achieve a major goal of this capital project – no increase in taxes for this capital project.



Financing / Tax Implications:



CLYMER CENTRAL SCHOOL DISTRICT

PROPOSED NET LOCAL SHARE OF DEBT SERVICE PROPOSED \$4,500,000 MATURITY SCHEDULE

FISCAL YEAR ENDING	CAPITAL RESERVE	PRINCIPAL BALANCE OUTSTANDING	ESTIMATED PRINCIPAL PAYMENT	ESTIMATED INTEREST PAYMENT	TOTAL DEBT SERVICE	ESTIMATED STATE BUILDING AID	GROSS LOCAL SHARE	LESS DEBT SERVICE OFFSETS	NET LOCAL SHARE
6/30									
		\$ 4,420,974							
2023	\$ 79,026	4,420,974	\$ -	\$ 176,839	\$ 176,839	\$ -	\$ 176,839	\$ 176,839	\$ -
2024	-	4,200,000	220,974	221,049	442,023	332,234	109,789	-	109,789
2025	-	3,965,000	235,000	210,000	445,000	332,234	112,766	-	112,766
2026	-	3,715,000	250,000	198,250	448,250	332,234	116,016	-	116,016
2027	-	3,455,000	260,000	185,750	445,750	332,234	113,516	-	113,516
2028	-	3,185,000	270,000	172,750	442,750	332,234	110,516	-	110,516
2029	-	2,910,000	275,000	159,250	434,250	332,234	102,016	-	102,016
2030	-	2,645,000	265,000	145,500	410,500	332,234	78,266	-	78,266
2031	-	2,370,000	275,000	132,250	407,250	332,234	75,016	-	75,016
2032	-	2,080,000	290,000	118,500	408,500	332,234	76,266	-	76,266
2033	-	1,775,000	305,000	104,000	409,000	332,234	76,766	-	76,766
2034	-	1,455,000	320,000	88,750	408,750	332,234	76,516	-	76,516
2035	-	1,120,000	335,000	72,750	407,750	332,234	75,516	-	75,516
2036	-	765,000	355,000	56,000	411,000	332,234	78,766	-	78,766
2037	-	395,000	370,000	38,250	408,250	332,234	76,016	-	76,016
2038	-	-	395,000	19,750	414,750	332,234	82,516	-	82,516
Totals	\$ 79,026		\$ 4,420,974	\$ 2,099,638	\$ 6,520,612	\$ 4,983,507	\$ 1,537,102	\$ 176,839	\$ 1,360,263
Average:									\$ 90,684
- Vote:		December 2020	- 2020-21 Est Aid Ratio:		83.8%				
- SED Approval:		January 2022	- Bond Percentage:		95.0%				
- First Borrowing:		June 2022	- Capitalized Interest:		\$180,000				
- Final Cost Report:		December 2023	- Capital Reserve or Cash Support:		\$79,026				



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Financing / Tax Implications:



CLYMER CENTRAL SCHOOL DISTRICT

COMBINED EXISTING AND PROPOSED NET LOCAL SHARE

FISCAL YEAR ENDING	EXISTING DEBT LOCAL SHARE*	PROPOSED DEBT LOCAL SHARE	TOTAL LOCAL SHARE
6/30			
2020	\$ 108,206	\$ -	\$ 108,206
2021	106,799	-	106,799
2022	111,306	-	111,306
2023	108,068	-	108,068
2024	(3,365)	109,789	106,424
2025	(7,537)	112,766	105,229
2026	(8,362)	116,016	107,654
2027	(9,187)	113,516	104,329
2028	(5,012)	110,516	105,504
2029	(6,062)	102,016	95,954
2030	(5,831)	78,266	72,435
2031	-	75,016	75,016
2032	-	76,266	76,266
2033	-	76,766	76,766
2034	-	76,516	76,516
2035	-	75,516	75,516
2036	-	78,766	78,766
2037	-	76,016	76,016
Totals	\$ 389,023	\$ 1,360,263	\$ 1,749,286



Clymer Central School District
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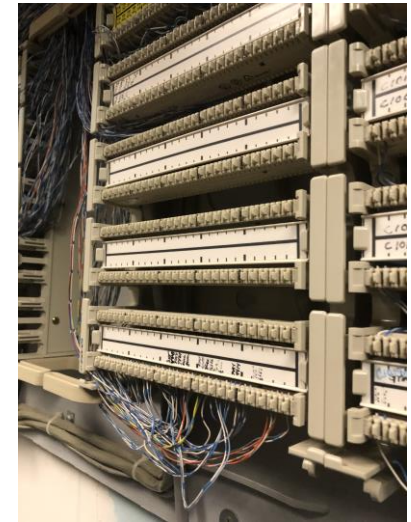
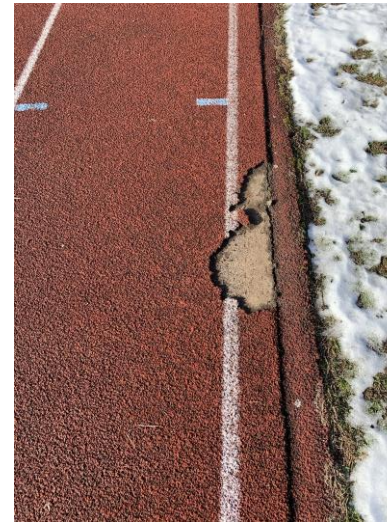
Proposed Scope:

- **Roof Restoration**
- **Building Controls Upgrades**
- **Building Envelope Restoration**
- **Septic System Restoration**



Proposed Scope (continued):

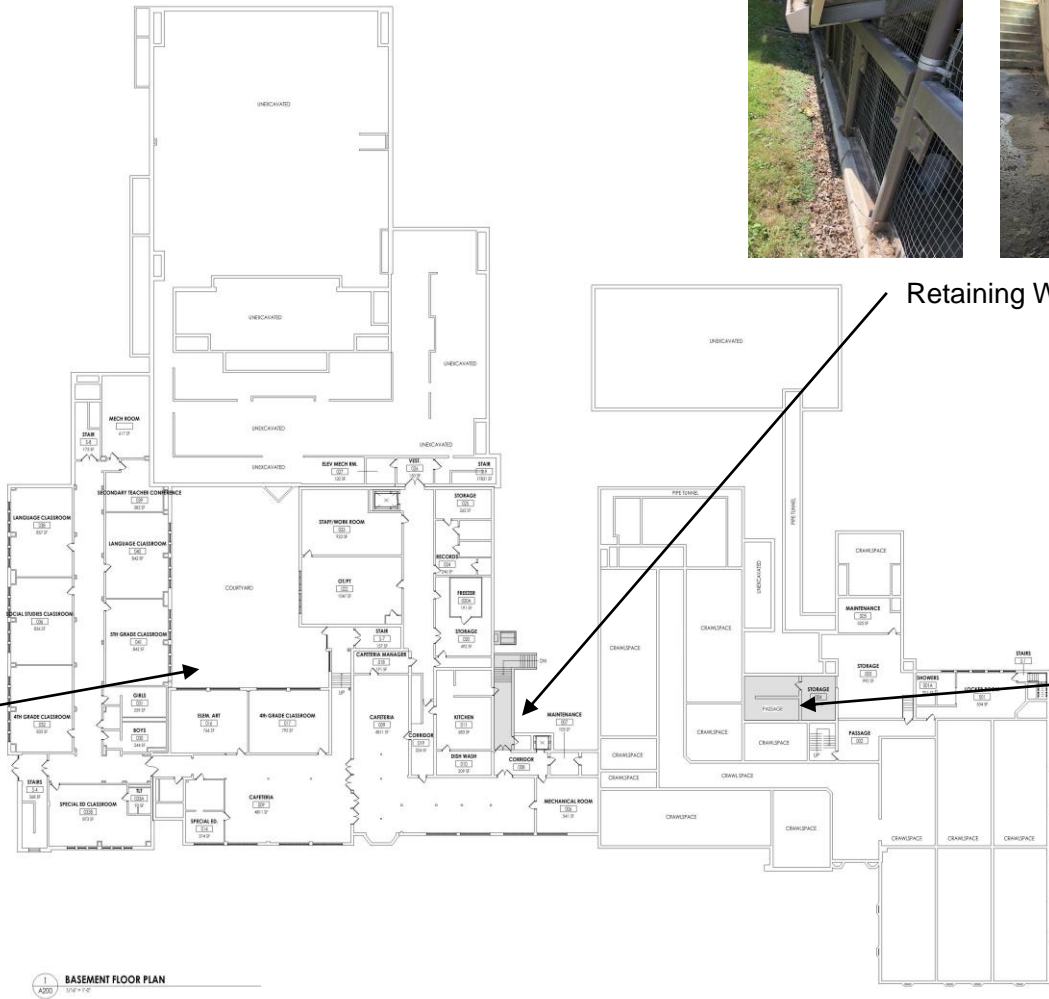
- **Safety Improvements**
 - **Fire Alarm, Telephone**
 - **Track and Tennis Court**
 - **Lighting**



Main Building: Basement



Courtyard Drainage and Building Envelope Restoration



1 BASEMENT FLOOR PLAN
1/8" = 1'-0"



Retaining Wall



Coal Room Roof



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The floor plan shows the layout of the Secure Vestibule. Key features include:

- RECEPTION AREA** (10' x 14')
- SECURE VESTIBULE** (10' x 12')
- SECURE VESTIBULE** (10' x 12')
- STORAGE** (10' x 12')
- REPLACE ORIGINAL FRONT STEPS & RAMP**
- CREATE SECURE VESTIBULE**

A photograph of the existing space is shown on the left, featuring a curved wall with a display case and a sign that reads "P 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100".

**REPLACE
ORIGINAL
FRONT STEPS
& RAMP**

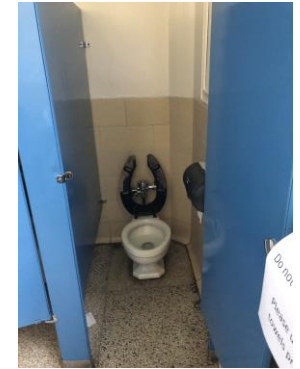
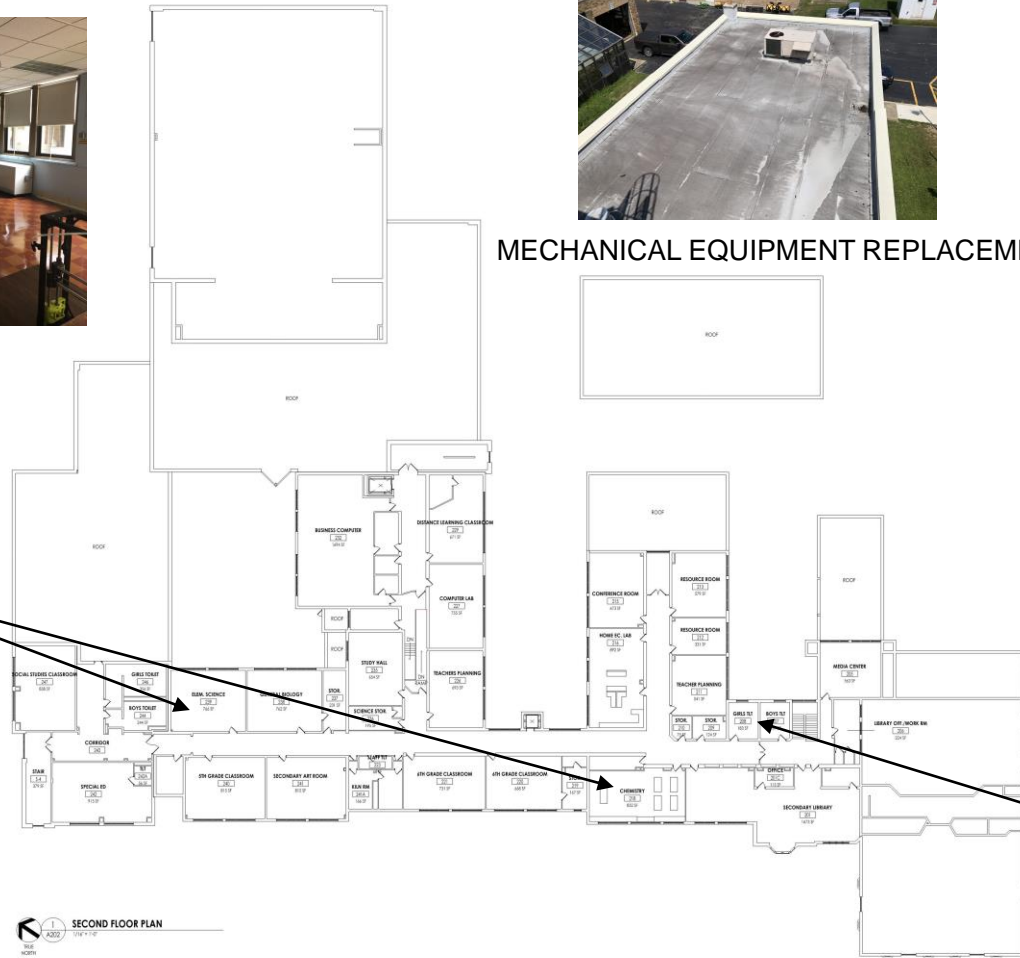
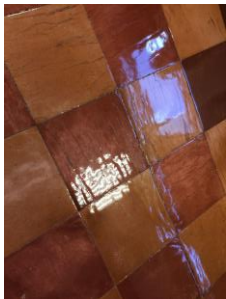


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Main Building: Second Floor



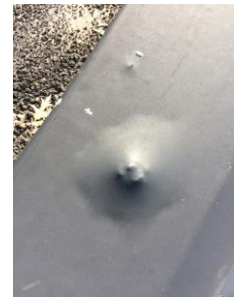
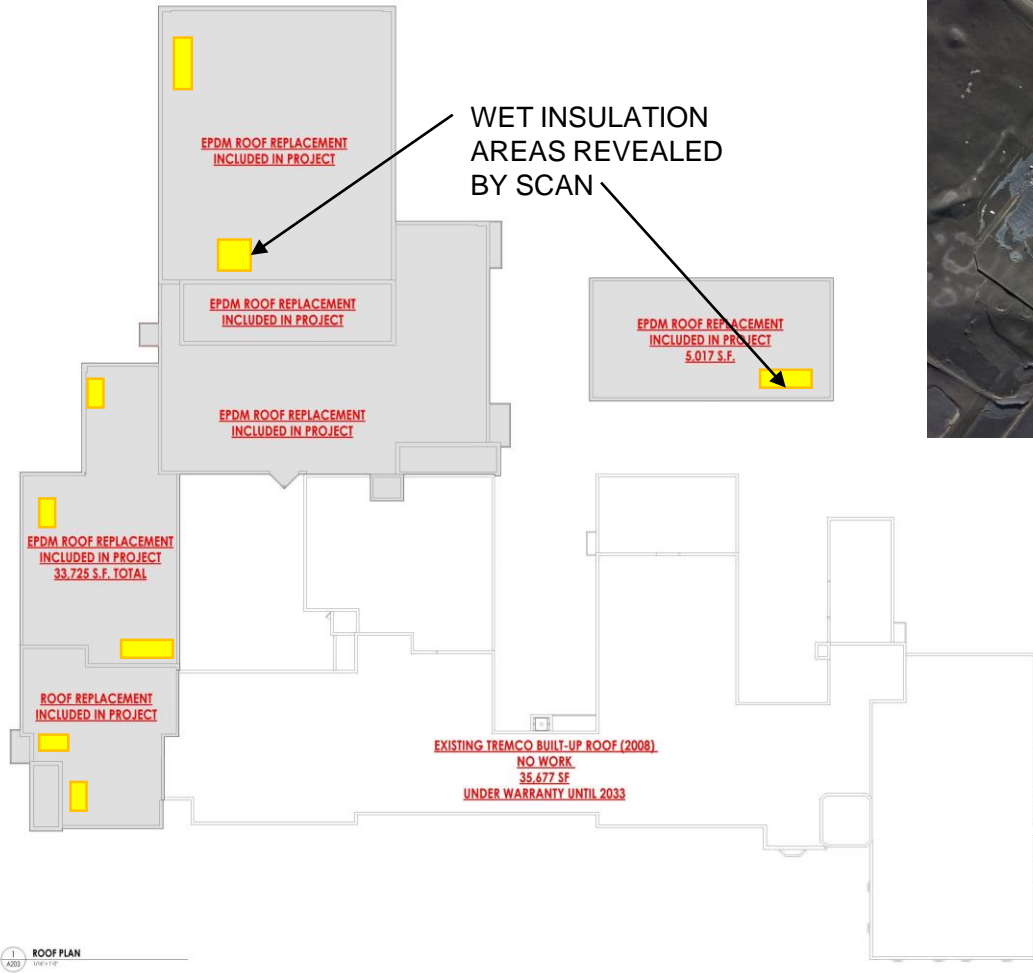
FLOORING REPLACEMENTS



TOILET ROOM RENOVATIONS



Roof Work:



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Priority Improvements:

- Roof Restoration
- Mechanical System Upgrades
- Building Envelope Restoration
- Septic Renovations
- Safety Improvements

Total Project Cost: \$4,500,000
No Additional Tax Impact



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Schedule & Milestone Dates:

Summer / Fall 2020

- **SEQRA Determination**
- **Board Actions**
- **Public Meetings**
- **Voter Referendum December 15, 2020**
- **CPL Begins Design Process**



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Schedule & Milestone Dates:

Summer 2021 -

- **SED Submission**

Fall 2021/Summer 2022 -

- **Oct. 2021 – Anticipated SED Approval**
- **Dec. 2021 - Bidding**
- **Feb. 2022 - Construction**
- **Sept. 2022 - Substantial Completion**



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Vote:

**In the Student Performance Center (SPC)
at Clymer Central School**

December 15, 2020
Noon – 8:00 PM



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